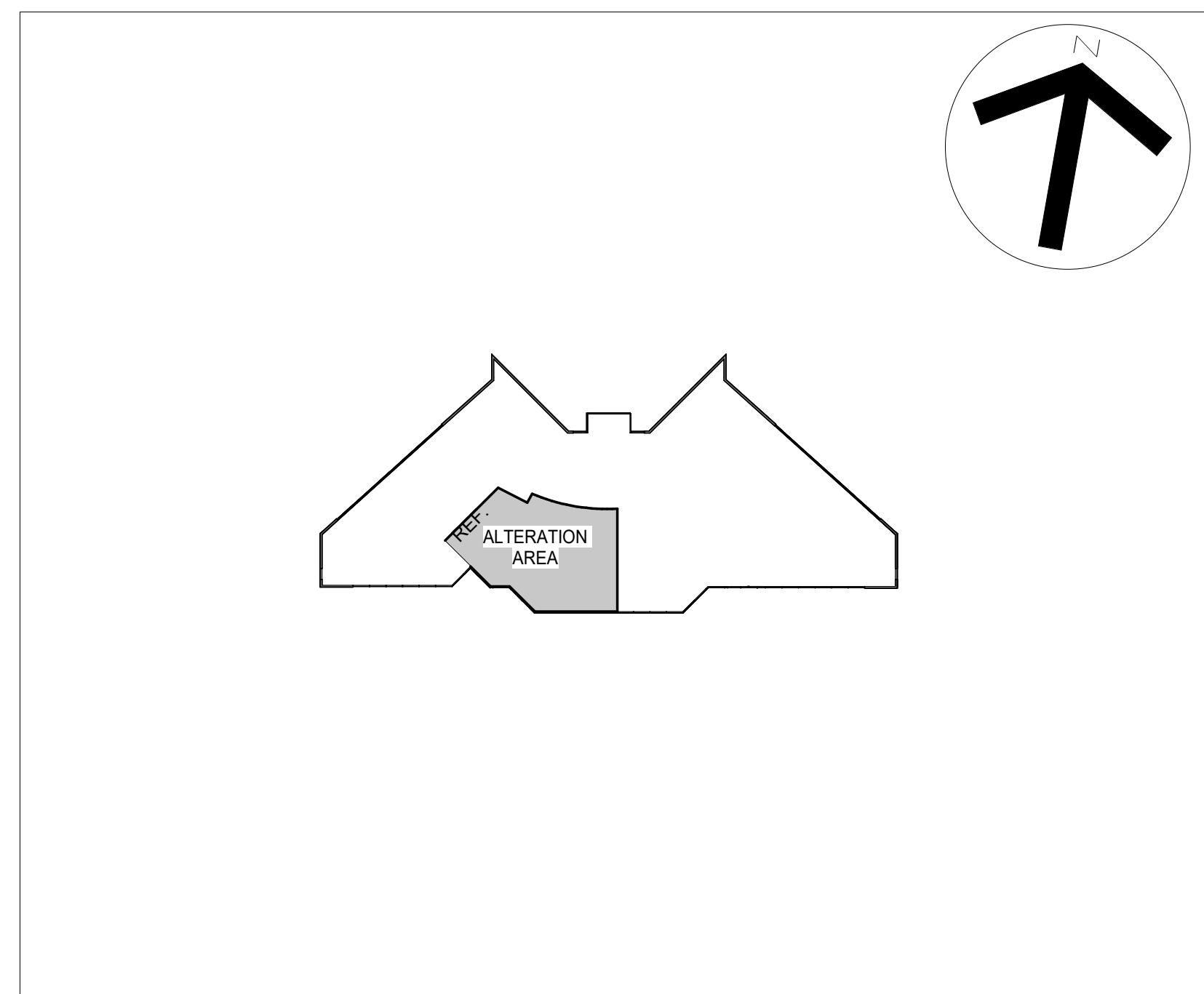


City Of Oshawa

Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

DRAWING LIST		
Sheet Number	Sheet Name	Latest Revision
A001	COVER SHEET	05/05/26
A101	OBJ MATRIX & NOTES	05/05/26
A201	SELECTIVE DEMOLITION FIRST FLOOR	05/05/26
A202	NEW CONSTRUCTION PLANS	05/05/26
A203	NEW CONSTRUCTION PLANS	05/05/26
A401	STOREFRONT SECTIONS & DETAILS	05/05/26
A402	FUTURE OFFICE AND BULKHEAD SECTIONS & DETAILS	05/05/26
A501	DOOR & ROOM FINISH SCHEDULES	05/05/26
A502	MILLWORK	05/05/26
A503	RENDERS	05/05/26



2 Key Plan
A001 SCALE: 1:500

Design Team:

ARCHITECT:
J.R. FREETHY ARCHITECT
325 LAKE RD, SUITE 202
BOWMANVILLE, ONTARIO, L1C 4P8
(905) 623-7476

MECHANICAL:
ROMAR ENGINEERING INC.
4828 LIVINGSTONE ST.
CLAREMONT, ONTARIO, L1Y 1A5
(647) 406-8602

ELECTRICAL:
MJA ENGINEERING LTD.
556 EDWARD AVE.
RICHMOND HILL, ONTARIO, L4C 9Y5
(905) 780-8590




J.R. FREETHY ARCHITECT:

Certificate of Practice Number: 1928
325 Lake Rd, Suite 202, Bowmanville ON, L1C 4P8
(905) 623-7476
reg@jrffreethy.com

Title
COVER SHEET

Project No. 2025_40
Page No. **A001**

November 2025

Name of Practice: J.R. Freethy Architect 325 Lake Rd. Suite 202 Bowmanville, ON, L1C 4H8 905-623-7476		
Name of Project: Oshawa Airport MLES Office Alterations		
Location: 1200 Airport Blvd., Oshawa, ON L1J 8P5		
Date: January 28, 2026		
2024 Ontario Building Code Data Matrix Part 11 – Renovation		
11.00	Building Code Version: O_Reg_163/24 Last Amendment O_Reg_447/24	Building Code Reference 1
11.01	Project Type: <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use Description: Renovation of existing office space to accommodate more workstations and locker room.	[A] 1.3.3.3B
11.02	Major Occupancy Classification: Occupancy Use Group F Div. 2 Airport Group D Offices/Police station/Radio Station	3.1.2.1.(1), 2.1.4.1.(1), and 11.2.1.
11.03	Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:	11.2, 3.2.2.5 to 3.2.2.8, and 2.2.1.
11.04	Building Area (m ²): Description: Existing New Total Whole Building 741m ² 0 741m ² 0 0 0 0 0 0 0 0 0 Total 741m ² 0 741m ²	[A] 1.4.1.2, 11.2, and 11.3.
11.05	Building Height: 2 Storeys above grade 12 (m) Above grade 0 Storeys below grade	[A] 1.4.1.2, 3.2.1.1, 2.2.2.2, and 11.3.
11.06	Number of Streets/Firefighter Access: 1 street(s)	3.2.2.10, 3.2.5, 2.2.4.1, and 3.1.3.

Ontario Building Code Data Matrix, Part 11
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January 2025

11.07	Building Size: <input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large	11.2.1.1, and T.11.2.1.1.B.N.
11.08	Existing Building Classification: Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: 7 Hazard Index: 3 Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input checked="" type="checkbox"/> High <input checked="" type="checkbox"/> Post-disaster	10.1.1.2, 11.2.1.1, T.11.2.1.1.A, T.11.2.1.1.B to N, 4.1.2.(3), 2.3.1, and 5.2.2.1(2)
11.09	Renovation Type: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1, and 11.3.3.2
11.10	Occupant Load: Floor Level/Area Occupancy Type Based On Occupant Load (Persons) N/A 0 0 Insert additional lines as needed 0 0 0	3.1.17, 2.1.2.2, and 11.4.2.2
11.11 a	Plumbing Fixture Requirements: Ratio: M:F = 60:50 Except as otherwise noted Floor Level/Area Occupant Load OBC Reference WCs Required WCs Provided N/A 0 Reference 0 0 0 0 0 0 0 0 0 0 0 0 0 0 Insert additional lines as needed 0 0 0 0	3.7.4, 11.3.4, 11.3.5, 11.4.2.4, and 11.4.2.5
11.11 b	Plumbing Fixture Requirements continued: Floor Level/Area Barrier-free WCs Required Barrier-free WCs Provided Unibquat Washrooms Required Universal Washrooms Provided N/A 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 Insert additional lines as needed 0 0 0 0	Tables 3.8.2.3.A and 3.8.2.3.B
11.12	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Corridors and openings meet barrier-free design standards Barrier-free Entrances: Number 1 Explanation	11.3.1.2, 11.3.2, 11.3.3.2

Ontario Building Code Data Matrix, Part 11
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January 2025

11.13	Reduction in Performance Level: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of buildings of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1, 11.4.2.2, 11.4.2.3, 11.4.2.4, 11.4.2.5, 11.4.2.6
11.14	Compensating Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes N/A Structural: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Change of major occupancy: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Sewage systems: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Extension of buildings of combustible construction: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe)	11.4.3.1, 11.4.3.2, 11.4.3.3, 11.4.3.4, 11.4.3.5, 11.4.3.6, 11.4.3.7
11.15	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe) Insert additional lines as needed (list numbers and describe)	11.5.1
11.16	Alternative Solutions: N/A Insert additional lines as needed	[A] 1.2.1.1, and [C] 2.1.
11.17	Notes: N/A Insert additional lines as needed	

1 All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C.

Ontario Building Code Data Matrix, Part 11
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January 2025

GENERAL NOTES

- NOTE 1 CONTRACTOR SHALL PROVIDE AND MAINTAIN DUST PROTECTION AT ACTIVE WORK ZONES THROUGHOUT THE DURATION OF CONSTRUCTION.
- NOTE 2 EXISTING BUILDING FIRE ALARM SYSTEM MUST BE MAINTAINED OPERATIONAL THROUGHOUT CONSTRUCTION.
- NOTE 3 AIRPORT OPERATIONS OFFICE AND DEPARTURE LOUNGE IS NOT IN CONTRACT. CONTRACTORS FORCES ARE NOT PERMITTED IN THIS AREA.
- NOTE 4 REFER TO THE MECHANICAL DRAWINGS AND ELECTRICAL DRAWINGS FOR THE RESPECTIVE DIVISIONS ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.
- NOTE 5 THE NEW WORKSTATIONS ARE NOT IN CONTRACT. SUPPLIED BY OWNER.
- NOTE 6 THE OWNER'S FORCES ARE RESPONSIBLE FOR THE DISMOUNTING AND RELOCATION OF THE EXISTING WORKSTATION FURNITURE, COMPUTERS, LATERAL FILES, LOCKERS, PHOTOCOPIER, TELEPHONES.
- NOTE 7 EXISTING GLAZED SCREENS ARE COMMDOOR FRAMING. NEW SCREENS SHALL BE SAME MANUFACTURER AND PROFILES WITHIN 1450 SERIES. ALL GLAZING SHALL BE 6mm THK.
- NOTE 8 THE EXISTING PARTITIONS ARE CONSTRUCTED OF 12.5mm GYPSUM BOARD AND 89mm STEEL STUDS @ 600mm O.C. CONTRACTOR SHALL EXERCISE CAUTION TO NOT DAMAGE EXISTING CEILING GRID DURING SELECTIVE DEMOLITION AND NEW CONSTRUCTION OPERATIONS. REPAIR ANY RESULTANT DAMAGE TO MATCH EXISTING CONDITION.
- NOTE 9 ALL OPERATIONS SHALL COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT LATEST EDITION. CONTRACTOR SHALL OBTAIN AND POST THE MINISTRY OF LABOUR NOTICE OF PROJECT.

BUILDING STATISTICS

BUILDING CLASSIFICATION
 GROUP D – COMMERCIAL
 ALTERATION AREA:
 GROUND FLOOR GROUP D OCCUPANCY (POLICE STATION (WITHOUT DETENTION) / OFFICE)
 +
 2ND FLOOR GROUP D OCCUPANCY (RADIO STATION)
 +
 GROUP F DIV. 2 (AIRCRAFT HANGAR)
 BUILDING AREA = 741m²
 GFA OF OVERALL ALTERATION AREA = 121.1m²
 GFA OF ALTERATION AREA "A" = 20.8m²
 GFA OF ALTERATION AREA "B" = CARPETED AREA (11.9m²) + PARTIAL STOREFRONT SCREEN (7.2m²) = 19.1m²

CONSTRUCTION
 EXISTING BUILDING IS NON-COMBUSTIBLE CONSTRUCTION
 FIRE SEPARATIONS
 GROUP D UP TO 2 STOREYS, SPRINKLERED (3.2.2.6.5.)
 FIRE RESISTANCE RATING NOT LESS THAN 45 MIN

CLIENT:

City Of Oshawa

41000 DETAIL NUMBER SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

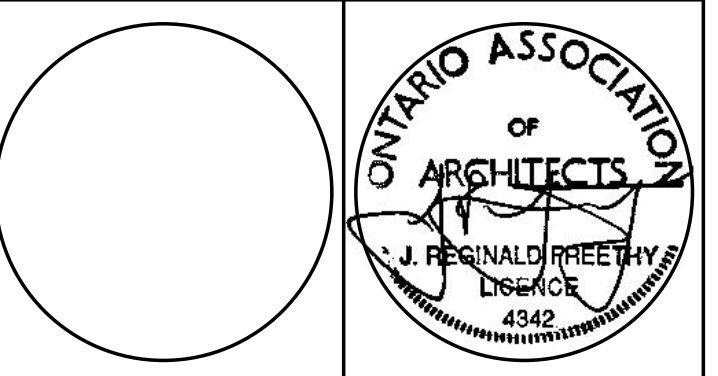
(N.I.C.) NOT IN THE CONTRACT

PROVIDE INDICATES SUPPLY AND INSTALL.

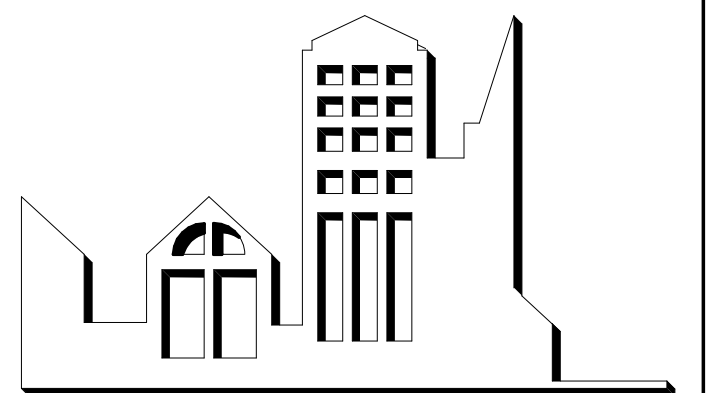
4	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025
No.	DESCRIPTION	BY.	DATE

REVISIONS

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J.R. FREETHY ARCHITECT



325 LAKE RD. SUITE 202
 BOWMANVILLE ONTARIO
 L1C 4P8 Tel: (905) 623-7476

PROJECT:

Oshawa Airport MLES Office Alterations

1200 Airport Blvd., Oshawa, ON L1J 8P5

SCALE: 1 : 50
 DWG. BY: C. NYARKO
 CHECKED BY: J.R.F.
 STATUS: ISSUED FOR PERMIT & TENDER
 PLOT FACTOR: 1:1

TITLE:

OBC MATRIX & NOTES

PROJECT No.:

2025_40

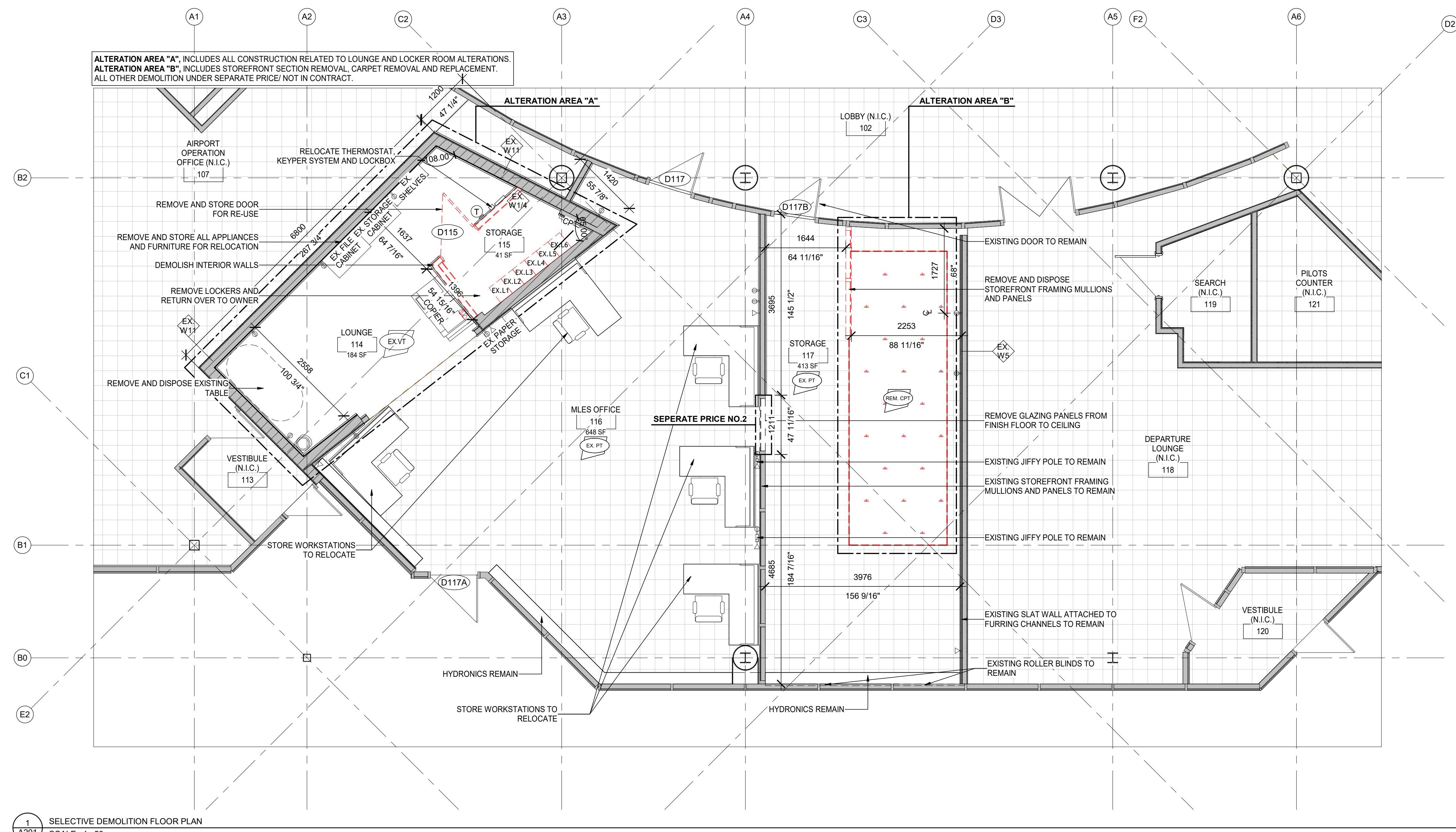
DATE: November 2025

DWG. No.:

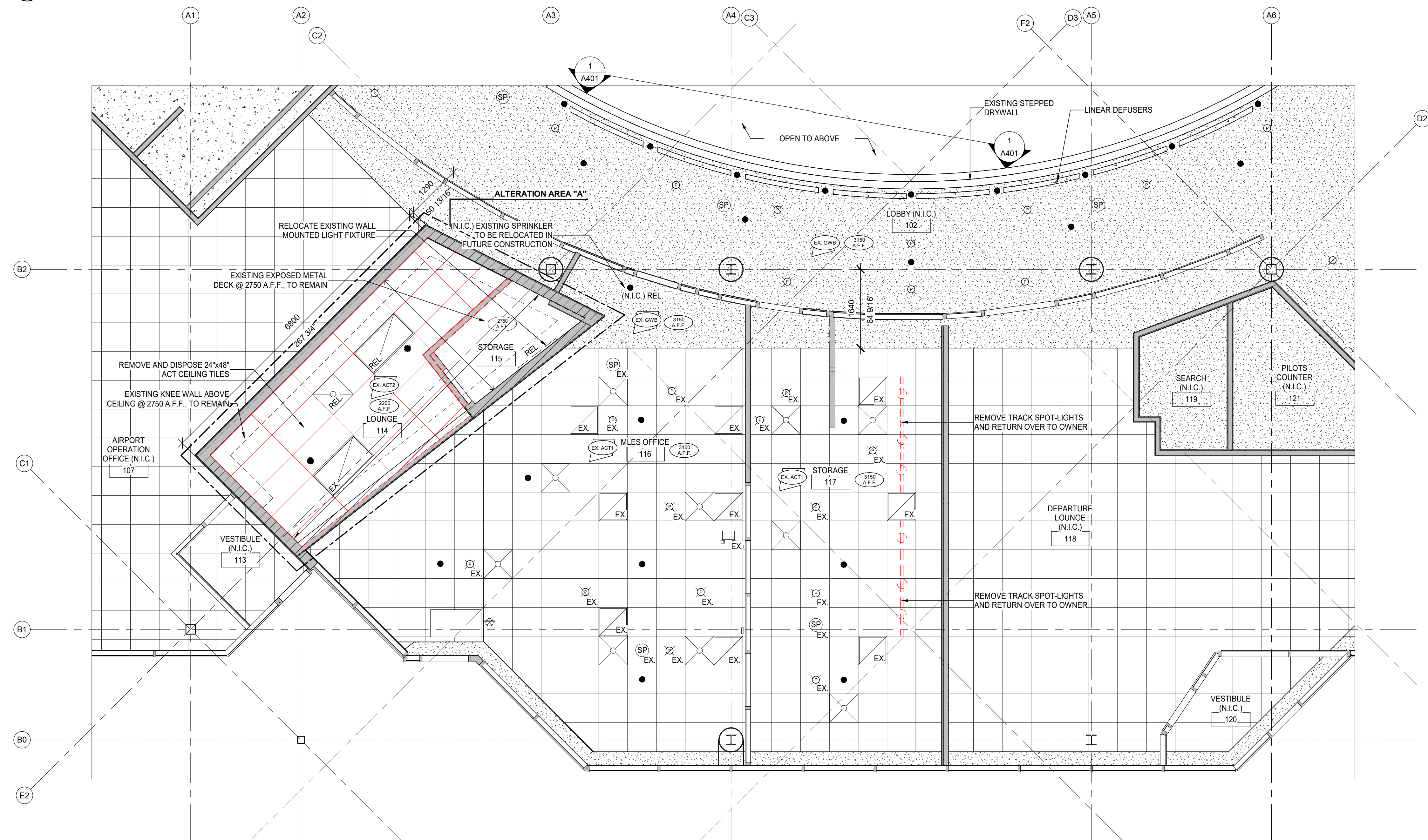
A101

SYMBOL LEGEND	
	INTERIOR ELEVATION NUMBER
	DIRECTION OF ELEVATION
	SHEET NUMBER LOCATION OF DRAWING
	ROOM NAME DENOTES EX. NEW ROOM NAME & NUMBER (ROOM AREA OPTIONAL / AS REQUIRED)
	DENOTES FLOOR FINISHES
	DENOTES GENERAL NOTES
	DENOTES EXISTING WALL TO BE DEMOLISHED
	DENOTES EXISTING DOOR
	DENOTES NEW DOOR & FRAME

CEILING PLAN LEGEND	
	EXISTING 2' x 4' ACOUSTIC TILE CEILING TO REMAIN
	EXISTING 2' x 4' ACOUSTIC TILE CEILING ASSEMBLY TO BE REMOVED
	NEW 2' x 4' ACOUSTIC CEILING TILE AND CEILING GRID
	DENOTES GYPSUM BOARD CEILING & BULKHEADS
	EXISTING RECESSED MTD 2' x 4' LED LIGHT FIXTURE TO BE REMOVED
	NEW RECESSED MTD 120V 2' x 4' LED LIGHT FIXTURE
	NEW RECESSED MTD 2' x 2' LED FIXTURE
	EXISTING RECESSED MTD 2' x 2' LED FIXTURE TO BE REMOVED
	DENOTES RECESSED POTLIGHT FIXTURE
	DENOTES SPRINKLER HEAD
	DENOTES NEW CONCEALED SPRINKLER HEAD
	DENOTES OVERHEAD SPEAKER
	DENOTES EMERGENCY LIGHTING
	DENOTES EMERGENCY EXIT SIGN



1 SELECTIVE DEMOLITION FLOOR PLAN
SCALE: 1:50



2 SELECTIVE DEMOLITION REFLECTED CEILING PLAN
SCALE: 1:50

CLIENT:

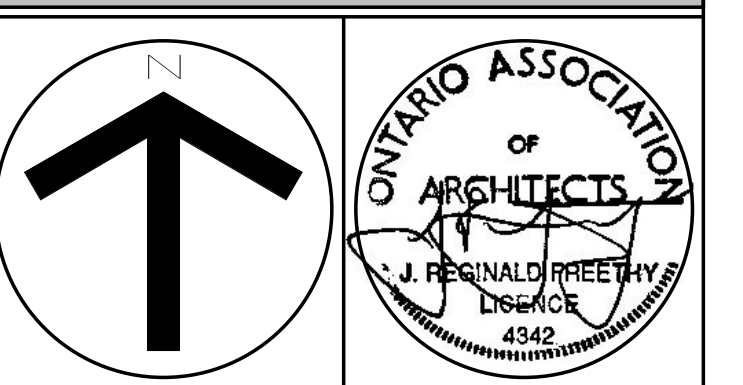
City Of Oshawa

#	DETAIL NUMBER	SHEET WHERE DETAILED
1	A###	
	SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN	
	INDICATES 5-4" BARRIER FREE TURNING DIAMETER	
(N.I.C.)	NOT IN THE CONTRACT	
PROVIDE	INDICATES SUPPLY AND INSTALL	

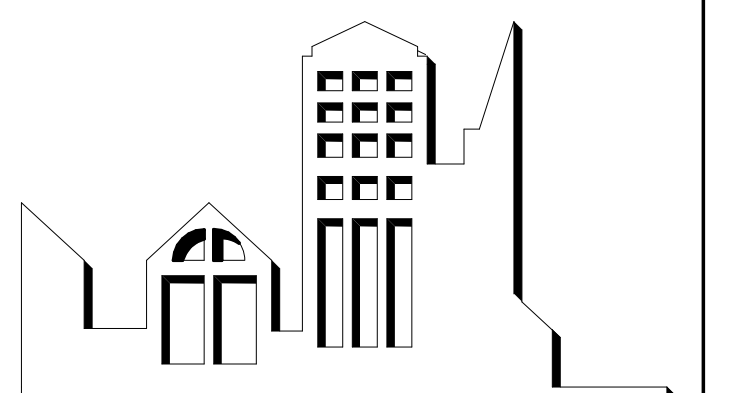
No.	DESCRIPTION	BY	DATE
6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025

REVISIONS

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J.R. FREETHY ARCHITECT



325 LAKE RD. SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 Tel: (905) 623-7476

PROJECT:

Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

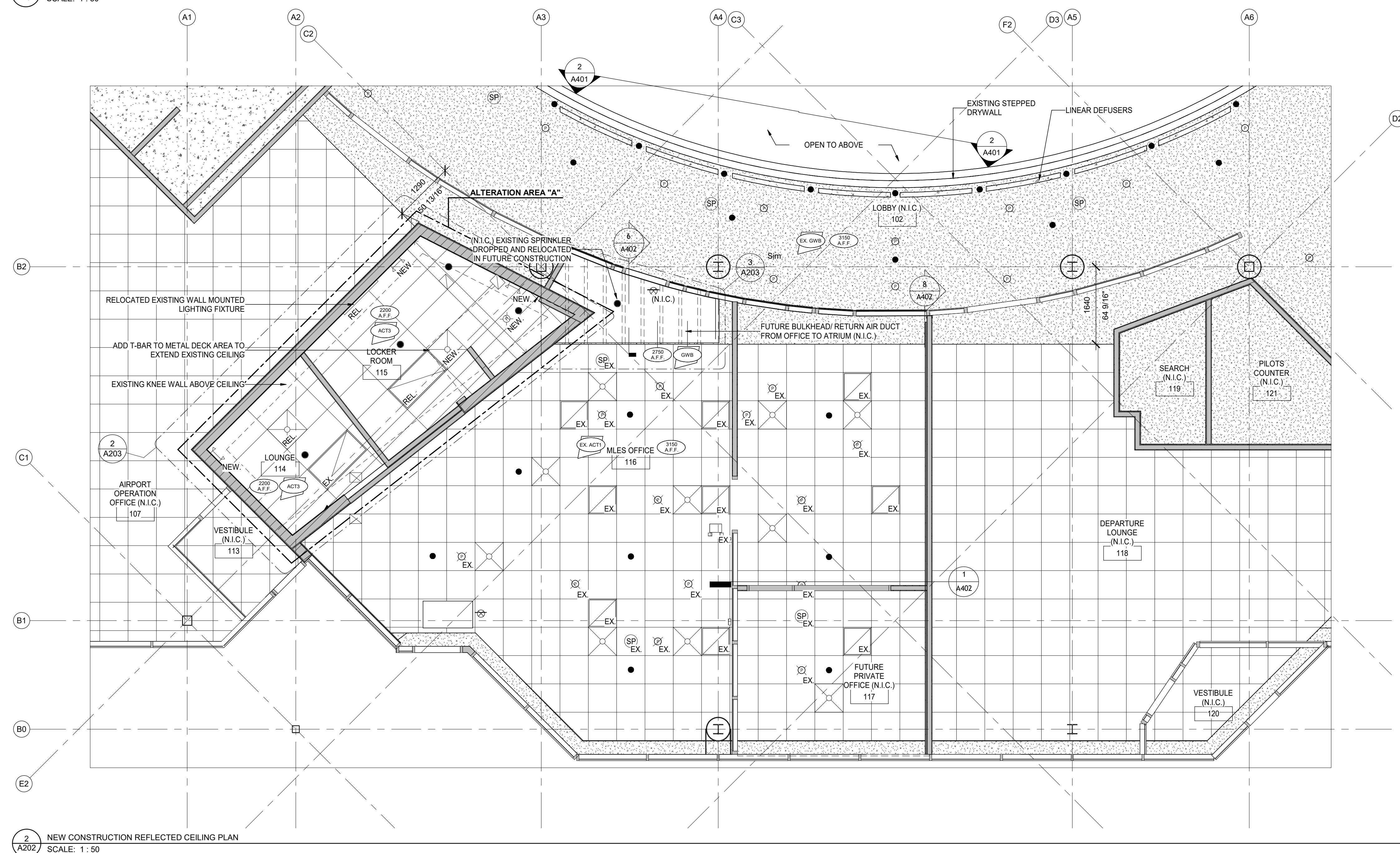
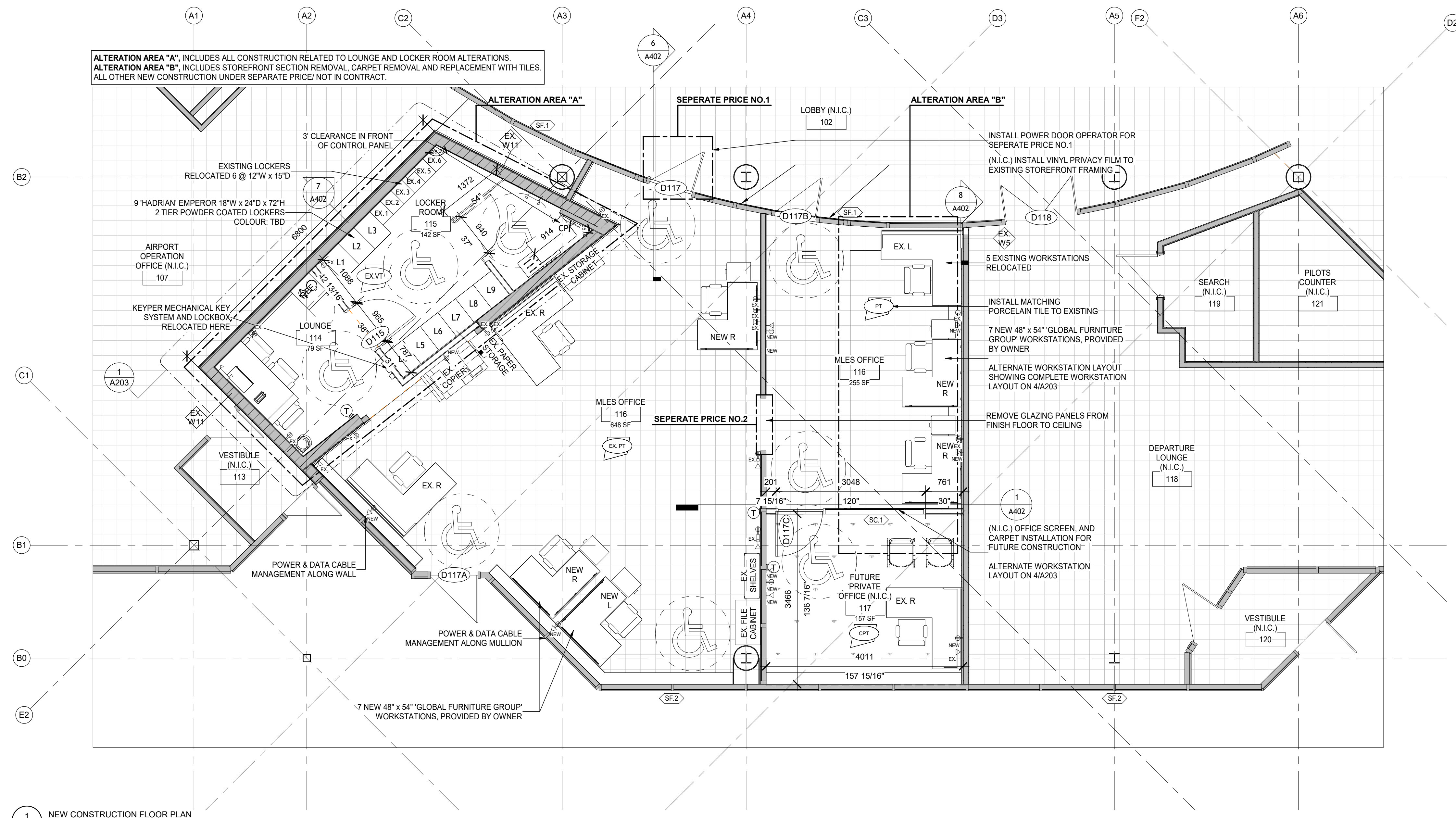
SCALE:	As indicated
DWG. BY:	C. NYARKO
CHECKED BY:	J.R.F.
STATUS:	ISSUED FOR PERMIT & TENDER
PLOT FACTOR:	1:1

TITLE:
SELECTIVE DEMOLITION
FIRST FLOOR

PROJECT No.:	2025_40	DWG. No.:	A201
DATE:	November 2025		

SYMBOL LEGEND	
	INTERIOR ELEVATION NUMBER
	DIRECTION OF ELEVATION
	SHEET NUMBER
	LOCATION OF DRAWING
	ROOM NAME
	DENOTES EX. NEW ROOM NAME & NUMBER (ROOM AREA OPTIONAL / AS REQUIRED)
	DENOTES FLOOR FINISHES
	DENOTES GENERAL NOTES
	DENOTES EXISTING WALL TO BE DEMOLISHED
	DENOTES EXISTING DOOR
	DENOTES NEW DOOR & FRAME

CEILING PLAN LEGEND	
	EXISTING 2' x 4' ACOUSTIC TILE CEILING TO REMAIN
	EXISTING 2' x 4' ACOUSTIC TILE CEILING ASSEMBLY TO BE REMOVED
	NEW 2' x 4' ACOUSTIC CEILING TILE AND CEILING GRID
	DENOTES GYPSUM BOARD CEILING & BULKHEADS
	EXISTING RECESSED MTD 2' x 4' LED LIGHT FIXTURE TO BE REMOVED
	NEW RECESSED MTD 120V 2' x 4' LED LIGHT FIXTURE
	NEW RECESSED MTD 2' x 2' LED FIXTURE
	EXISTING RECESSED MTD 2' x 2' LED FIXTURE TO BE REMOVED
	DENOTES RECESSED POTLIGHT FIXTURE
	DENOTES SPRINKLER HEAD
	DENOTES NEW CONCEALED SPRINKLER HEAD
	DENOTES OVERHEAD SPEAKER
	DENOTES EMERGENCY LIGHTING
	DENOTES EMERGENCY EXIT SIGN



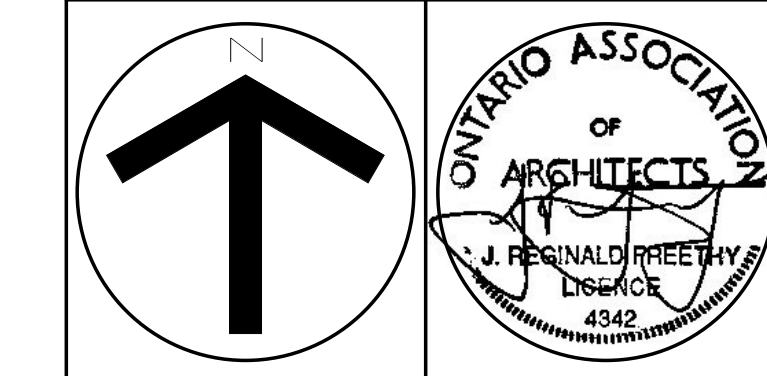
CLIENT:

City Of Oshawa

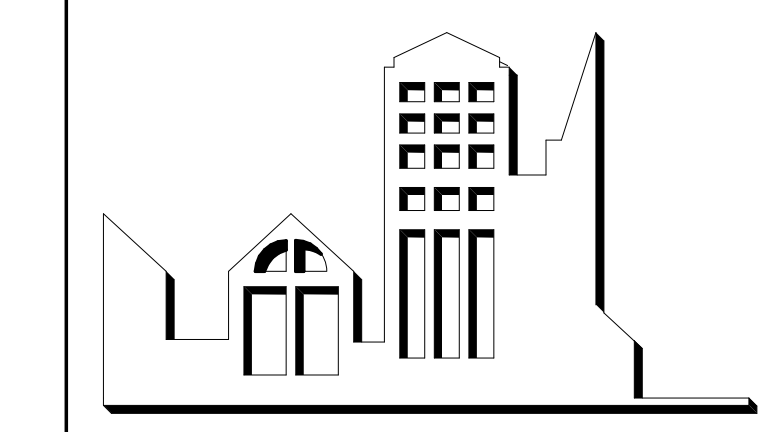
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A###	SHEET WHERE DETAILED
	SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN
	INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.
(N.I.C.)	NOT IN THE CONTRACT
PROVIDE	INDICATES SUPPLY AND INSTALL.

No.	DESCRIPTION	BY.	DATE
6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025

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J.R. FREETHY ARCHITECT



325 LAKE RD. SUITE 202
 BOWMANVILLE ONTARIO
 L1C 4P8 Tel: (905) 623-7476

PROJECT:
Oshawa Airport MLES Office Alterations
 1200 Airport Blvd, Oshawa, ON L1J 8P5

SCALE:	As indicated
DWG. BY:	C. NYARKO
CHECKED BY:	J.R.F.
STATUS:	ISSUED FOR PERMIT & TENDER
PLOT FACTOR:	1:1

TITLE:
NEW CONSTRUCTION PLANS

PROJECT No.:	2025_40	DWG. No.:	A202
DATE:	November 2025		

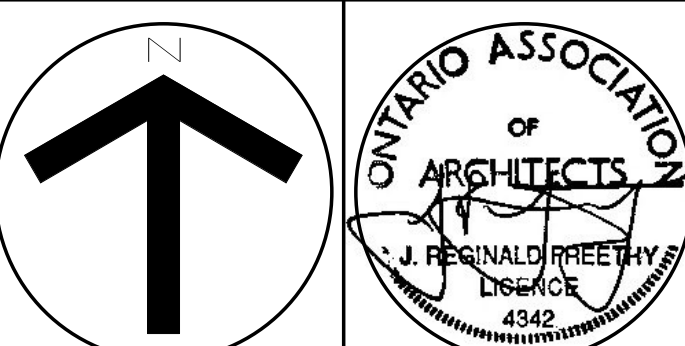
CLIENT:

City Of Oshawa

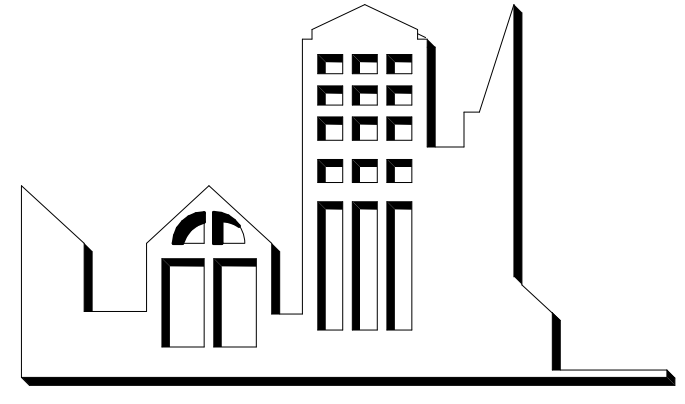
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- A### SHEET WHERE DETAILED
- SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.
- INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.
- (N.I.C.) NOT IN THE CONTRACT
- PROVIDE INDICATES SUPPLY AND INSTALL.

No.	DESCRIPTION	BY.	DATE
6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025

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J.R. FREETHY ARCHITECT



325 LAKE RD. SUITE 202
 BOWMANVILLE ONTARIO
 L1C 4P8 Tel: (905) 623-7476

PROJECT:

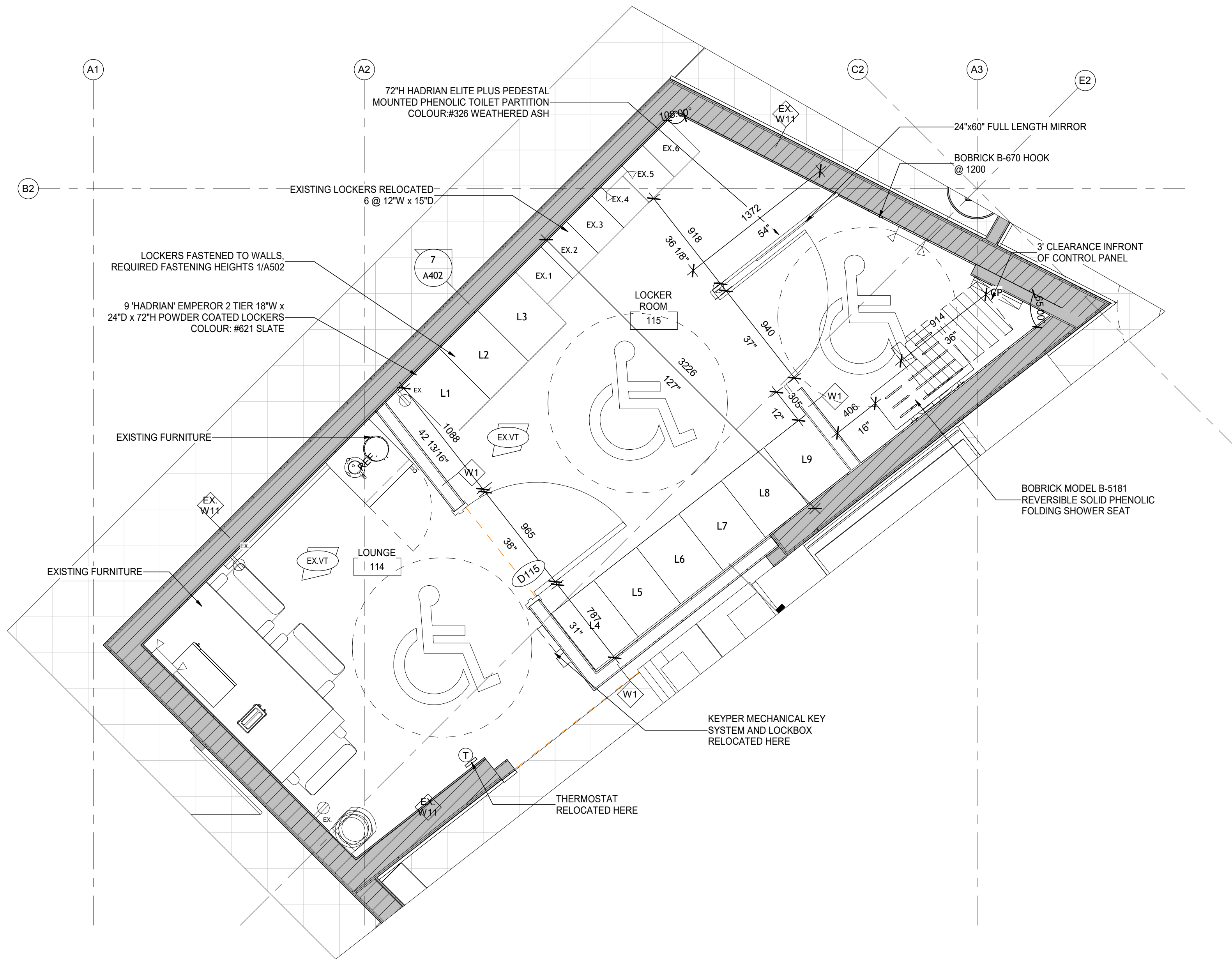
Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

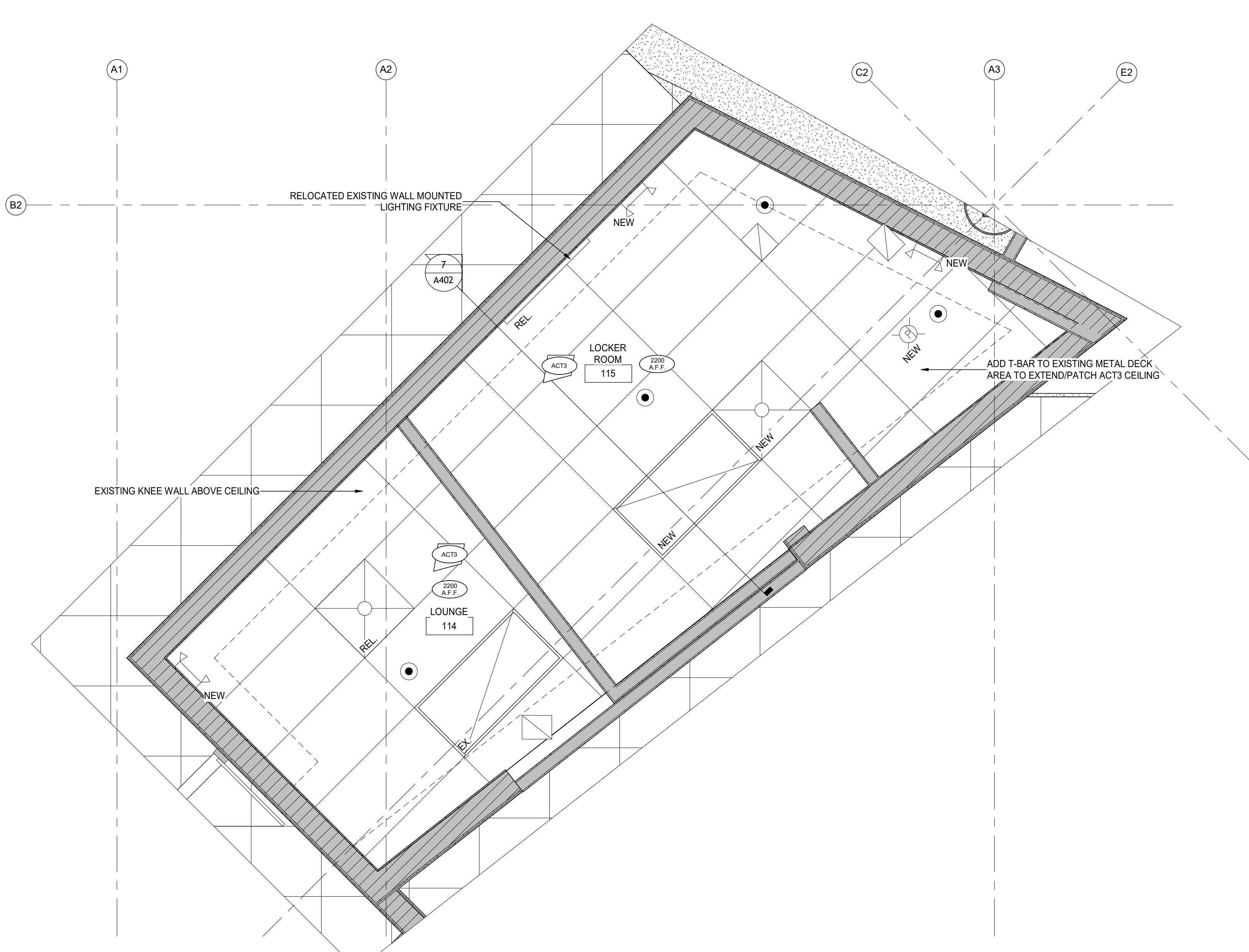
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DWG. BY:	C. NYARKO
CHECKED BY:	J.R.F.
STATUS:	ISSUED FOR PERMIT & TENDER
PLOT FACTOR:	1:1

TITLE: NEW CONSTRUCTION PLANS

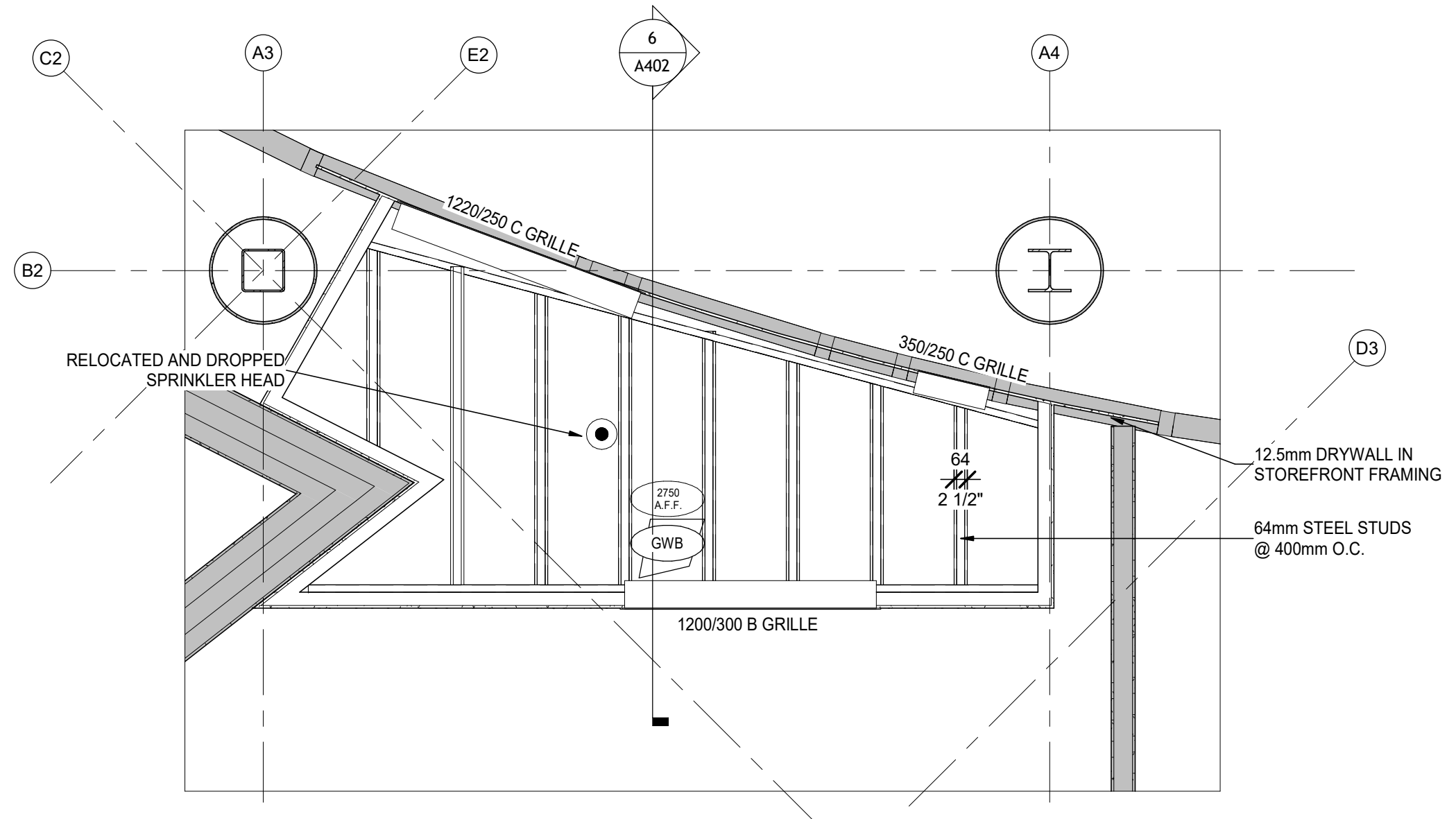
PROJECT No.:	DWG. No.:
2025_40	A203
DATE: November 2025	



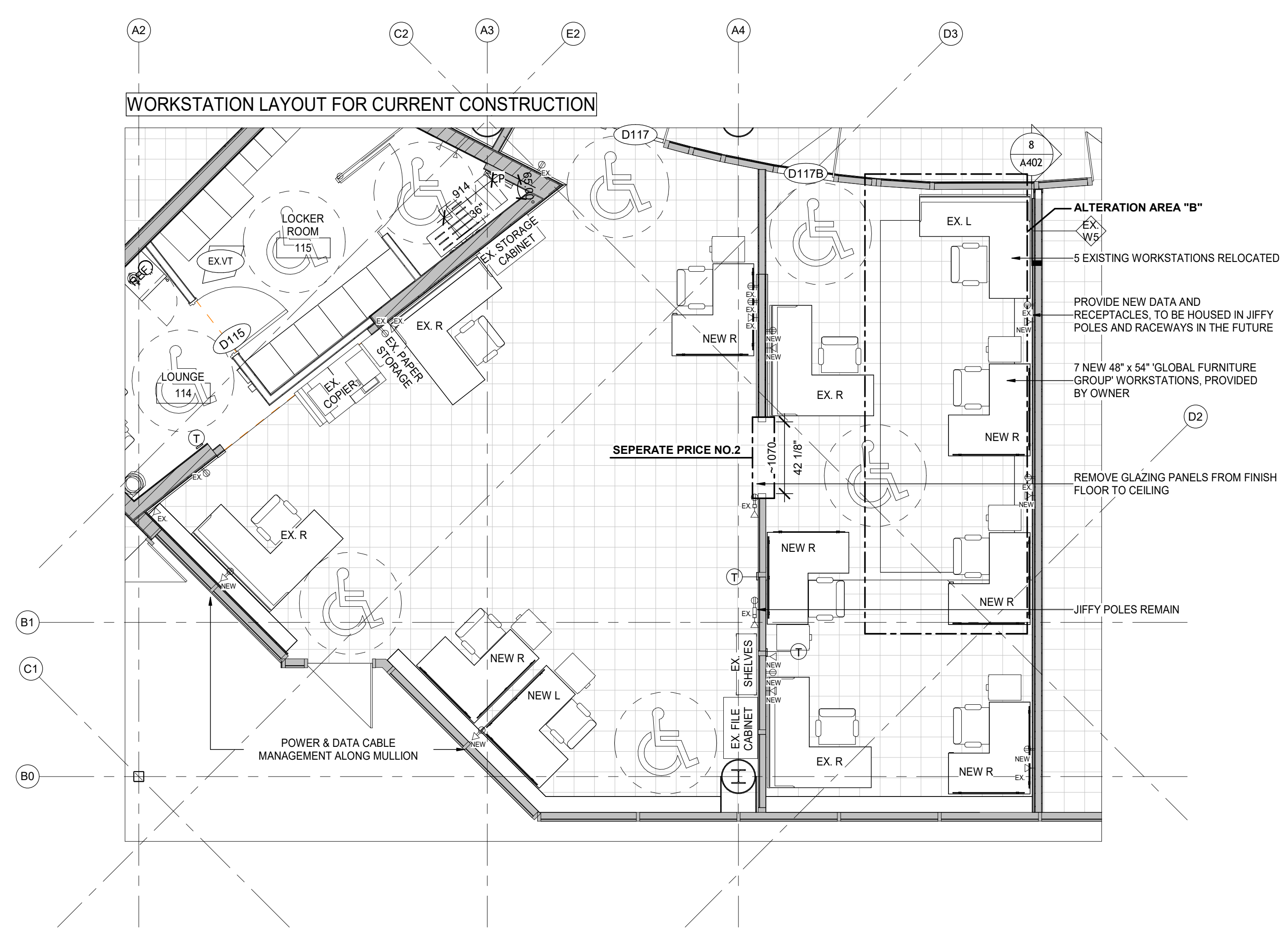
1 ALTERATION AREA 'A' / LOCKER ROOM AND LOUNGE
 SCALE: 1 : 25



2 ALTERATION AREA 'A' / LOCKER ROOM AND LOUNGE RCP
 SCALE: 1 : 25



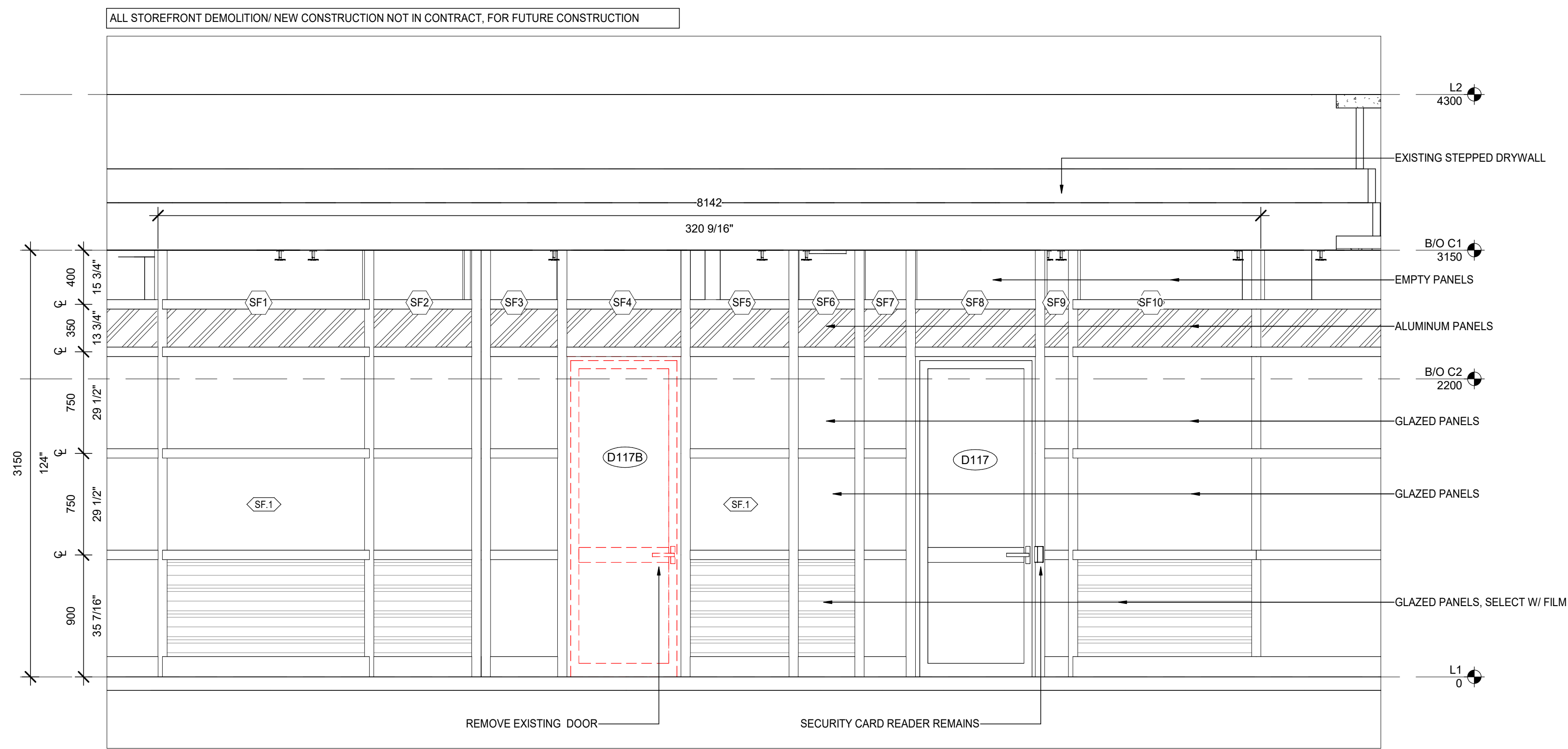
3 FUTURE BULKHEAD FRAMING PLAN DETAIL (N.I.C.)
 SCALE: 1 : 25



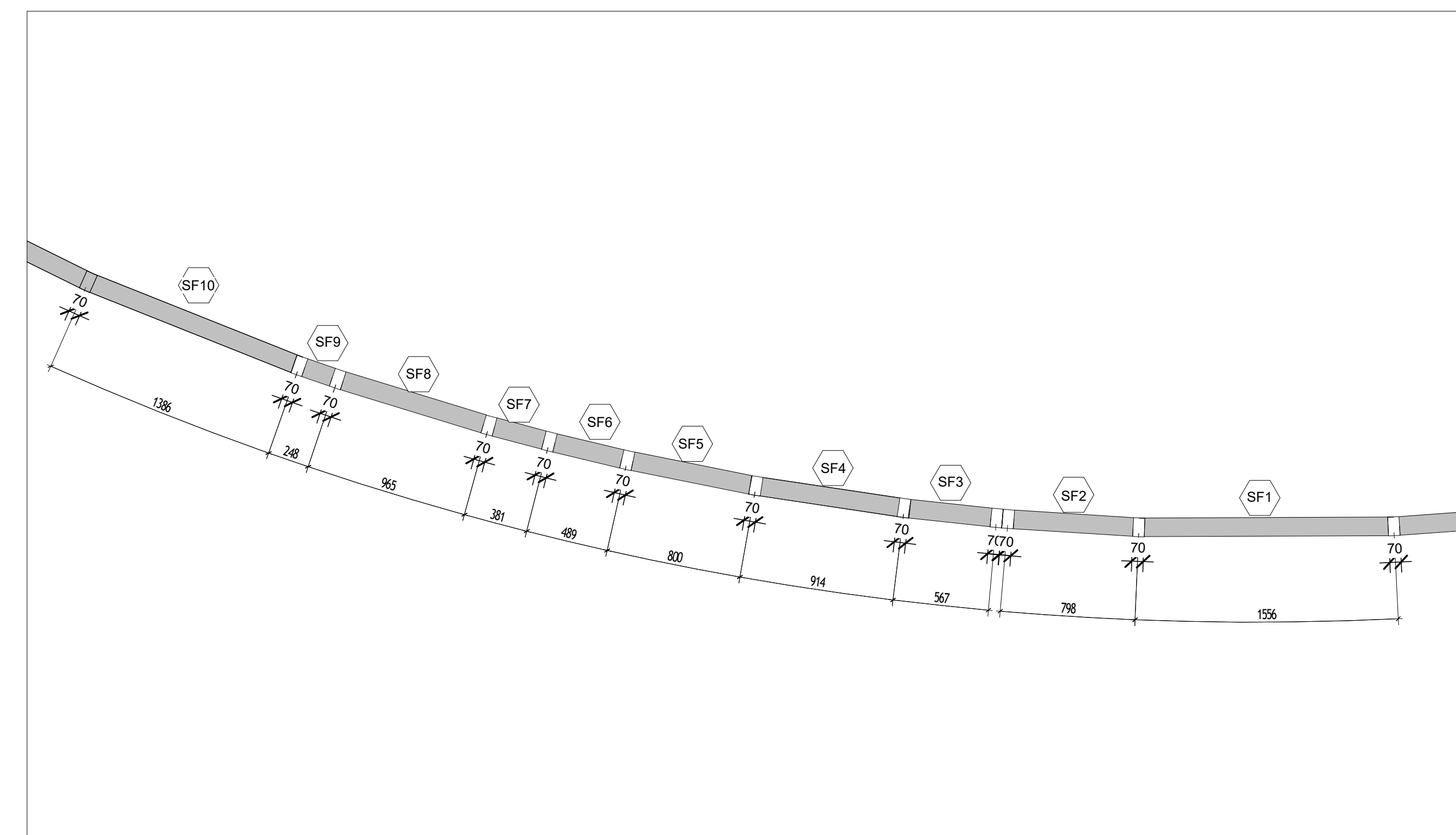
4 CURRENT CONSTRUCTION WORKSTATION LAYOUT
 SCALE: 1 : 50

CLIENT:

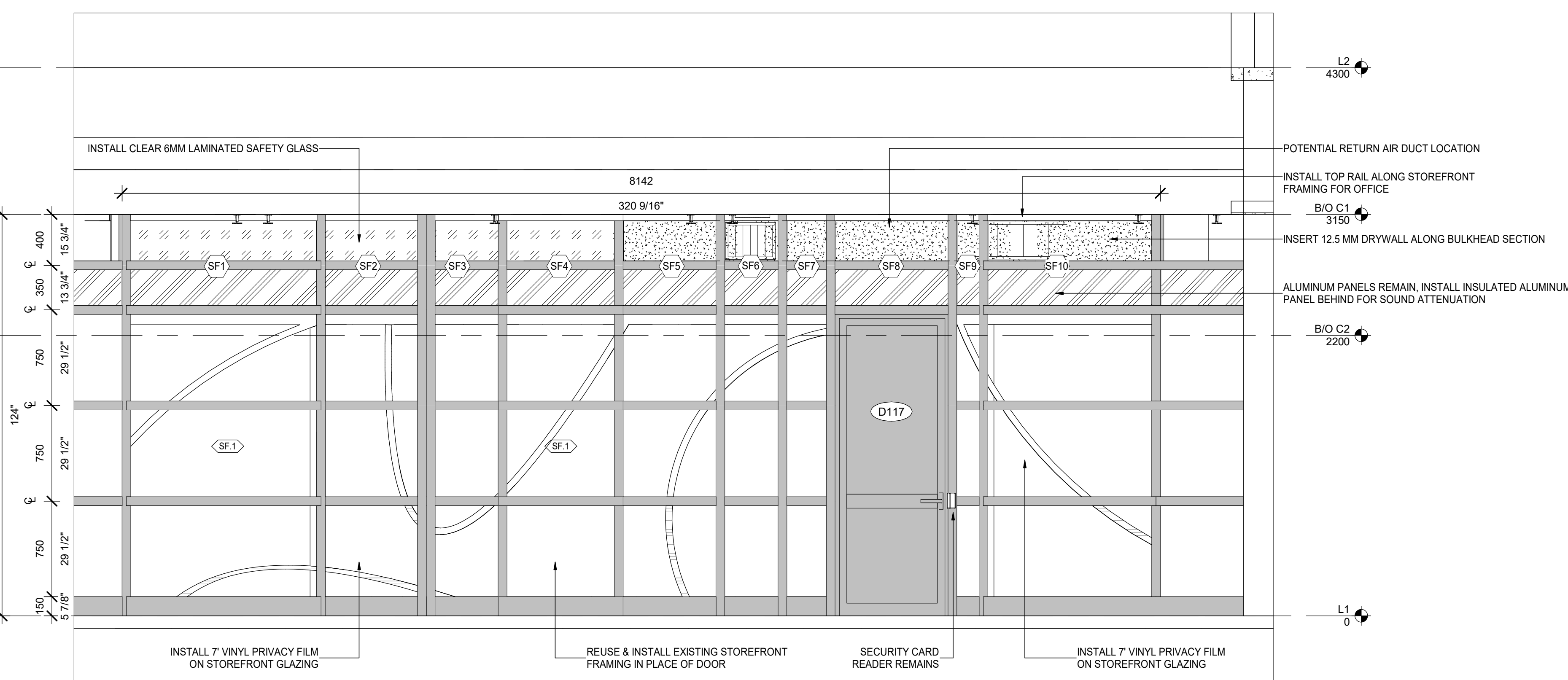
City Of Oshawa



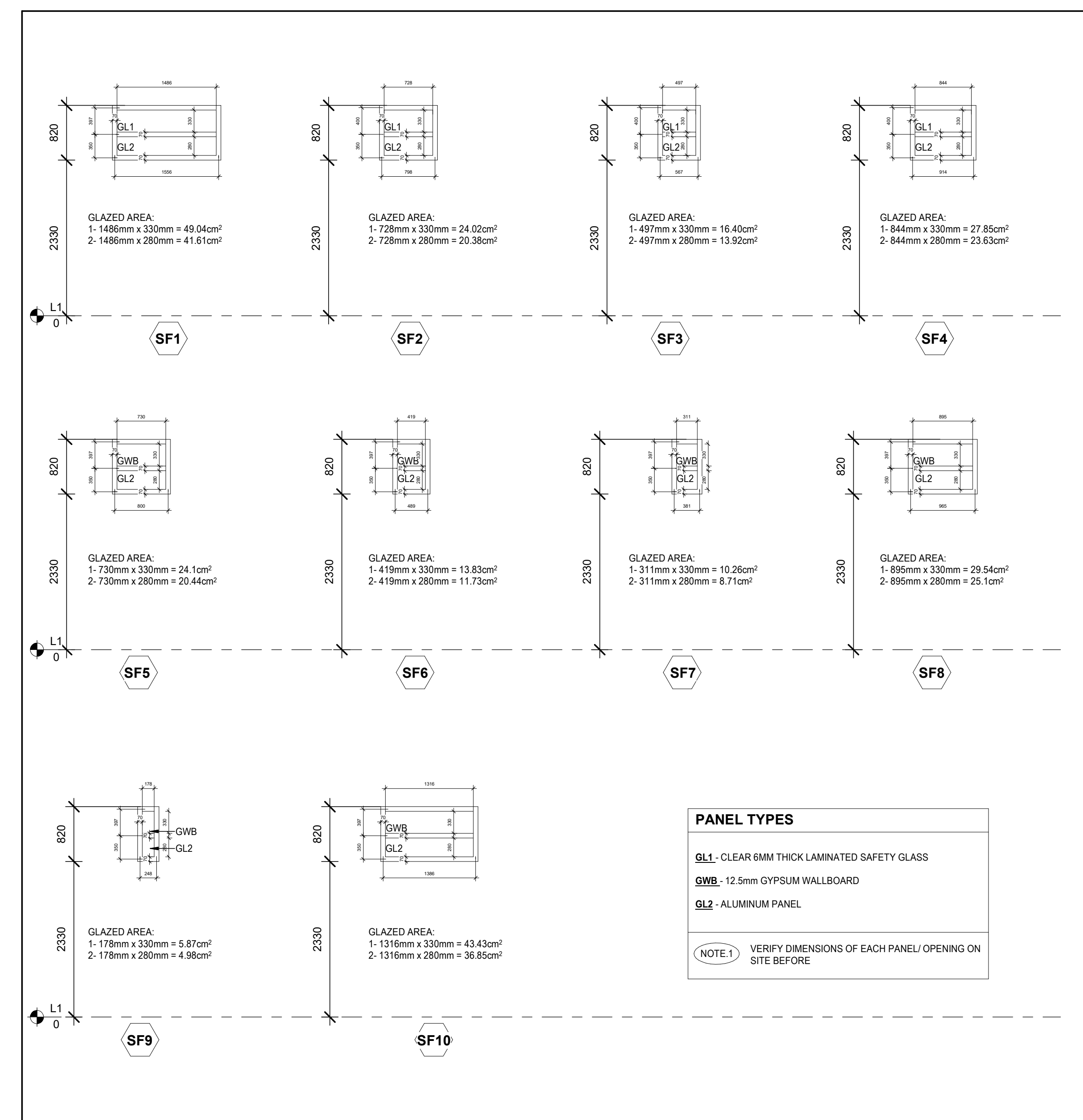
1 FUTURE SELECTIVE DEMOLITION LOBBY STOREFRONT (N.I.C.)
SCALE: 1 : 25



3 STOREFRONT PLAN
SCALE: 1 : 25



2 FUTURE NEW CONSTRUCTION LOBBY STOREFRONT (N.I.C.)
SCALE: 1 : 25



4 SF-1 SCREEN ELEVATIONS FOR FUTURE CONSTRUCTION (N.I.C.)
SCALE: 1 : 50

DETAIL NUMBER
A### SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

(N.I.C.) NOT IN THE CONTRACT

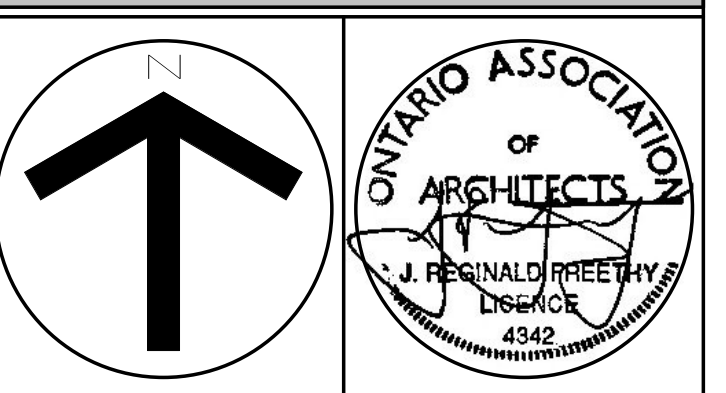
PROVIDE INDICATES SUPPLY AND INSTALL.

6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025
No.	DESCRIPTION	BY.	DATE

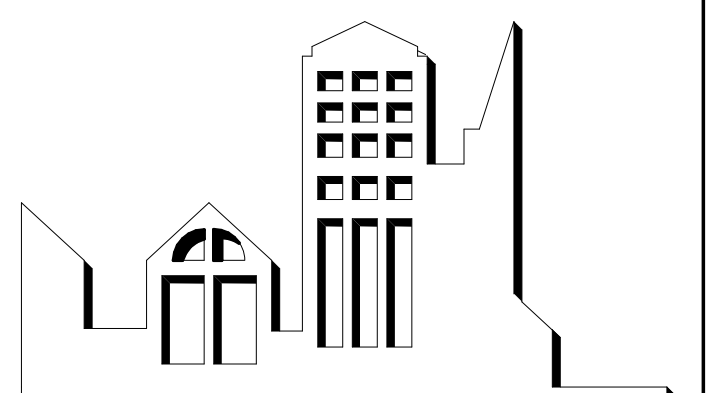
REVISIONS

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J.R. FREETHY ARCHITECT



325 LAKE RD. SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 Tel: (905) 623-7476

PROJECT:

Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

SCALE: As indicated
 DWG. BY: C. NYARKO
 CHECKED BY: J.R.F.
 STATUS: ISSUED FOR PERMIT & TENDER
 PLOT FACTOR: 1:1

TITLE:
STOREFRONT SECTIONS & DETAILS

PROJECT No.: 2025_40
 DATE: November 2025
 DWG. No.: A401

CLIENT:

City Of Oshawa

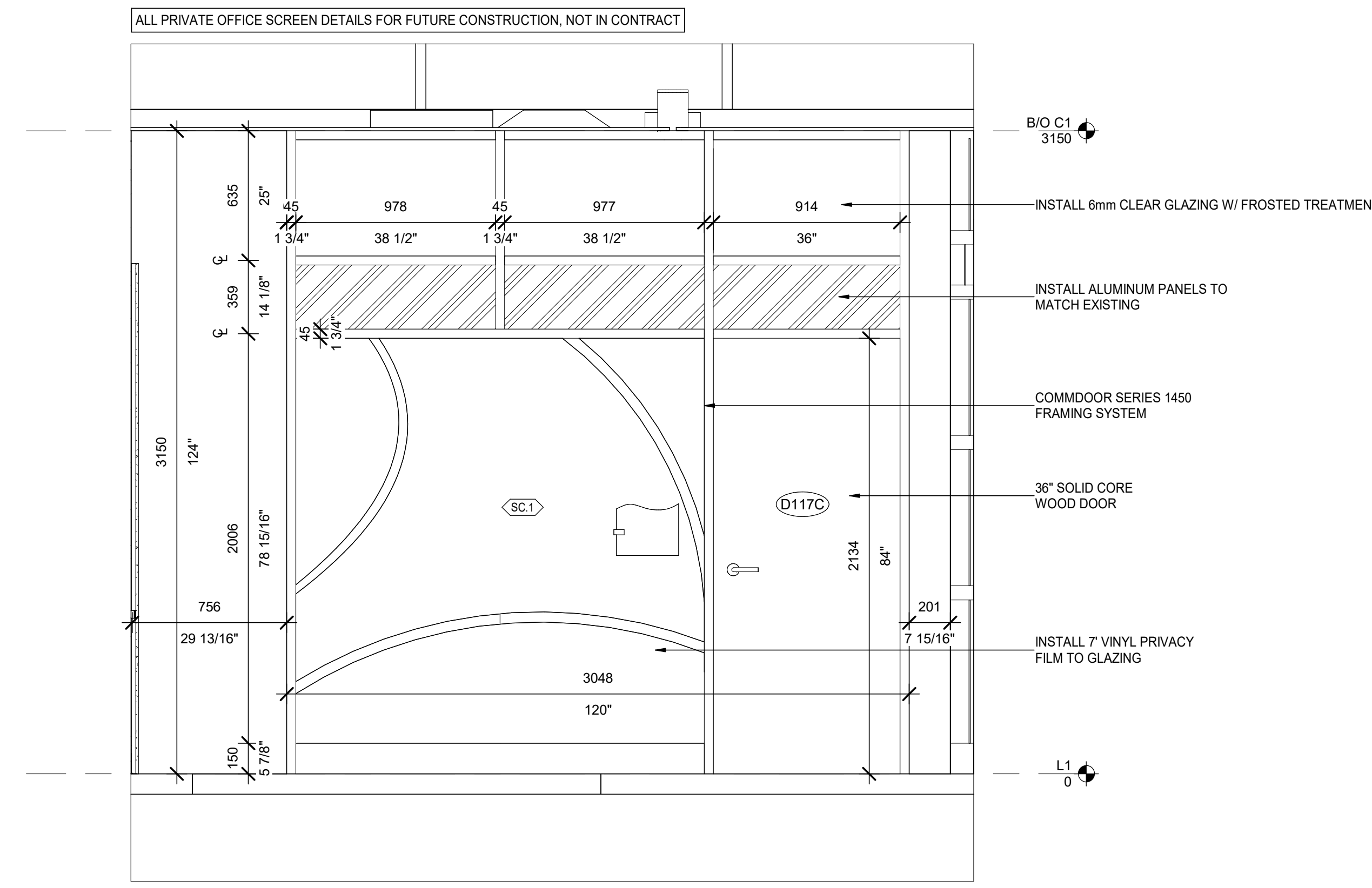
DETAIL NUMBER
A### SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

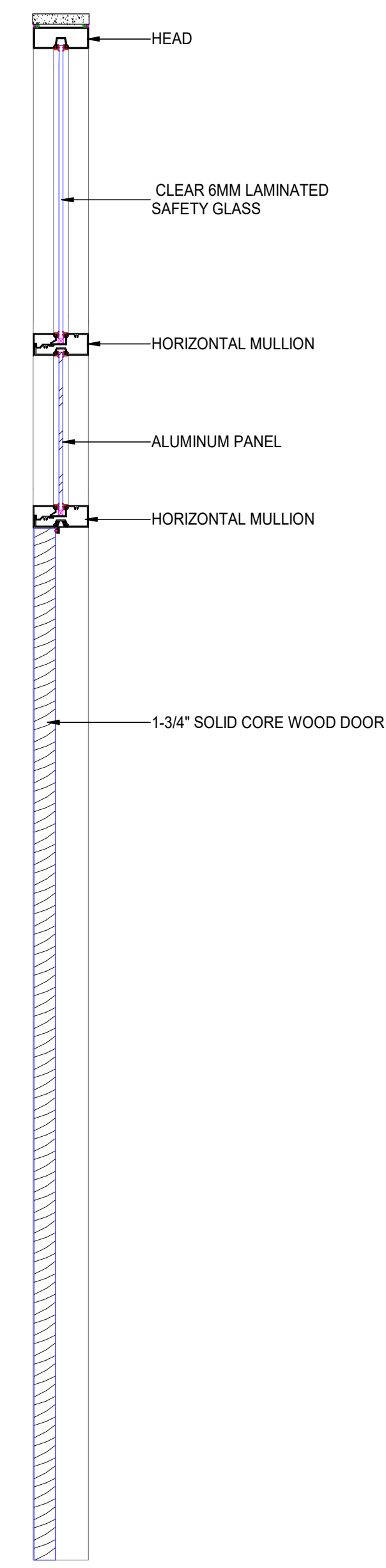
INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

(N.I.C.) NOT IN THE CONTRACT

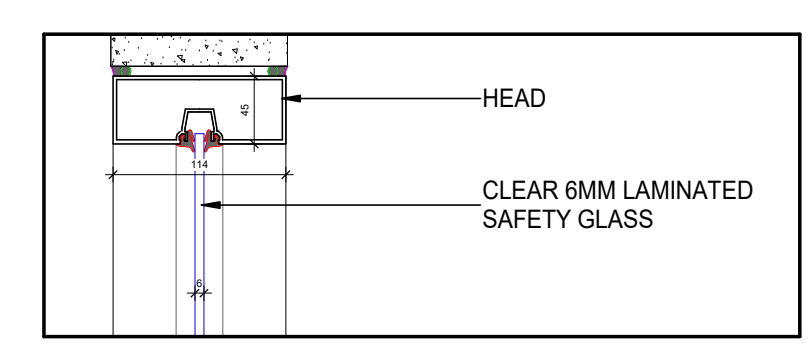
PROVIDE INDICATES SUPPLY AND INSTALL.



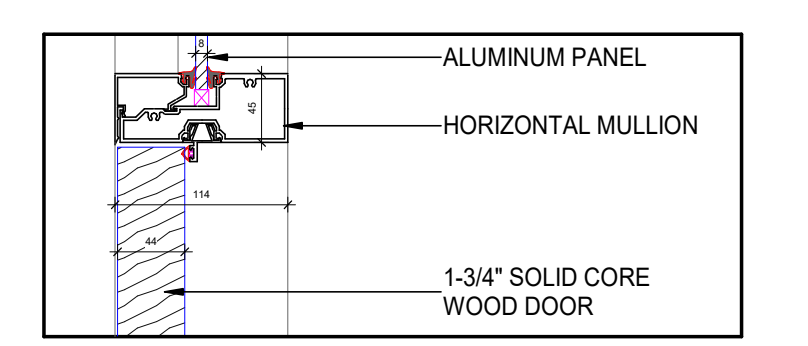
1 FUTURE PRIVATE OFFICE SCREEN (N.I.C.)
SCALE: 1:20



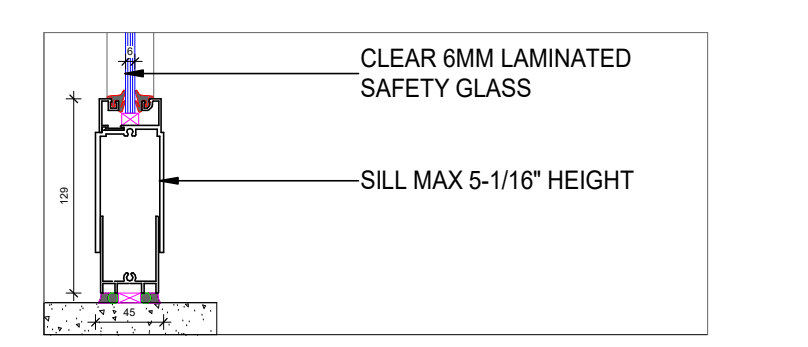
2 COMMDOOR 1450 SCREEN DETAILS (N.I.C.)
SCALE: 1:10



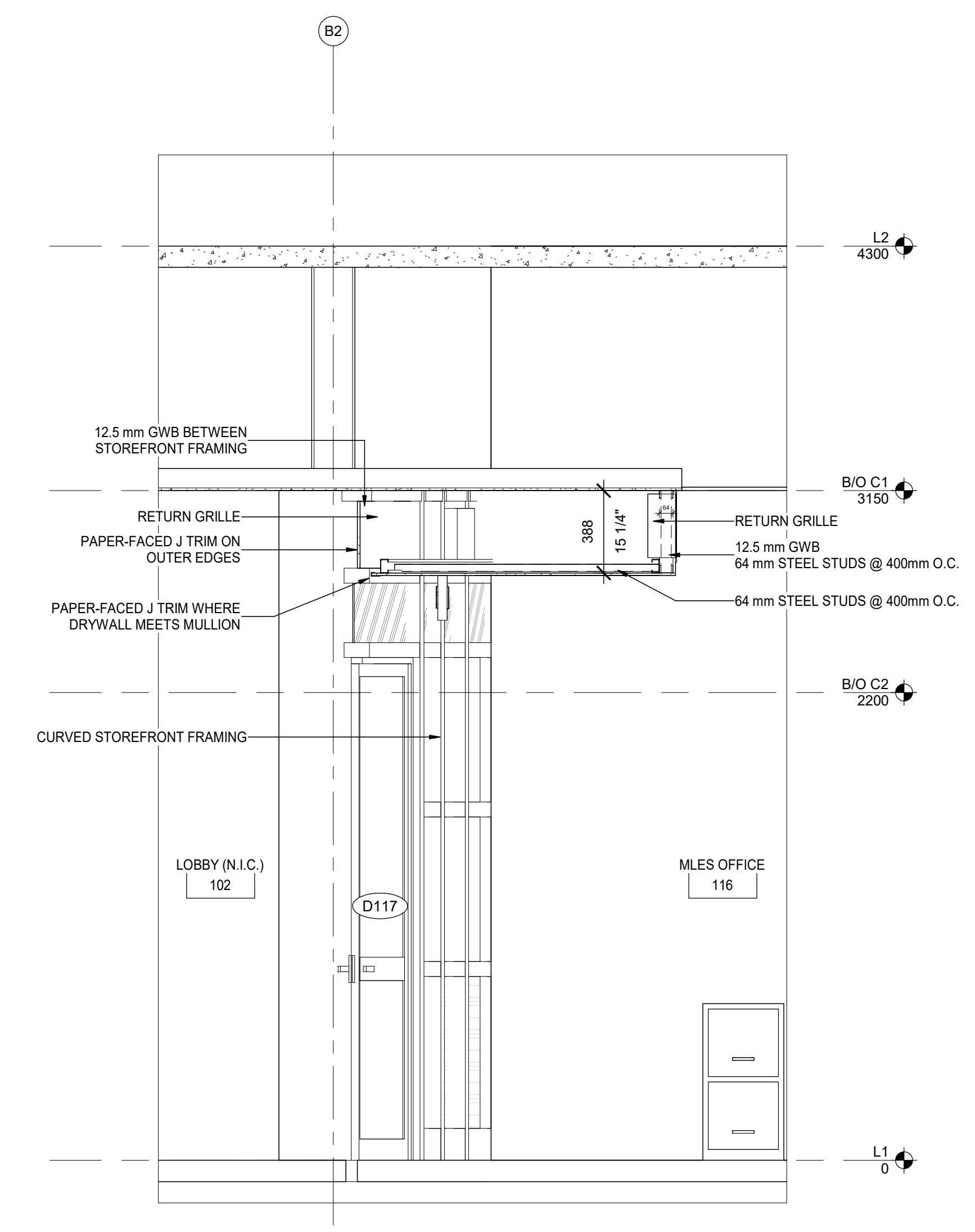
3 COMMDOOR HEAD DETAIL (N.I.C.)
SCALE: 1:5



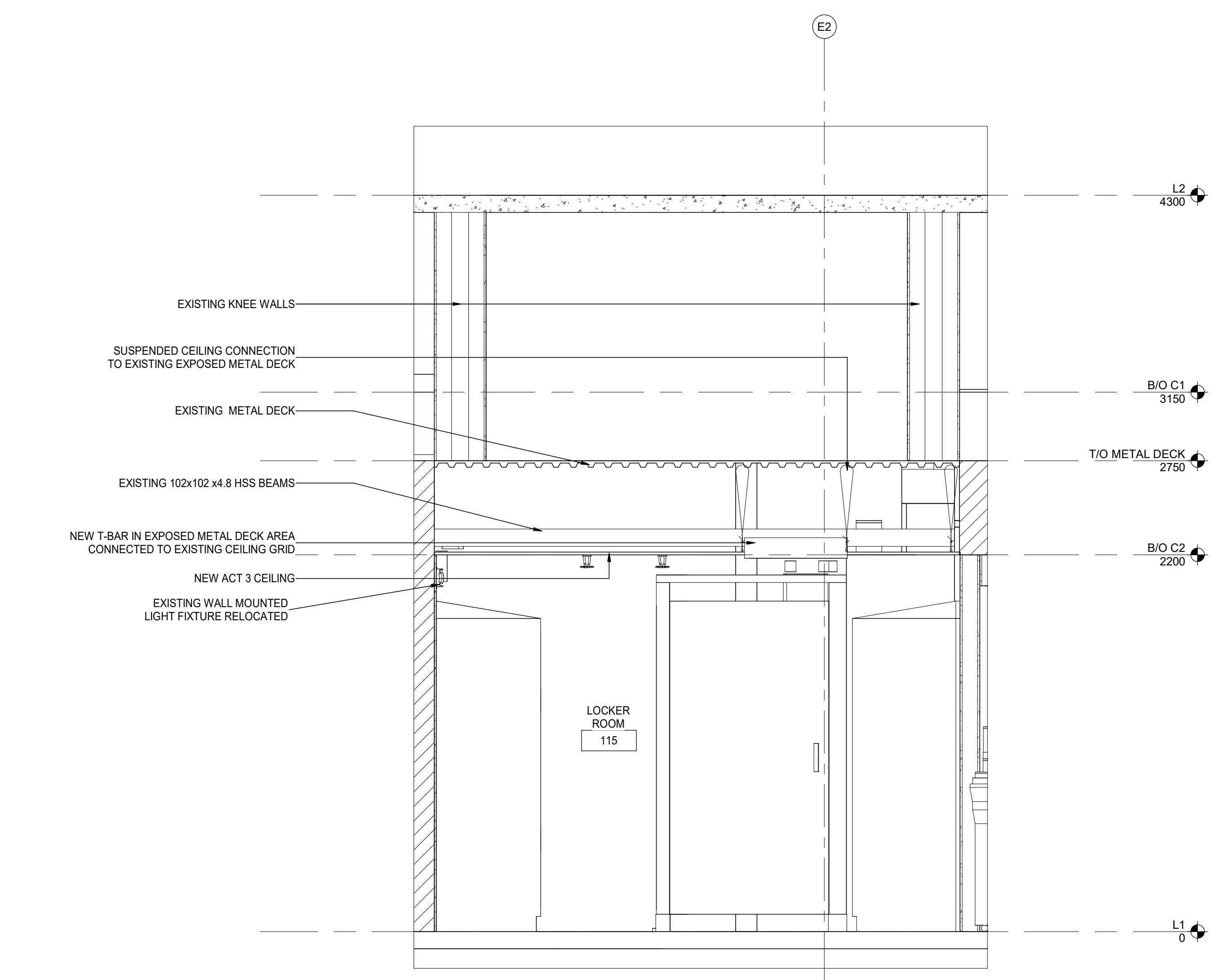
4 COMMDOOR DOOR JAMB DETAIL (N.I.C.)
SCALE: 1:5



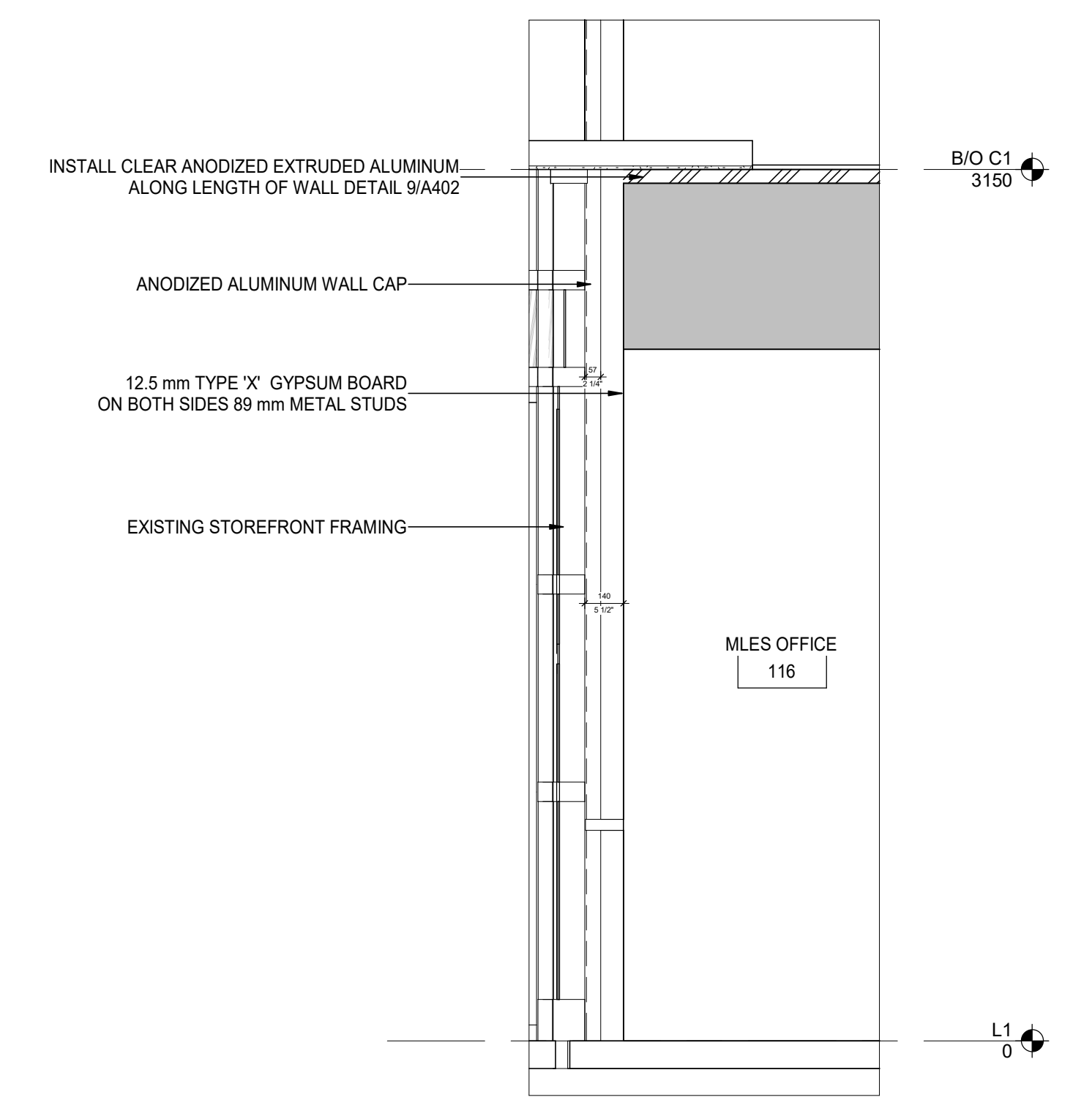
5 COMMDOOR SILL DETAIL (N.I.C.)
SCALE: 1:5



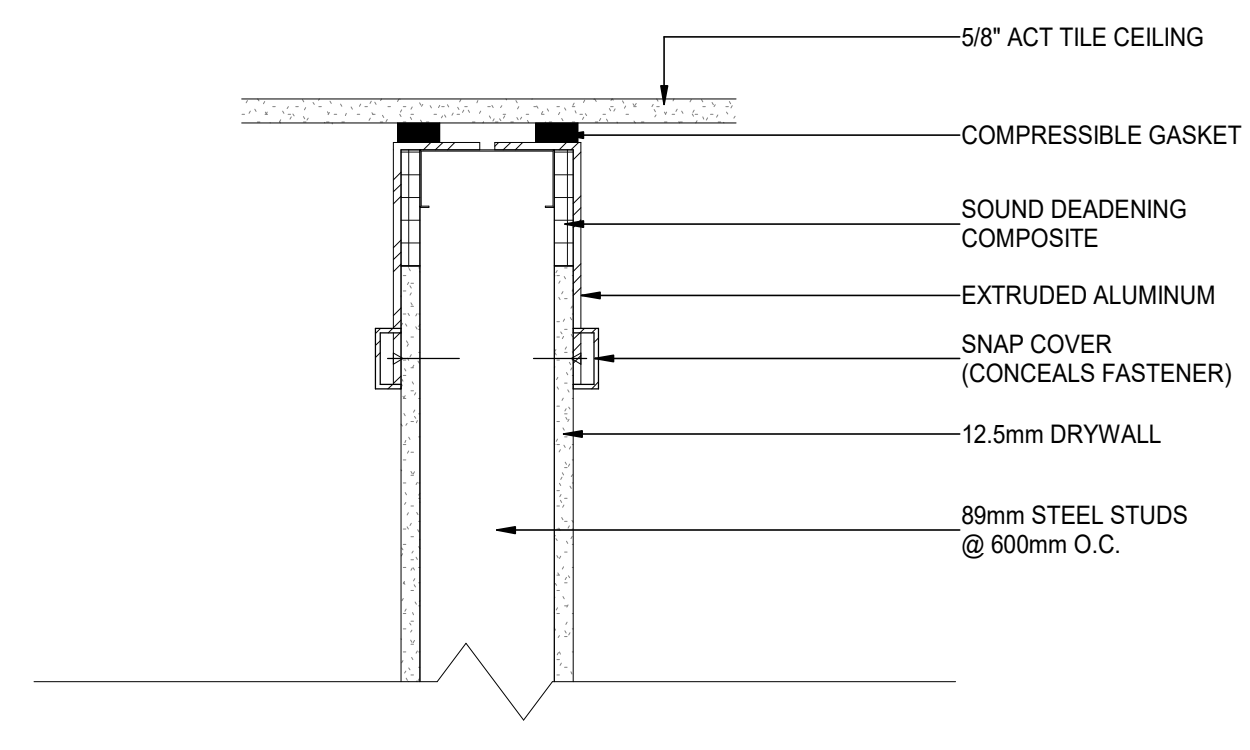
6 FUTURE RETURN DUCT DETAIL (N.I.C.)
SCALE: 1:20



7 LOCKER ROOM CEILING SECTION
SCALE: 1:20



8 WALL EXTENSION SECTION
SCALE: 1:20

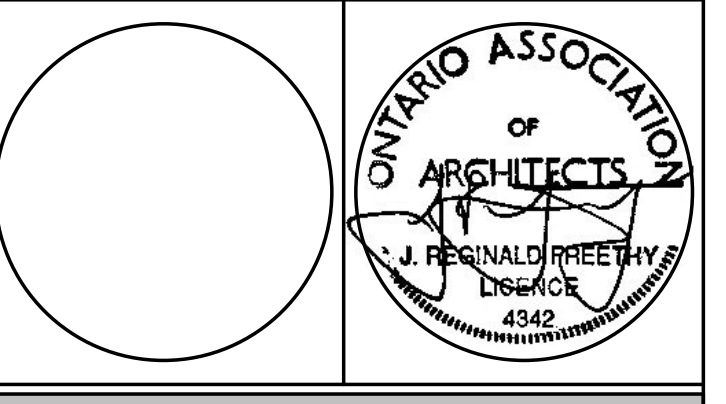


9 CEILING AND PARTITION CONNECTION DETAIL
SCALE: 1:5

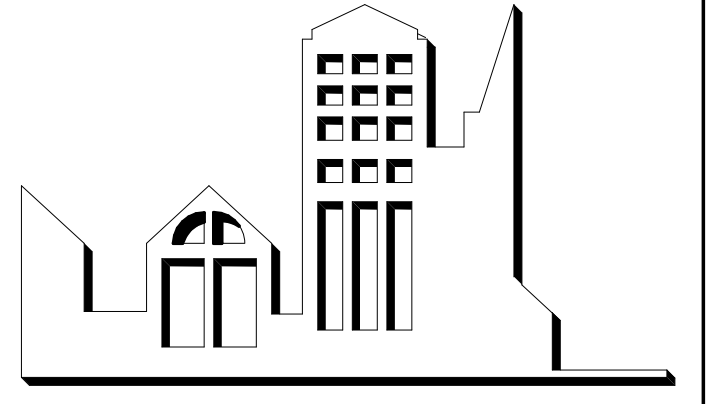
No.	DESCRIPTION	BY.	DATE
6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025

REVISIONS

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J.R. FREETHY ARCHITECT



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PROJECT:

Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

SCALE:	As indicated
DWG. BY:	C. NYARKO
CHECKED BY:	J.R.F.
STATUS:	ISSUED FOR PERMIT & TENDER
PLOT FACTOR:	1:1

TITLE:
FUTURE OFFICE AND BULKHEAD SECTIONS & DETAILS

PROJECT No.: 2025_40
DATE: November 2025
DWG. No.: A402

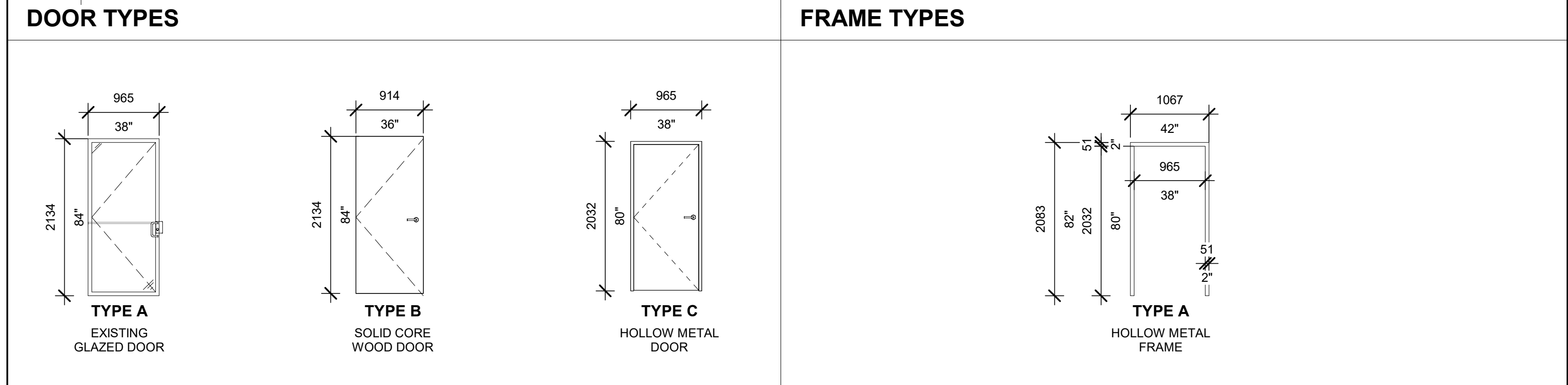
WALL TYPES	
EX W14	12.5 mm GWB ON BOTH SIDES 89 mm STUDS @ 600mm O.C. FINISH FLOOR TO U/S OF CEILING
EX W5	12.5 mm GWB ON FURRING 89 mm STUDS @ 600mm O.C.
EX W11	38 mm x 12.5 mm REVEALS 2 LAYERS 12.5 mm GWB 200mm CONC. BLOCK
W1	12.5 mm TYPE 'X' GYPSUM BOARD ON BOTH SIDES 89 mm METAL STUDS @ 600mm O.C.

CEILING TYPES	
ACT1	EXISTING ACOUSTIC TILE CEILING 5/8" CEILING TILE
ACT4	NEW ACOUSTIC TILE CEILING 5/8" CEILING TILE (N.I.C., FUTURE CONSTRUCTION)
ACT2	EXISTING ACOUSTIC TILE CEILING 5/8" CEILING TILE
GWB	EXISTING GYPSUM BOARD CEILING
ACT3	NEW ACOUSTIC TILE CEILING 5/8" CEILING TILE

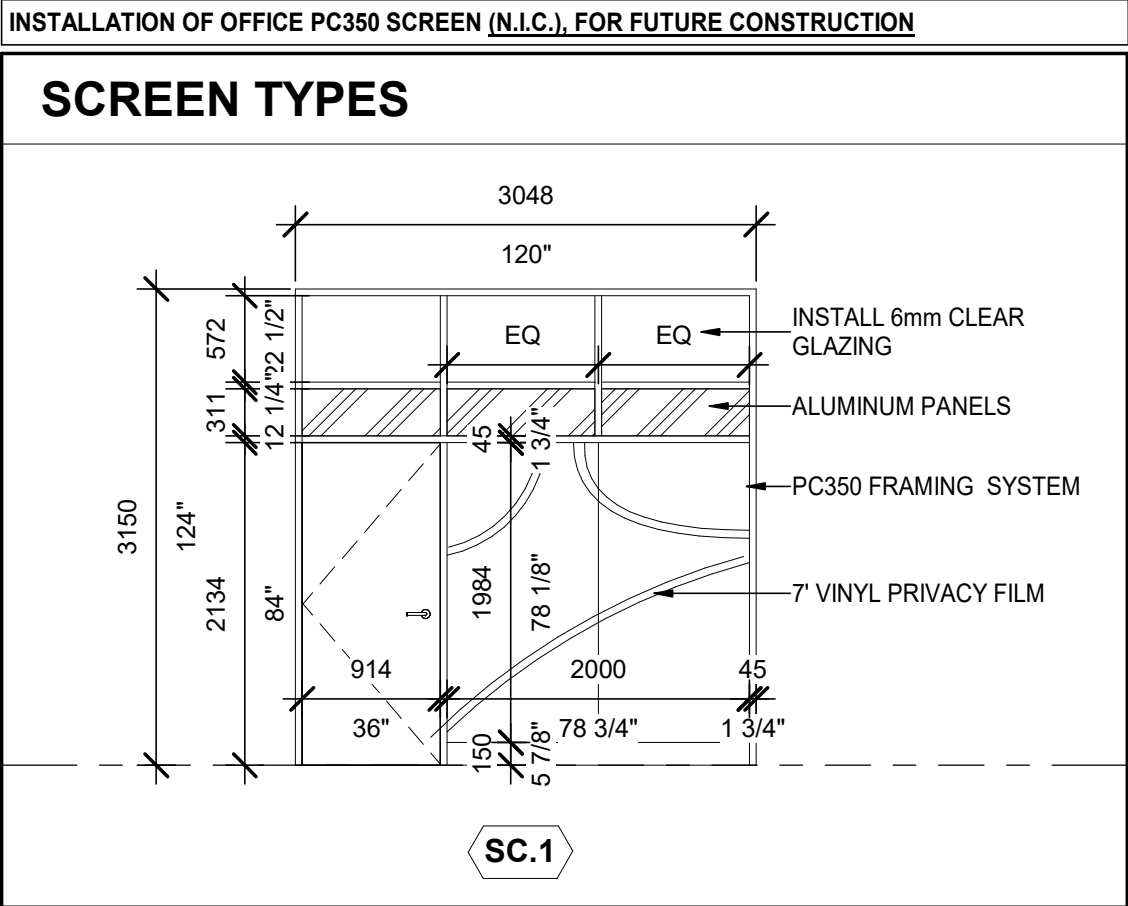
ROOM FINISH SCHEDULE															
ROOM NO.	ROOM NAME	FLOOR	WALLS				CEILING			REMARKS					
			MATERIAL	HEIGHT	NORTH	SOUTH	EAST	WEST	EX. ACT1		EX. ACT2	ACT3			
114	LOUNGE	VT	R.C.B.	100	QWB	GWB	GWB	GWB							MATCH EXISTING R.C.B.
115	LOCKER ROOM	VT	R.C.B.	100	QWB	GWB	GWB	GWB							MATCH EXISTING R.C.B.
116	MLES OFFICE	PT	R.C.B.	100	SF.1	SF.2	GWB	GWB							
117	FUTURE PRIVATE OFFICE	CPT	R.C.B.	100	SC.1/GWB	SF.2	GWB	GWB							MATCH EXISTING R.C.B.

ROOM FINISH LEGEND	
EX	EXISTING
FLOORING	
CPT.	CARPET
CT.	CERAMIC TILE
PT.	PORCELAIN TILE
VT.	VINYL TILE
WALLS	
GWB.	GYPSUM WALL BOARD
SC.	SCREEN
SF.	STOREFRONT
CEILING	
ACT.	ACOUSTIC TILE CEILING
GWB.	GYPSUM WALL BOARD
BASES	
R.C.B.	RUBBER COVE BASE
MATERIALS	
GL	GLAZING
HM	HOLLOW METAL
WD.	WOOD

DOOR SCHEDULE																				
DOOR NO.	DOOR TYPE	DOOR SIZE	FIRE RATING LABEL	CORE				FINISH				HARDWARE			GLAZING		FRAME	FINISH	REMARKS	
				HOLLOW	SOLID	MATERIAL	FACTORY FINISH	PAINT	CLEAR	CLOSER	LOCKSET	THRESHOLD	TEMPERED	FIRELITE	FIRE RATING LABEL	TYPE				FIRE RATING LABEL
115	C	3'-2" x 6'-8" x 1 3/4"				HM.											A	HM.		PROVIDE PRIVACY LOCKSET
117	A	3'-2" x 7'-0" x 1 3/4"				GL.											SF.1	HM.		EXISTING DOOR, EXISTING SECURITY CARD READER, PROVIDE POWER DOOR OPERATOR
117B	A	3'-2" x 7'-0" x 1 3/4"				GL.											SF.1	HM.		EXISTING DOOR, EXISTING LOCKSET, PROVIDE SECURITY CARD READER
117C	B	3'-0" x 7'-0" x 1 3/4"				WD.											SC.1	HM.		PROVIDE OFFICE HARDWARE LOCKSET



DOOR 117 POWER DOOR OPERATOR SEPARATE PRICE NO.1
 DOOR 117B REMAINS, REMOVAL (N.I.C.)
 DOOR 117C FOR INSTALLATION WITHIN OFFICE PC350 SCREEN IN FUTURE CONSTRUCTION (N.I.C.)



(SEPARATE PRICE NO.1)

CLIENT:
City Of Oshawa

A### DETAIL NUMBER SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

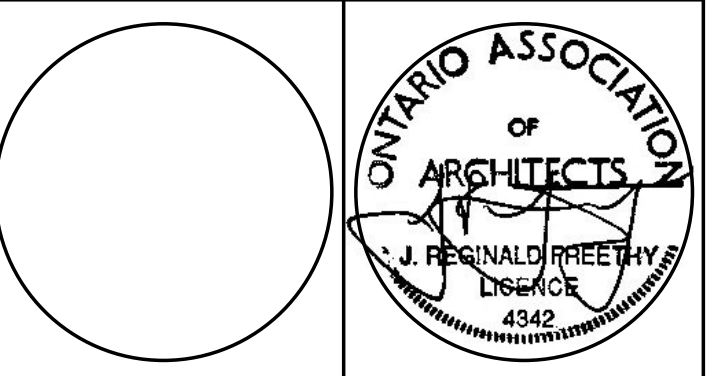
(N.I.C.) NOT IN THE CONTRACT

PROVIDE INDICATES SUPPLY AND INSTALL.

No.	DESCRIPTION	BY.	DATE
4	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
3	90% DD REV. 3	C.N.	04/30/26
2	90% DESIGN DEVELOPMENT	C.N.	02/11/26
1	FOR COORDINATION	C.N.	02/05/26

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325 LAKE RD. SUITE 202
 BOWMANVILLE ONTARIO
 L1C 4P8 Tel: (905) 623-7476

PROJECT:
Oshawa Airport MLES Office Alterations

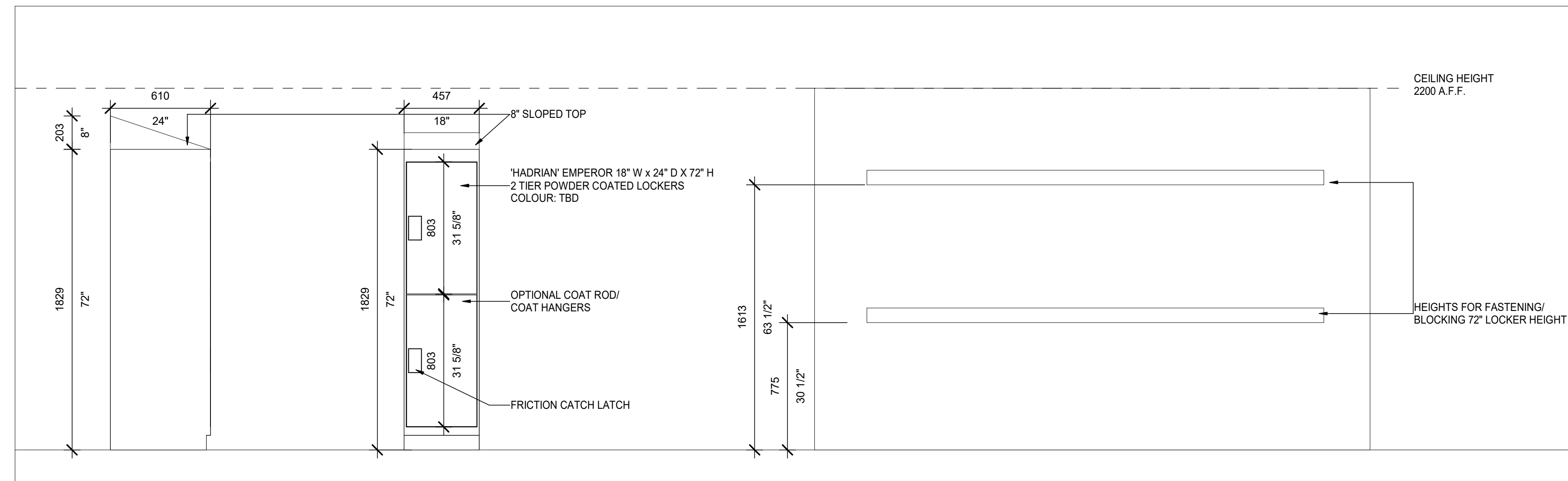
1200 Airport Blvd, Oshawa, ON L1J 8P5

SCALE: As indicated
 DWG. BY: C. NYARKO
 CHECKED BY: J.R.F.
 STATUS: ISSUED FOR PERMIT & TENDER
 PLOT FACTOR: 1:1

TITLE:
DOOR & ROOM FINISH SCHEDULES

PROJECT No.: 2025_40
 DATE: November 2025

DWG. No.: **A501**



HADRIAN EMPEROR LOCKER DETAILS & BLOCKING
SCALE: 1:20

CLIENT:

City Of Oshawa

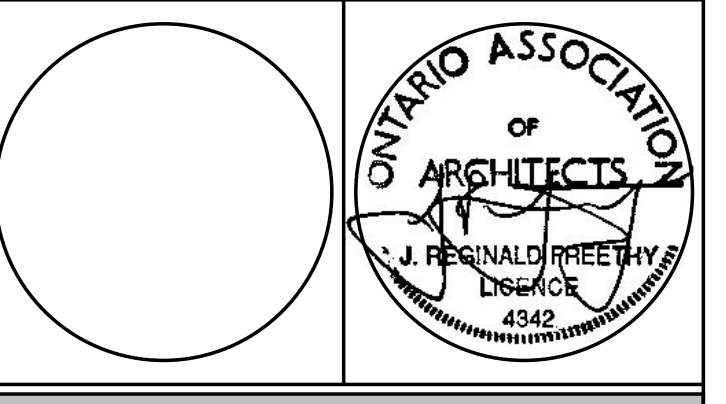
- #
A### DETAIL NUMBER
SHEET WHERE DETAILED
- SHADED AREA DENOTES EXISTING WALL
CONSTRUCTION TO REMAIN.
- INDICATES 5'-4" BARRIER FREE
TURNING DIAMETER.
- (N.I.C.) NOT IN THE CONTRACT
- PROVIDE INDICATES SUPPLY AND INSTALL.

No.	DESCRIPTION	BY.	DATE
6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
3	FOR COORDINATION	C.N.	02/05/26
2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025

REVISIONS

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BOWMANVILLE ONTARIO
L1C 4P8 Tel: (905) 623-7476

PROJECT:

Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

SCALE: 1:20
DWG. BY: C. NYARKO
CHECKED BY: J.R.F.
STATUS: ISSUED FOR PERMIT & TENDER
PLOT FACTOR: 1:1

TITLE:

MILLWORK

PROJECT No.: 2025_40
DATE: November 2025

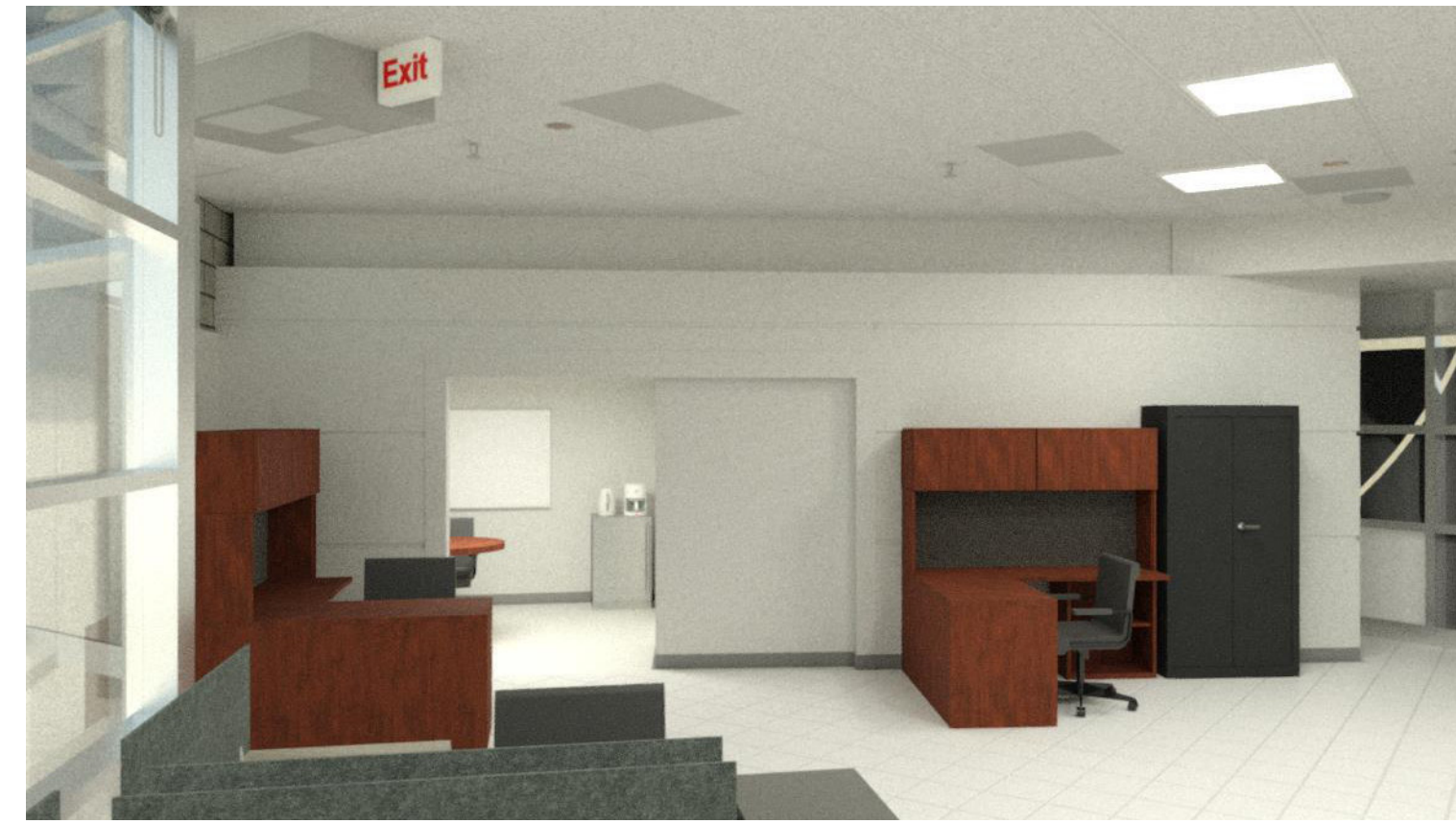
DWG. No.: **A502**



1 FUTURE MLES OFFICE
SCALE: 1:1



2 FUTURE MLES OFFICE
SCALE: 1:1



3 FUTURE MLES OFFICE
SCALE: 1:1



4 FUTURE MLES OFFICE
SCALE: 1:1



5 FUTURE PRIVATE OFFICE
SCALE: 1:1



6 LOCKER ROOM
SCALE: 1:1



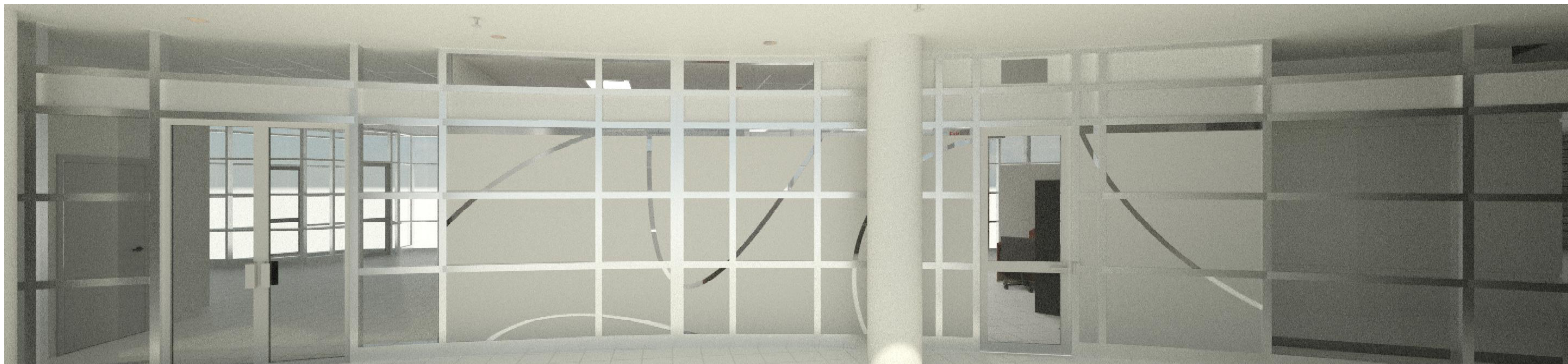
7 LOUNGE
SCALE: 1:1



8 FUTURE MLES OFFICE
SCALE: 1:1



9 FUTURE MLES OFFICE
SCALE: 1:1



10 FUTURE LOBBY STOREFRONT
SCALE: 1:1

CLIENT:

City Of Oshawa

A### DETAIL NUMBER SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

(N.I.C.) NOT IN THE CONTRACT

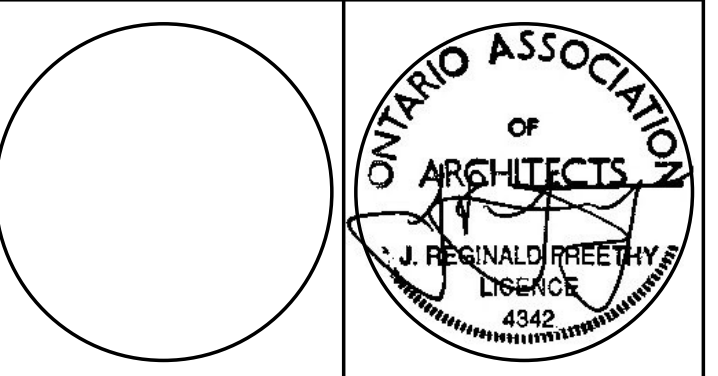
PROVIDE INDICATES SUPPLY AND INSTALL.

6	ISSUE FOR PERMIT & TENDER	C.N.	05/05/26
5	90% DD REV. 3	C.N.	04/30/26
4	90% DESIGN DEVELOPMENT	C.N.	02/11/26
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2	30% DESIGN DEVELOPMENT	C.N.	01/08/2026
1	FOR CLIENT REVIEW	C.N.	12/11/2025
No.	DESCRIPTION	BY.	DATE

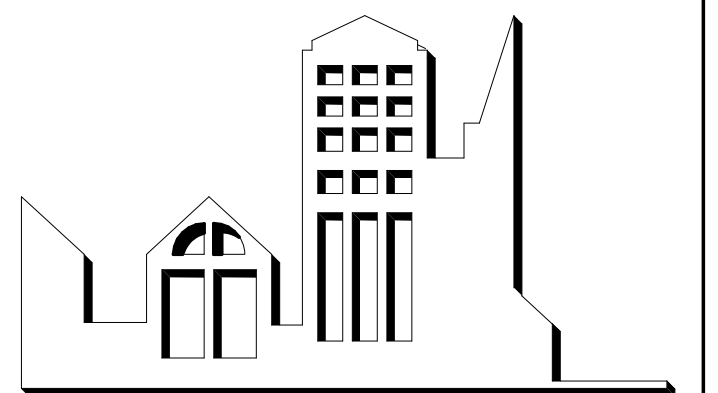
REVISIONS

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BOWMANVILLE ONTARIO
L1C 4P8 Tel: (905) 623-7476

PROJECT:

Oshawa Airport MLES Office Alterations

1200 Airport Blvd, Oshawa, ON L1J 8P5

SCALE: 1:1

DWG. BY: C. NYARKO

CHECKED BY: J.R.F.

STATUS: ISSUED FOR PERMIT & TENDER

PLOT FACTOR: 1:1

TITLE:

RENDERS

PROJECT No.:

2025_40

DATE: November 2025

DWG. No.:

A503