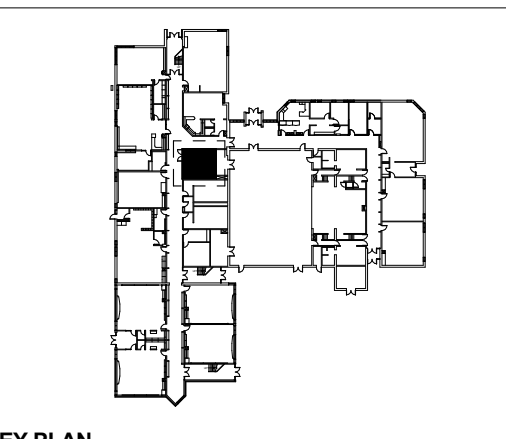


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KEY PLAN

LIFE SAFETY PLAN LEGEND

- - - - - Travel Distance
Max Allowable = 30m
as per OBC 3.4.2.5.(f)
- - - - - FHC Coverage
- FEC Fire Extinguisher Cabinet
- FHC Fire Hose Cabinet
- FVC Fire Valve Cabinet
- Shaded Area - NIC
- 0HR FRR
- 1HR FRR
- 1.5HR FRR
- 2HR FRR

Fire Separation Notes:
1. Existing fire separations outside area of work not shown.
2. Existing fire separations to be maintained.

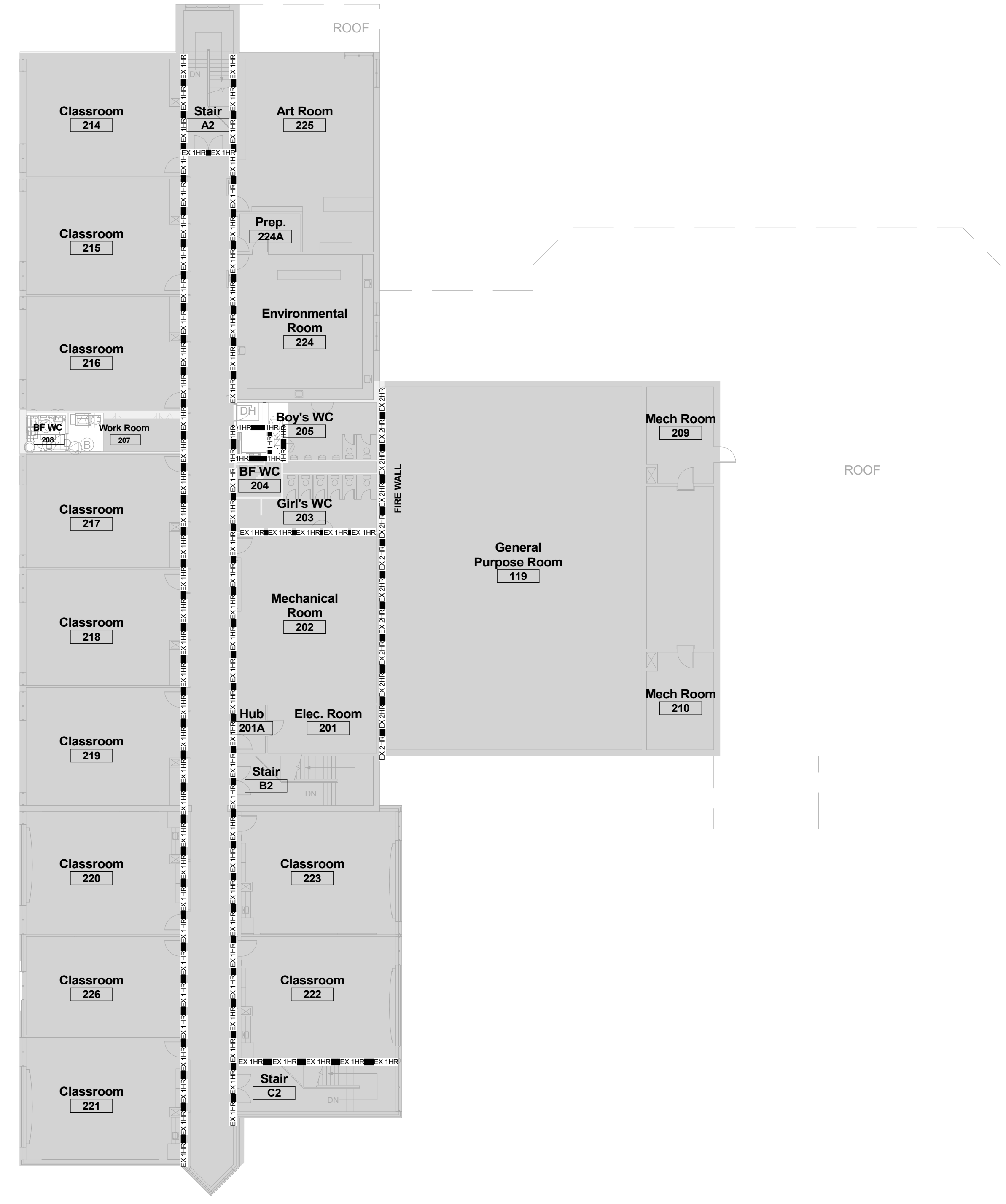
1	ISSUED FOR TENDER & PERMIT	2026/02/23
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1030 Glenanna Rd, Pickering, ON L1V 5E5

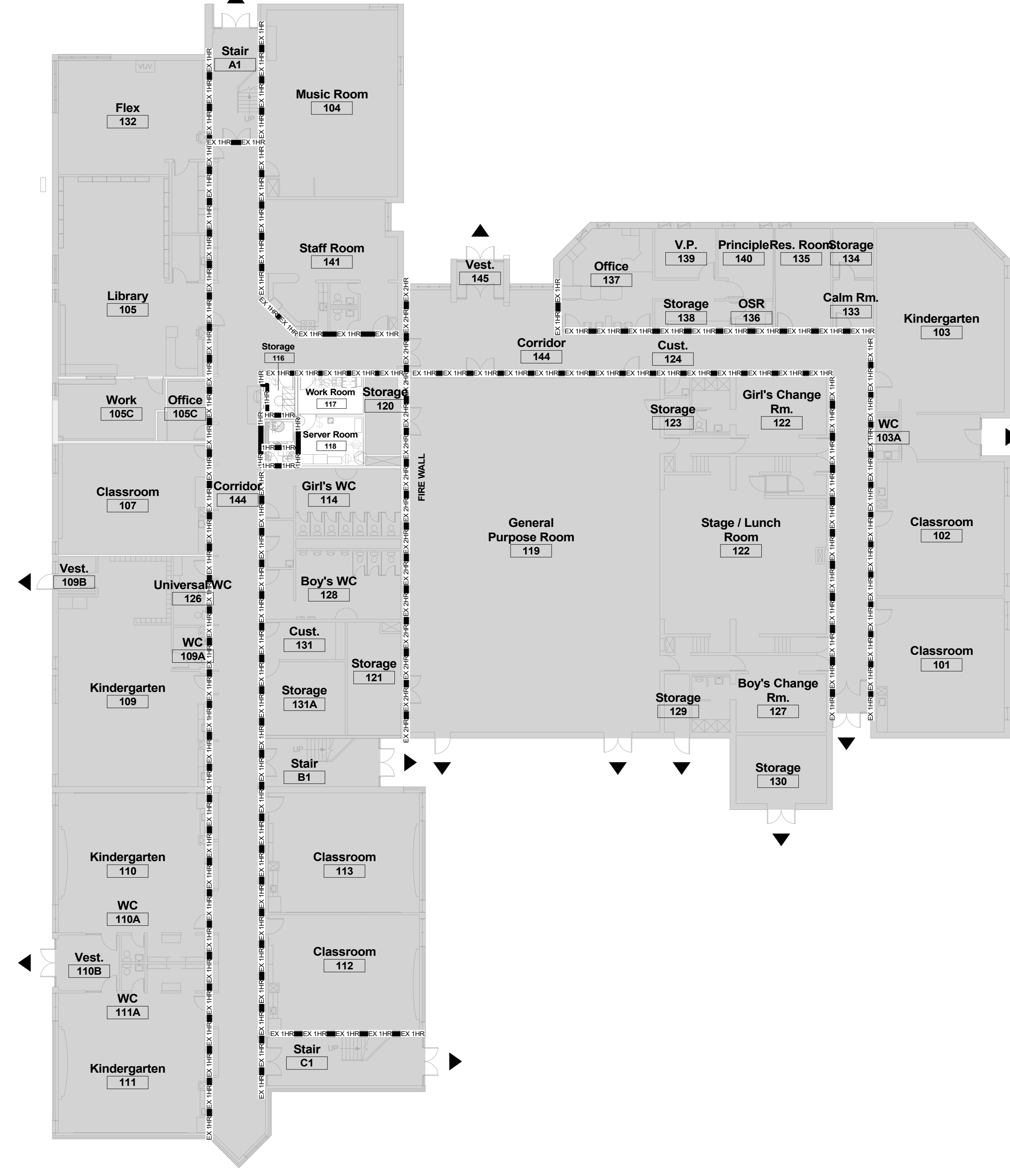
OBC Matrix, Life Safety Plan, Key Plan, Context map

Scale: As indicated	
Project Number: 25-114C	
Drawn By: Author	
Checked By: Checker	

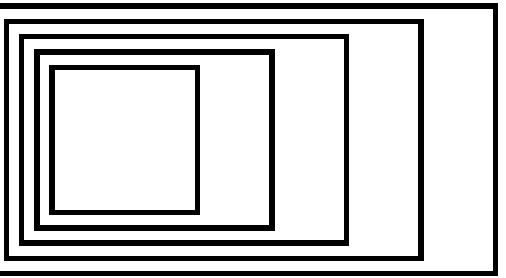
A001



② Life Safety Plan - Level 2
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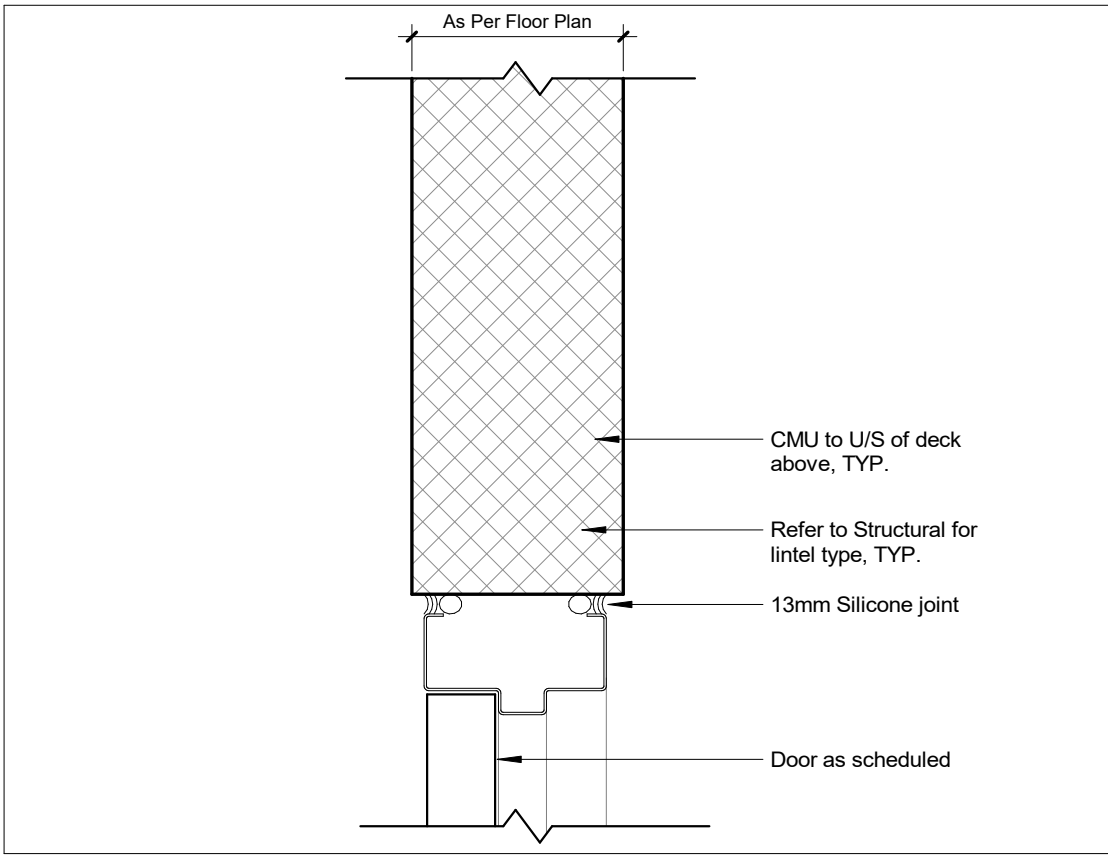
① Life Safety Plan - Level 1
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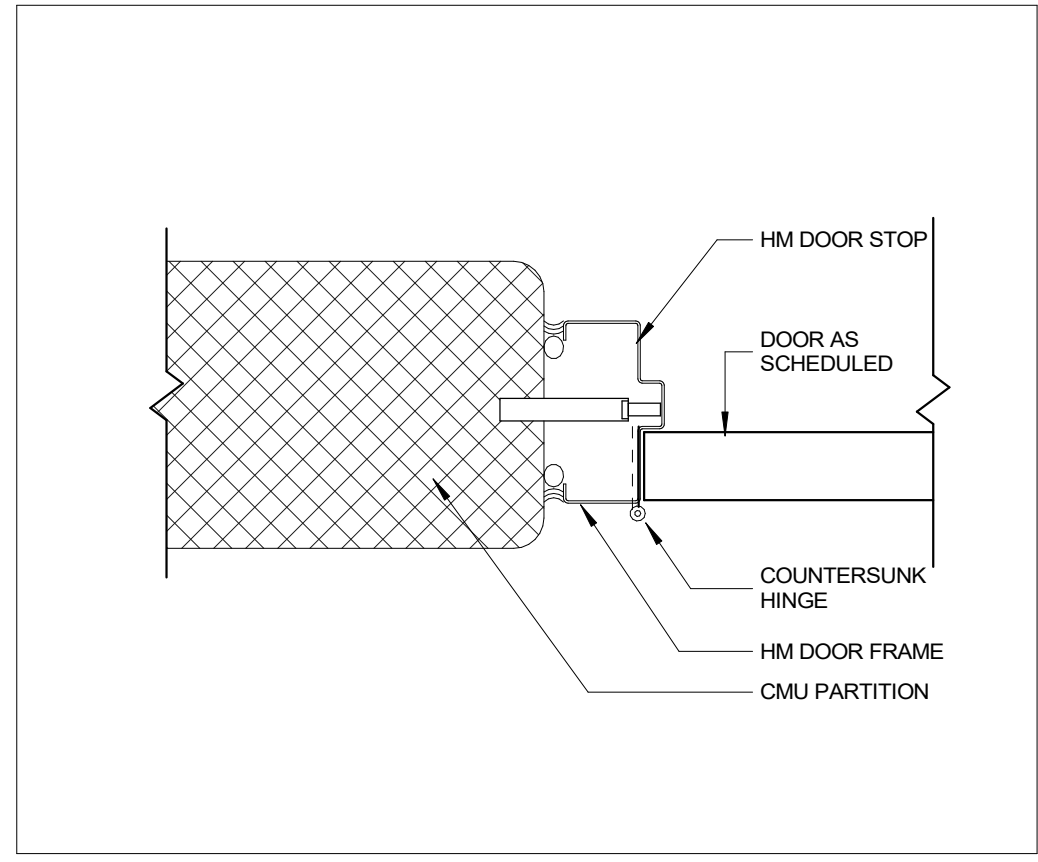
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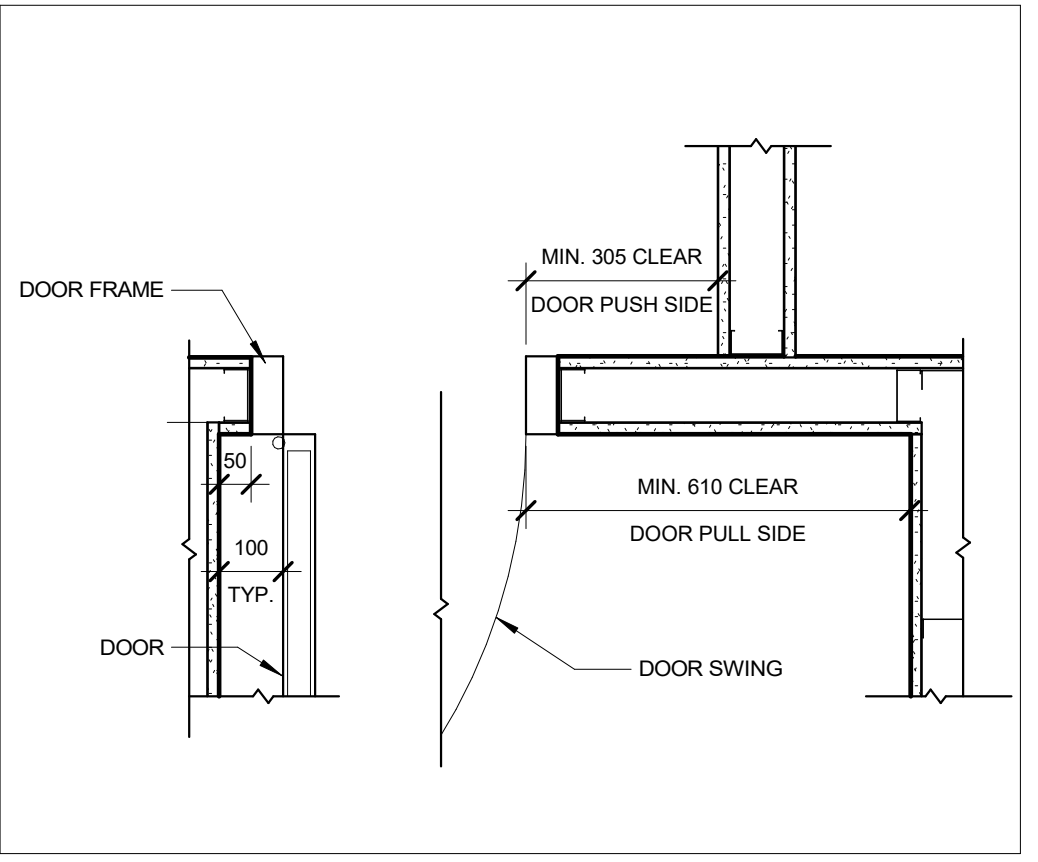
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3 Section Detail - HM Door Header, TYP.
1 : 5



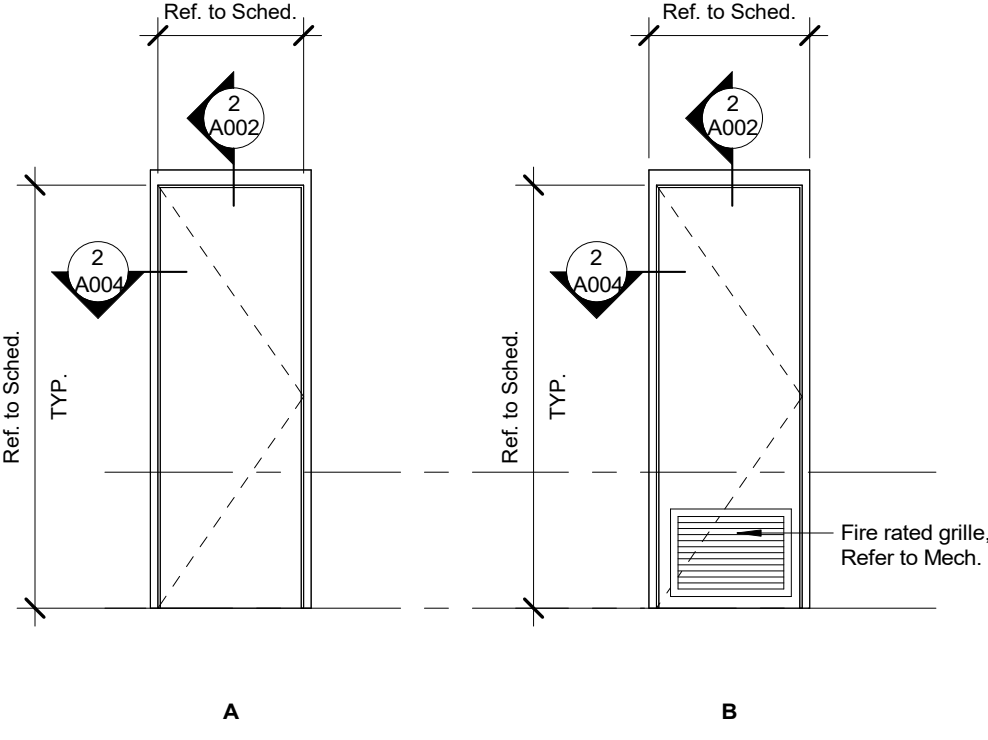
2 Door Plan Detail - HM Door Frame at CMU Partition
1 : 5



1 Door Plan Detail- Typical Door Clearance
1 : 12

DOOR SCHEDULE

- DOOR TYPE SCHEDULE NOTES**
- All glazing to be tempered UNO
 - All fire rated assemblies to be Fire rated glass
 - All HM frames to be 2" profile unless noted otherwise
 - Refer to hardware schedule in specifications



Door Schedule											
Door No.	Room	Type Mark	Height	Width	Door Mat'l	Door Finish	Frame Mat'l	Frame Finish	Fire Rating	Card Reader	Comments
D205	Boy's WC 205	A	EX VIF	EX VIF	EX WD	EX WD	HM	PT1	45 MIN		Relo. from EX Rm 205
D208	BF WC 208	A	2100	965	HM	PT1	HM	PT1			
D116	Storage 116	A	2100	965	HM	PT1	HM	PT1	45 MIN		
D117	Work Room 117	A	EX VIF	EX VIF	EX WD	EX WD	HM	PT1	45 MIN		Relo. from EX Rm 117, EX Kickplates, New door hardware
D115	Machine Rm. 115	B	2100	915	HM	PT1	HM	PT1	45 MIN		Keyed separately
D118	Server Room 118	A	EX VIF	EX VIF	EX WD	EX WD	HM	PT1			Relo. from EX Rm 118, EX kickplates, New door hardware

Room Schedule												
Number	Name	Base Finish	Ceiling Finish	North Wall Material	North Wall Finish	East Wall Material	East Wall Finish	South Wall Material	South Wall Finish	West Wall Material	West Wall Finish	Comments
115	Machine Rm.	RB1	PT1	CMU	PT1	CMU	PT1	EX CMU	PT1	CMU	PT1	
116	Storage	RB1	ACT	EX CMU	PT1	CMU	PT1	CMU	PT1	CMU	PT1	
117	Work Room	RB1	ACT	EX CMU	PT1	EX CMU	PT1	EX CMU	PT1	CMU	PT1	
118	Server Room	RB1	ACT	EX CMU	PT1	EX CMU	PT1	EX CMU	PT1	CMU	PT1	
205	Boy's WC	CER	ACT	EX CMU	PT1	-	-	CMU	PT1, CER3, CER4	CMU	PT1	CER3, CER4 up to +/- 1800 match existing, PT1 above
207	Work Room	RB1	ACT	EX CMU	PT1	-	-	EX CMU	PT1	CMU	PT1	
208	BF WC	CER1	PT1	GWB	CER1	CMU	CER1	EX CMU	CER1	EX CMU	CER1	

Standard Abbreviations		Material Abbreviations		Equipment and Specialties Legend	
ADJ	Adjustable	ACT	Acoustic Ceiling Tile	AP	Access Panel
AFF	Above Finished Floor	ACP	Acoustic Ceiling Panel	ADO	Automatic Door Operator
BLDG	Building	AFC	Acoustic Fabric Ceiling	C	Clock
BLK	Block	AWP	Acoustic Wall Panel	CA	Card Access
CL	Center Line	ACM	Aluminum Composite Metal Panel	CG	Corner Guard
CLG	Ceiling	ALUM	Aluminum	CH	Coat Hook
CONT	Continuous	BB	Bulletin Board	CR	Card Reader
DIA	Diameter	CT	Ceramic Tile	DF	Drinking Fountain
DIM	Dimension	CTB	Ceramic Tile Base	DW	Dishwasher
DWG	Drawing	CMU	Concrete Masonry Unit	EJ	Expansion Joint
ELEV	Elevator	CONC	Concrete	EJC	Expansion Joint Cover
EQ	Equal	CPT	Carpet	FHC	Fire Hose Cabinet
EX/EXIST	Existing	DF	Re-installed Drinking Fountain	FM	Floor Monument
EXP	Exposed	EPO	Epoxy Paint	FR	Refrigerator
FLR	Floor	EPX	Epoxy Flooring	FTS	Floor Transition Strip
FIO	Face of	FRG	Fire Rated Glass	GBAR	Grab bar
FRR	Fire Resistance Rating	FGL	Frosted Glass	HS	Hydration Station
FPR	Fire Protection Rating	FLM	Glazing Surface Film	LOC	Locker
HT	Height	FP	Felt Panel	ND	Napkin Disposal
MAX	Maximum	GL	Glass	OCP	Overhead Ceiling Projector
MIN	Minimum	GRG	Glass Reinforced Gypsum	PB	Push Button
NIC	Not in Contract	GWB	Gypsum Wallboard	PL	Plate
NTS	Not to Scale	HM	Hollow Metal	PTL	Push to Lock
OC	On Centre	HS	Heat Strengthened	PS	Projection Screen
O/H	Overhead	MIR	Mirror	PTD	Paper Towel Dispenser
OSCI	Owner Supplied Contractor Installed	MDF	Medium Density Fibreboard	RFM	Recessed Floor Monument
RAD	Radius	MP	Metal Ceiling Panel	RP	Radiant Panel
RCP	Reflected Ceiling Plan	PLY	Fire Rated Plywood	RS	Roller Shade
REQ'D	Required	POR	Porcelain Tile	SD	Soap Dispenser
REV	Reverse	PC	Polished Concrete	SND	Sanitary Napkin Dispenser
RM	Room	PLAM	Plastic Laminate	TV	Television
RQMT(S)	Requirement(s)	PT	Paint Finish	TV	Television
SIM	Similar	PTX	Intumescent Paint	WBF	Water Bottle Filler
SPEC(S)	Specification(s)	PVB	Polyvinyl Butyral		
S.T.C.	Sound Transmission Class	QZ	Quartz		
STD	Stud	RB	Rubber Base		
T&G	Tongue & Groove	RES	Resilient Sheet Flooring		
TIO	Top of	SC	Sealed Concrete		
TYP	Typical	SO	Solid Polymer Fabrications		
UNO	Unless Noted Otherwise	SPI	SentryGlas Plus Ionoplast		
U/S	Underside of	SS	Stainless Steel		
VIF	Verify in Field	SSG	Structural Silicone Glazing		
		STL	Steel		
		ST	Natural Stone		
		TGL	Tempered Glass		
		VCT	Vinyl Composite Tile		
		VPT	Vinyl Plank Tile		
		WB	Dry Erase Whiteboard		
		WD	Solid Wood		
		WP	Wood Panel		
		VV	Wood Veneer		

Partitions Types				
Type	FRR	S.T.C.	Construction	Description
C12	Note 4			ULC 306 (Non-Load Bearing) 140mm Hollow Concrete Masonry Unit Up to U/S of slab / metal deck Lightweight concrete block (Classification C-1800kg/m3)
C14	Note 4			ULC 301 (Load Bearing) 190mm Hollow Concrete Masonry Unit Up to U/S of L2 slab / Floor metal deck Lightweight concrete block (Classification C-1800kg/m3) Note: Grout-fill all cells at elevator/lift rail bracket locations as per structural/manufacture requirements.

Furring Types				
Type	FRR	S.T.C.	Construction	Description
F61	---	---		16 mm GWB 152mm Furring Vchannel @ 610mm OC Substrate (Refer to Drawings)

Ceiling Types				
Type	FRR	S.T.C.	Construction	Description
GWB				Carrying channel (per supplier) 22mm Furring channel 13mm GWB Paint Finish
ACT				T-Grid framing (per Supplier) Acoustic Ceiling Tile

Floor Types			
Type	R-Value	Construction	Description
FS1	-		SLAB ON GRADE (UN-INSULATED) Floor finish Concrete floor slab as per Structural 15 ml Vapour Barrier (AVB) (Overlap with existing by 200mm and sealed with moisture-resistant tape to ensure continuity with existing) 200mm Granular A subgrade compacted as per Geotechnical Subgrade preparation and granular fill depth to be verified on-site by Geotechnical Engineer prior to pouring

- Interior Partition & Furring General Notes**
- User water-resistant drywall in all wet areas. See specifications.
 - Provide continuous plywood blocking behind all millwork cabinets, suspended items, televisions, etc.
 - Where infilling walls, use metal furring and additional GWB to align to adjacent wall surfaces.
 - Extend all partitions and furring to underside of floor slab, deck, or structure above unless otherwise noted.
 - Refer to Life Safety Plans & Sections for location of all fire-rated partitions.
 - Where wall finish is ceramic wall tile, provide cement tile backer board.
 - At fire-rated partitions, provide fire-rated sealant at the top and bottom of partition, and at tight-fitting penetrations. Firestop as req'd at U/S of metal deck & large gaps per ULC/cUL firestop design. Refer to M&E documents for firestopping at M&E penetrations.

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WILLIAM DUNBAR PS
ELEVATOR RENOVATION

1030 Glenarra Rd, Pickering, ON L1V 5E5

Assembly Types, Door Schedule, Room Finish Schedule, Legends & Notes

Scale: As indicated

Project Number: 25-114C

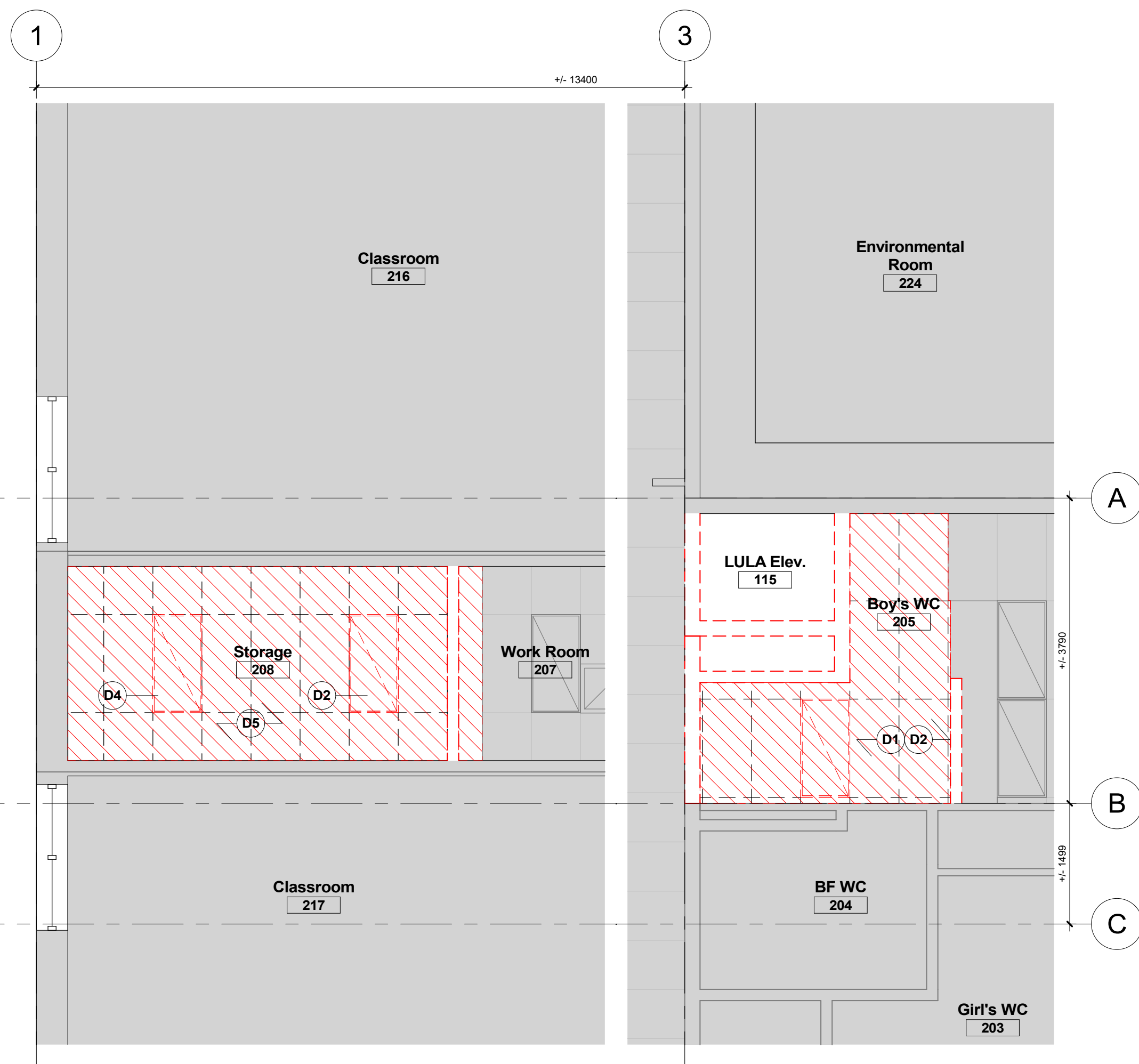
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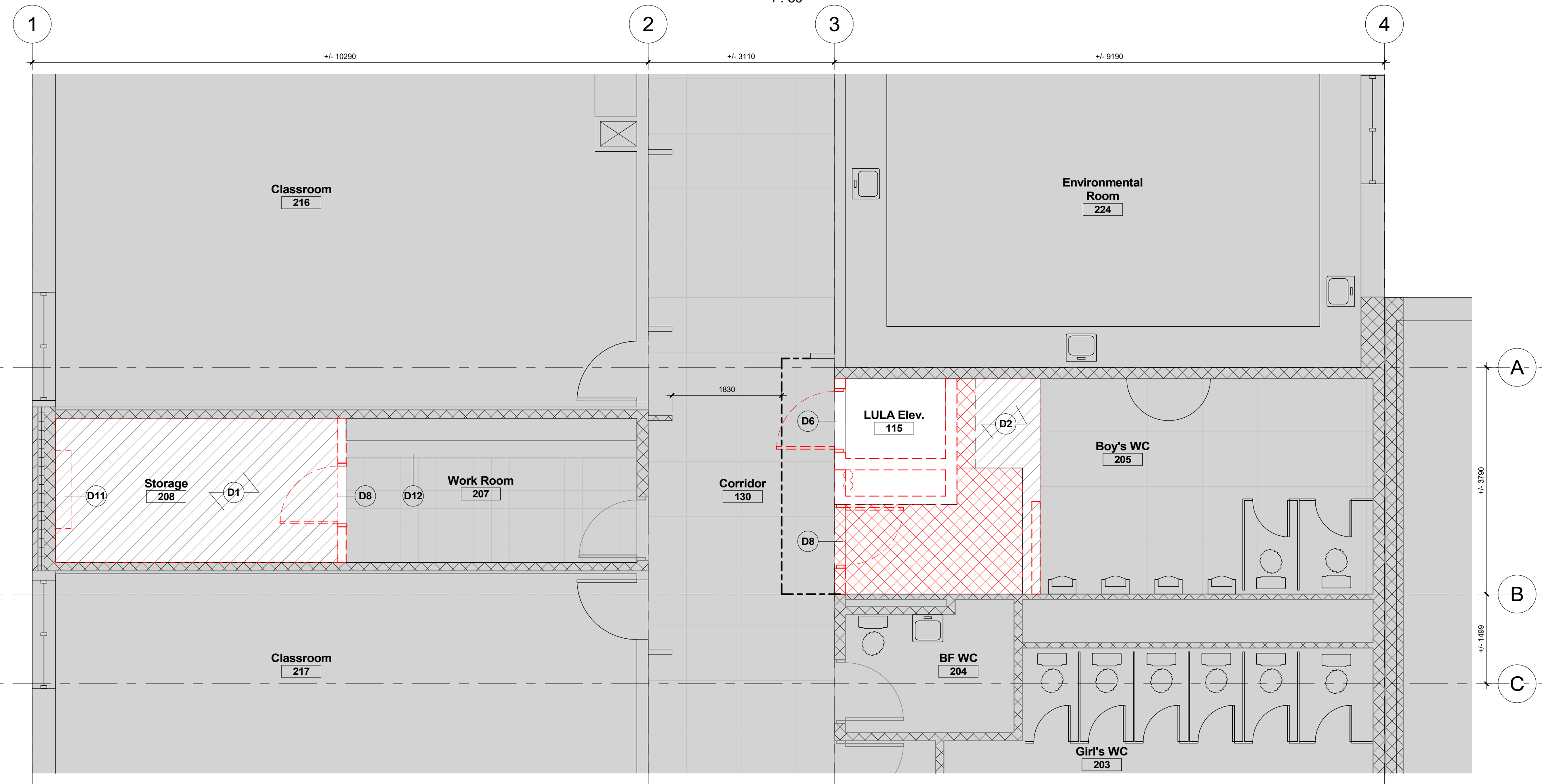
A002

Plan Demolition Notes	
Note	Description
D1	Demolish and remove existing VCT floor finish and base trim.
D2	Demolish and remove existing Terrazzo floor finish, patch and make good to receive new work.
D3	Remove EX elevator cab and all associated components within the EX shaft.
D4	Demolish existing elevator pit. Prepare for new work. Refer to Structural drawings for new slab details.
D5	Demolish and remove existing millwork, metal supports, shelving and hooks. Patch and make good floor as required for new finish.
D6	Demolish EX HM frame and salvage EX door and all associated hardware for re-installation in new.
D7	Remove and store existing bulletin board for relocation.
D8	Demolish EX frame, door and all associated hardware.
D9	Remove and store existing water filler station for relocation.
D10	Demolish and remove existing range and range hood. Refer to Mech for extent of associated duct to be demolished.
D11	Demolish and remove existing mechanical equipment. Refer to Mech.
D12	Existing millwork to remain.

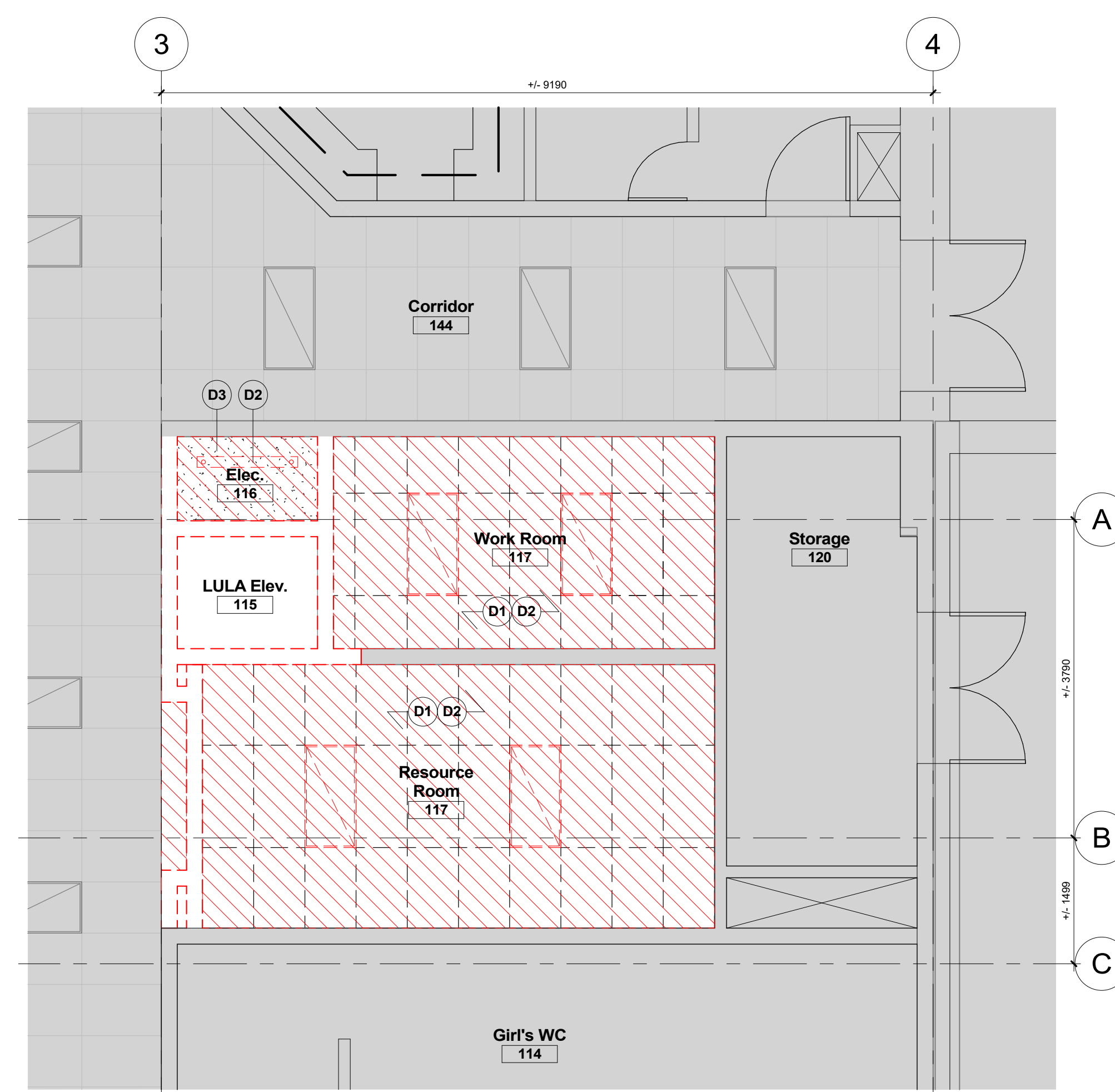
RCP Demolition Notes	
Note	Description
D1	Demolish and remove all acoustic tile ceiling suspension grid, accessories and hanging system.
D2	GC to remove and retain existing light fixtures. Store and protect until reinstall.
D3	Demolish and remove drywall ceiling and framing and associated assemblies.
D4	Remove existing light fixtures and all associated supports.
D5	Remove and salvage all acoustic tile ceiling suspension grid, accessories and hanging system for reinstall.



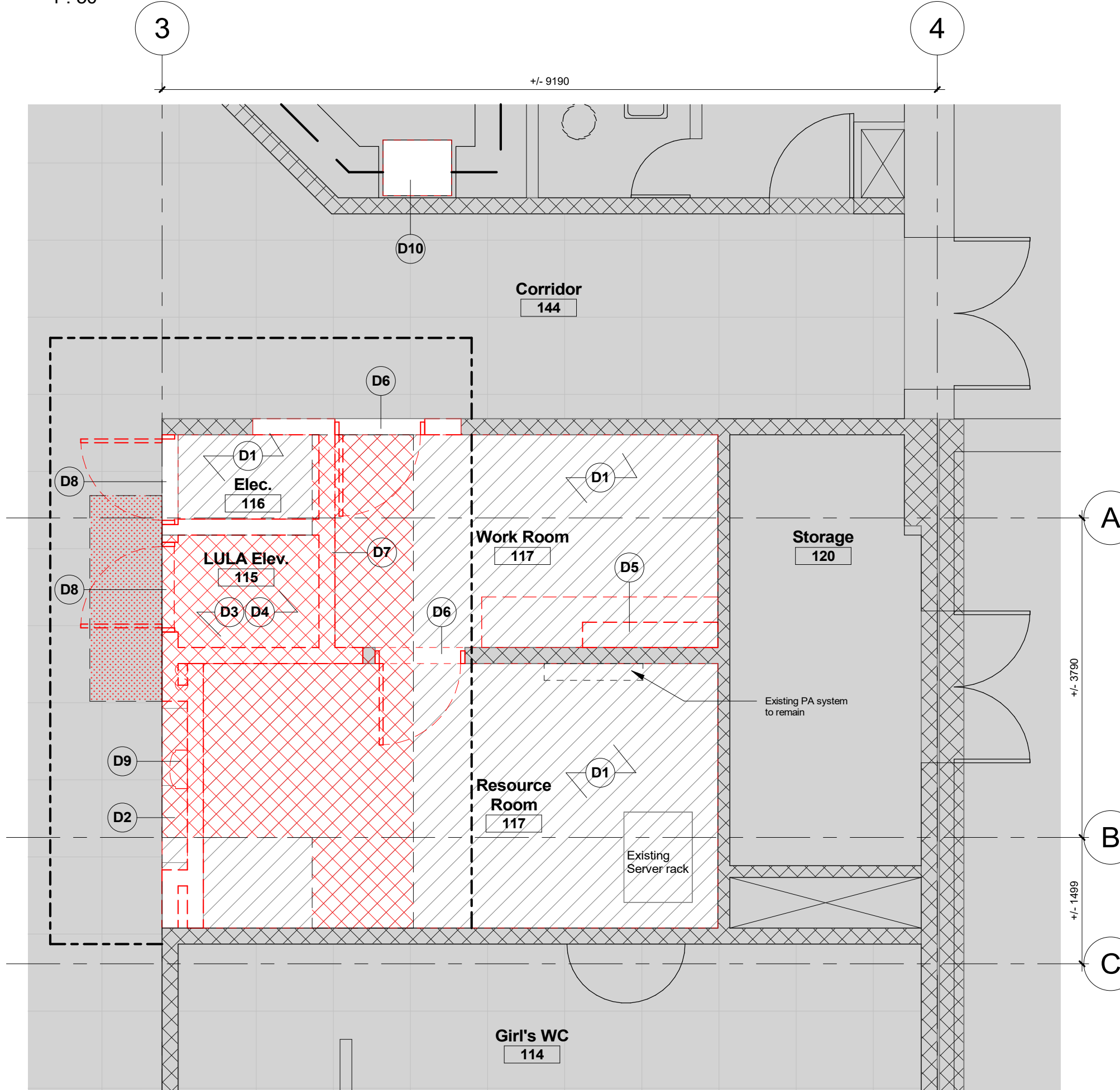
4 Demolition RCP - Level 2
1 : 50



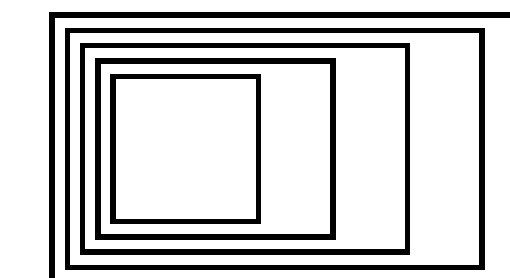
2 Demolition Plan - Level 2
1 : 50



3 Demolition RCP - Level 1
1 : 50



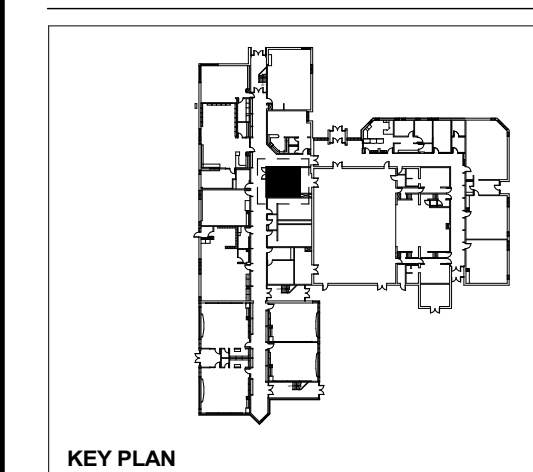
1 Demolition Plan - Level 1
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DEMOLITION LEGEND

- Existing element to be demolished
- Extent of hoarding
Full height acoustic, taped, gypsum board and steel stud partition sealed at top and bottom
- Existing door leaf/frame/ hardware to be salvaged - refer to door schedule for eligible locations of re-use
- Approximate extent of flooring to be removed
- Approximate extent of ceiling to be removed
- Level 1:
Approximate extent of existing 100mm concrete slab and soil removal for elevator pit and slab thickening. Refer to Floor Plan for CB partition/elevator pit location and structural for details.
65mm Terrazzo floor finish
- Level 2:
Approximate extent of existing 200mm hollow core concrete slab removal for elevator shaft.
50mm Terrazzo floor finish
- Approximate extent of trenching. Refer to Mechanical drawings.

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ELEVATOR RENOVATION

1030 Glenanna Rd, Pickering, ON L1V 5E5

Demolition Plans and RCP

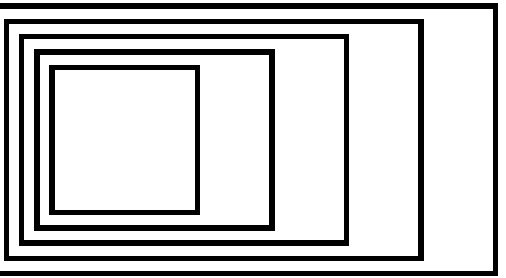
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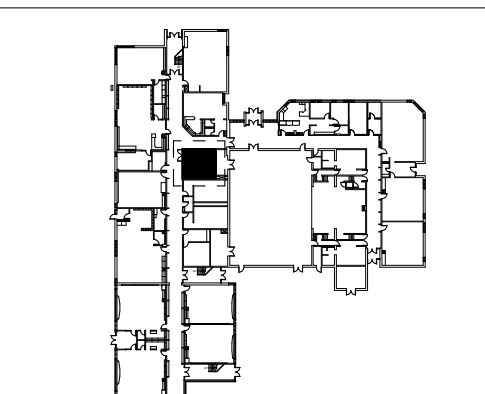
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KEY PLAN

- LEGEND**
- Existing element to remain
 - New element as scheduled
 - Partition Tag - refer to partition schedule
 - New Door tag - refer to schedule
 - Ceiling Material Height above Finished Floor
 - N.I.C. Not in Contract
 - EQ Equal
 - Line of transition b/w Floor Finish Types

RCP LEGEND

- Ceiling Material Height above Finished Floor
- Linear Pendant fixture - see electrical
- Recessed lighting fixture - see electrical
- Transfer grille
- Supply air diffuser

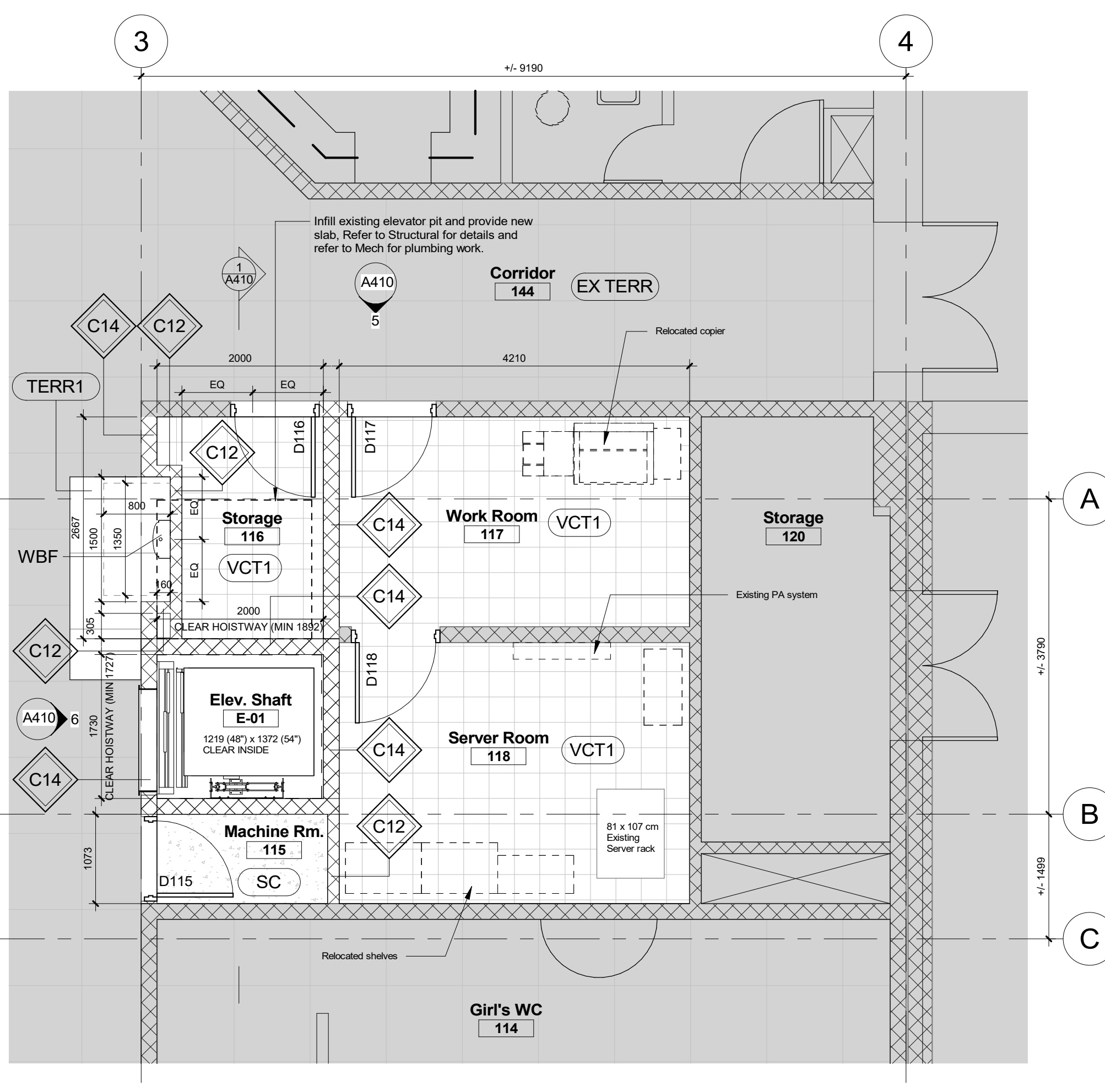
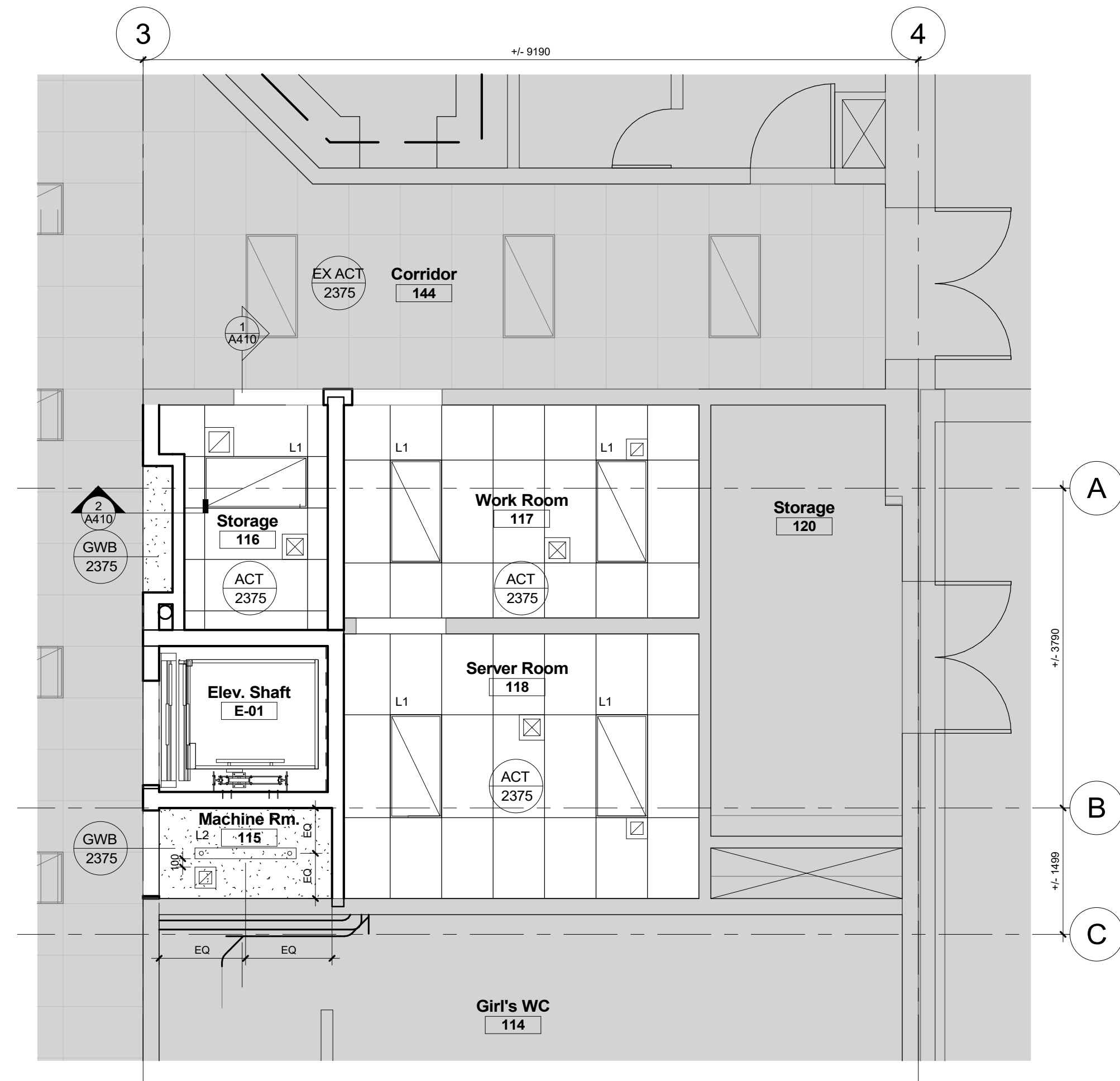
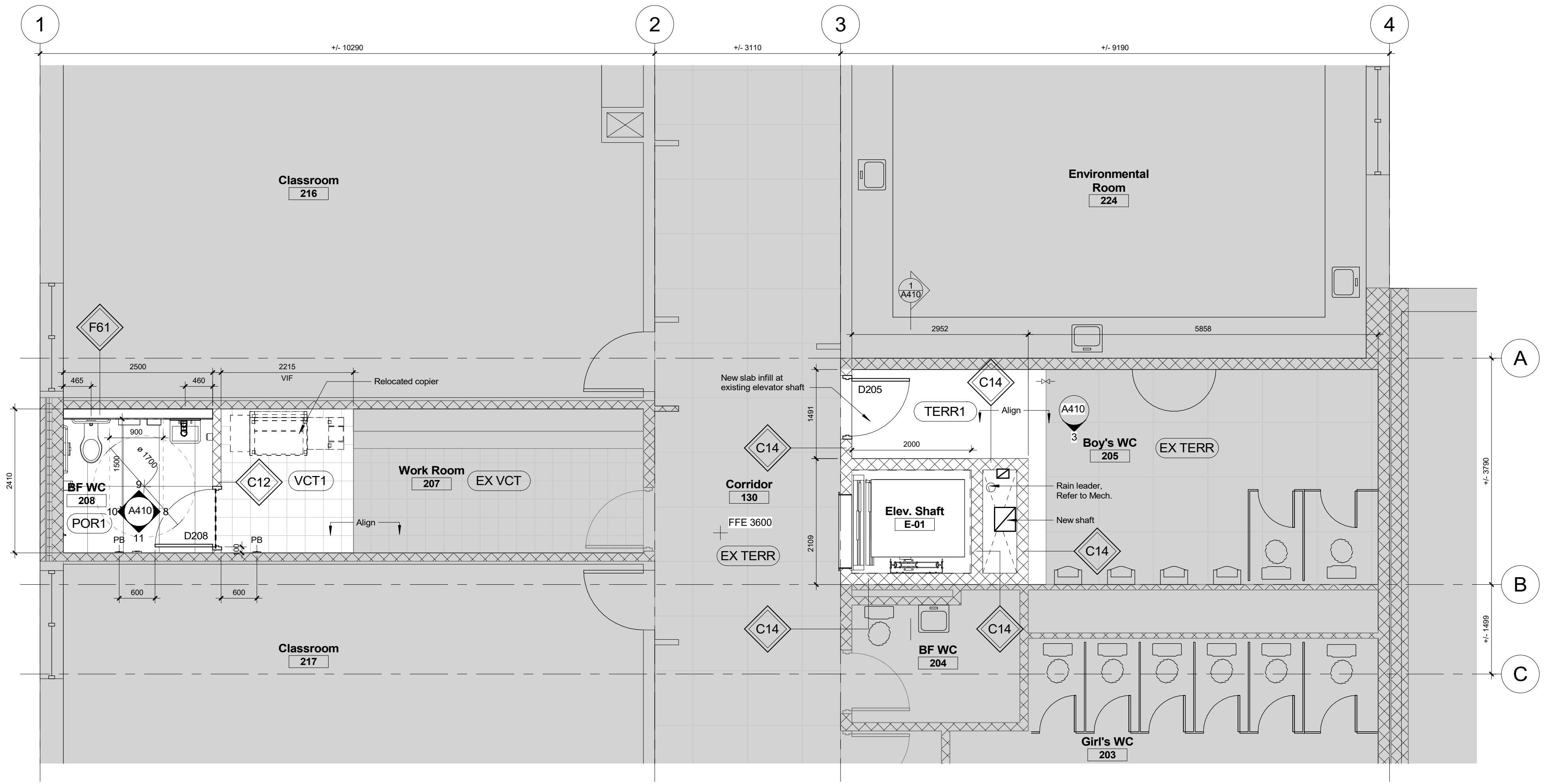
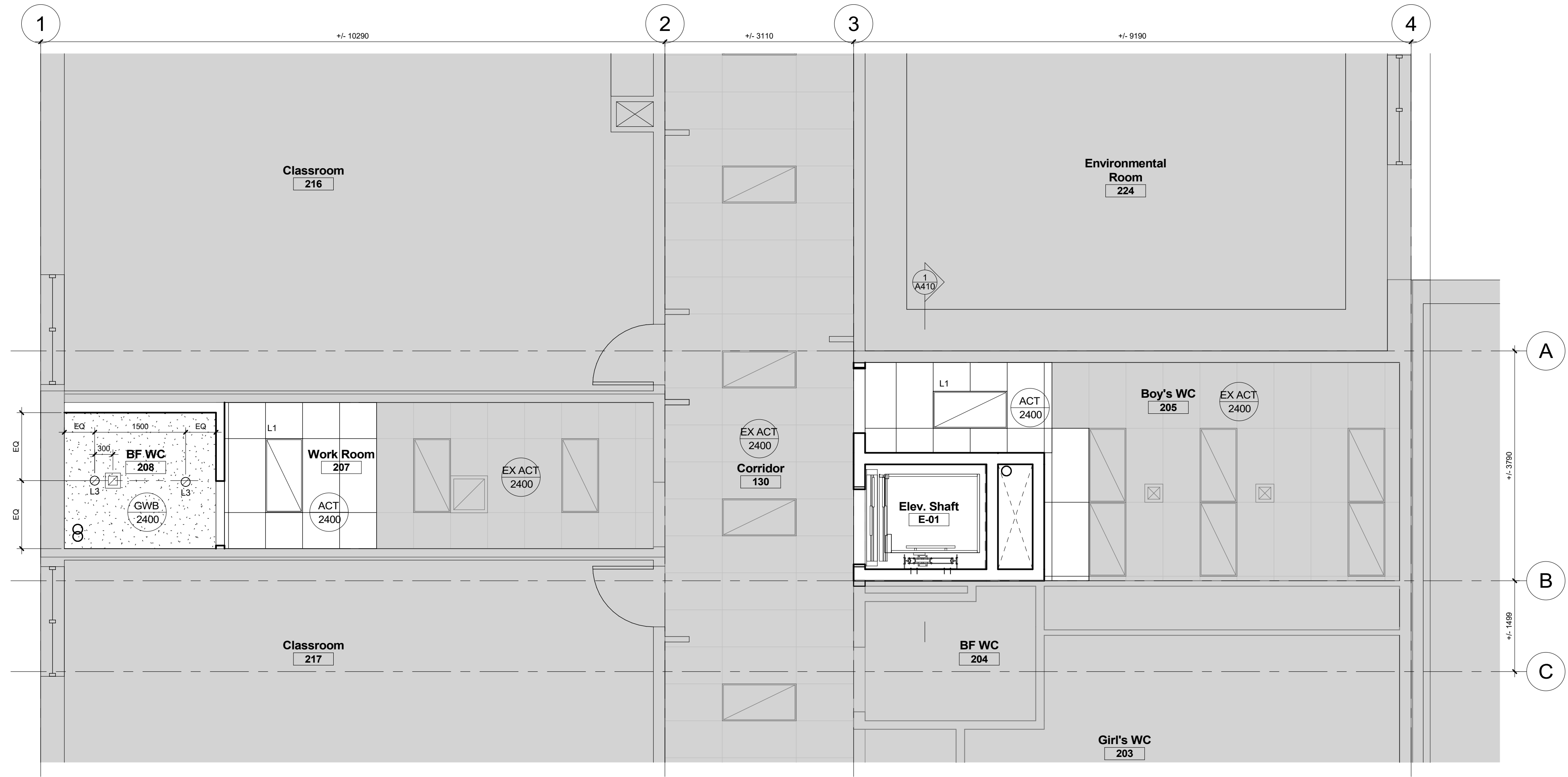
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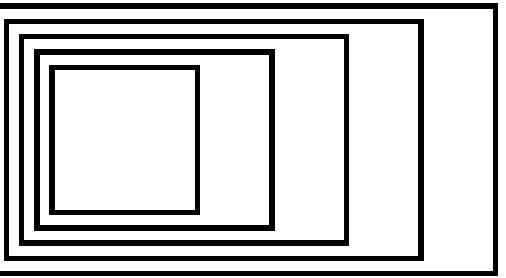
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Floor Plans and RCP

Scale: As indicated
Project Number: 25-114C
Drawn By: Author
Checked By: Checker

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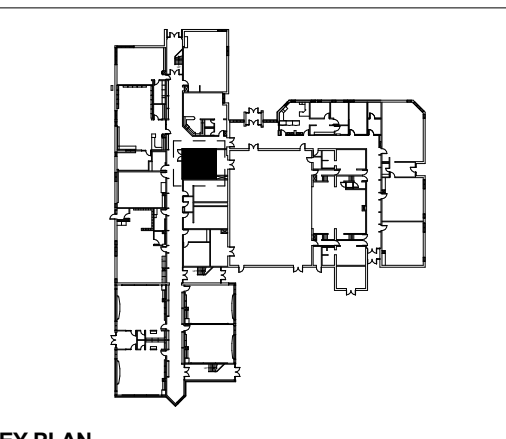




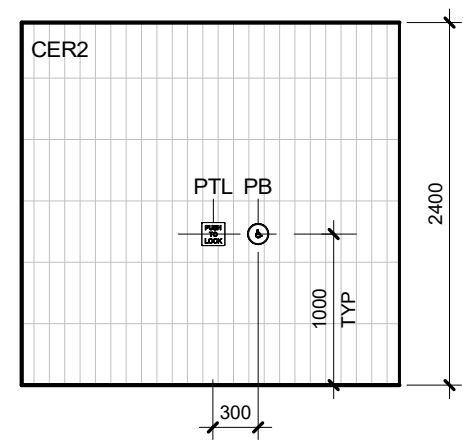
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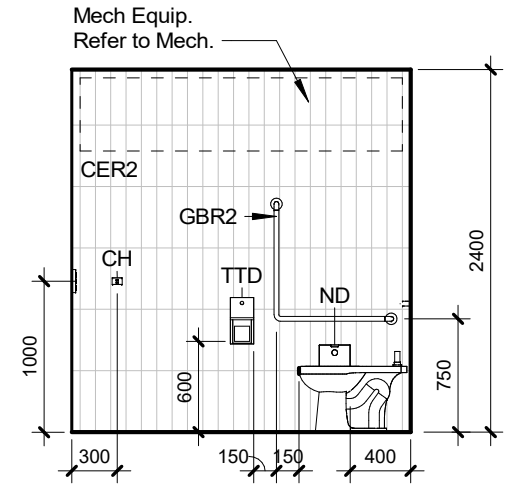
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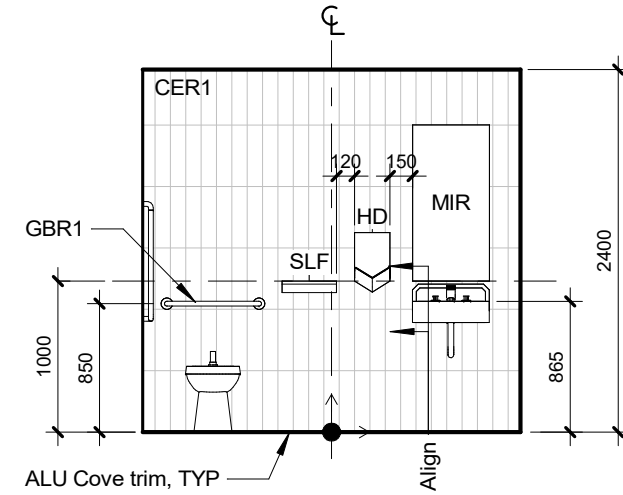
KEY PLAN



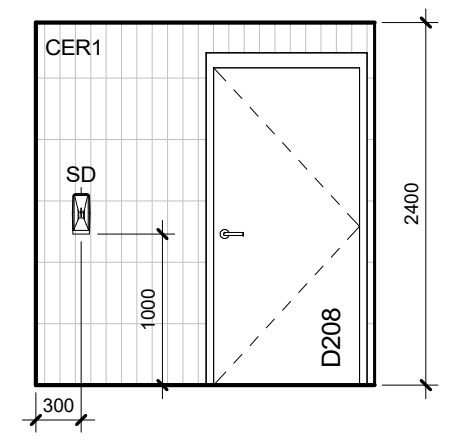
11 Interior Elevation - BF WC 208 - South
1 : 50



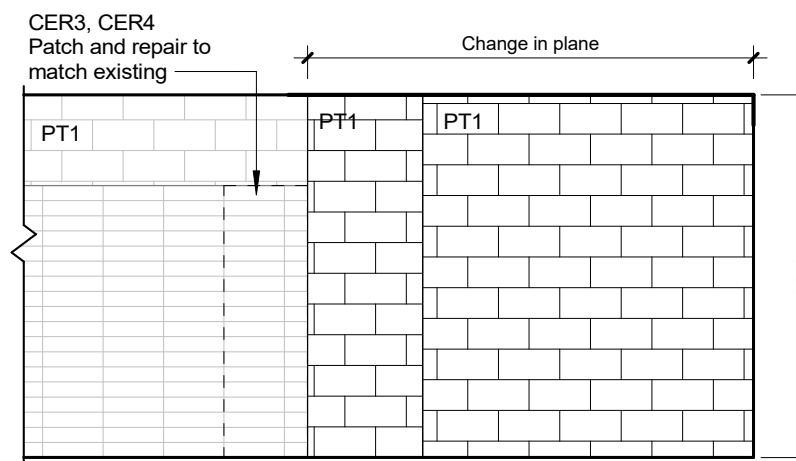
10 Interior Elevation - BF WC 208 - West
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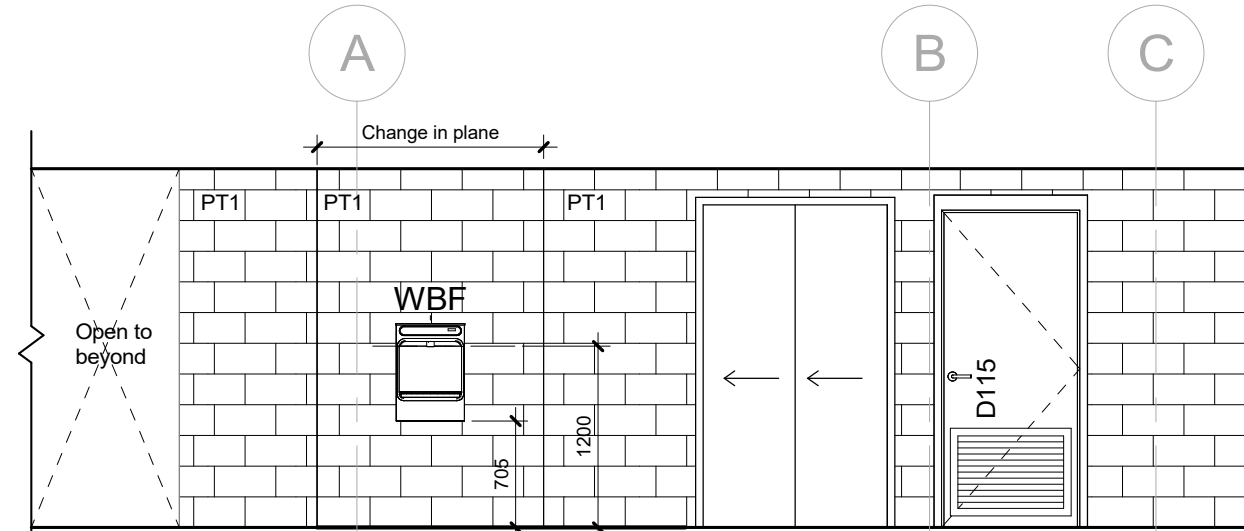
9 Interior Elevation - BF WC 208 - North
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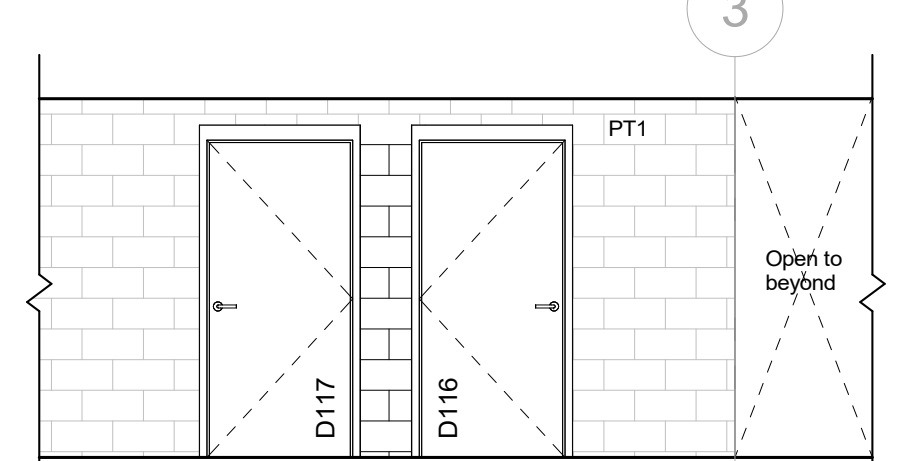
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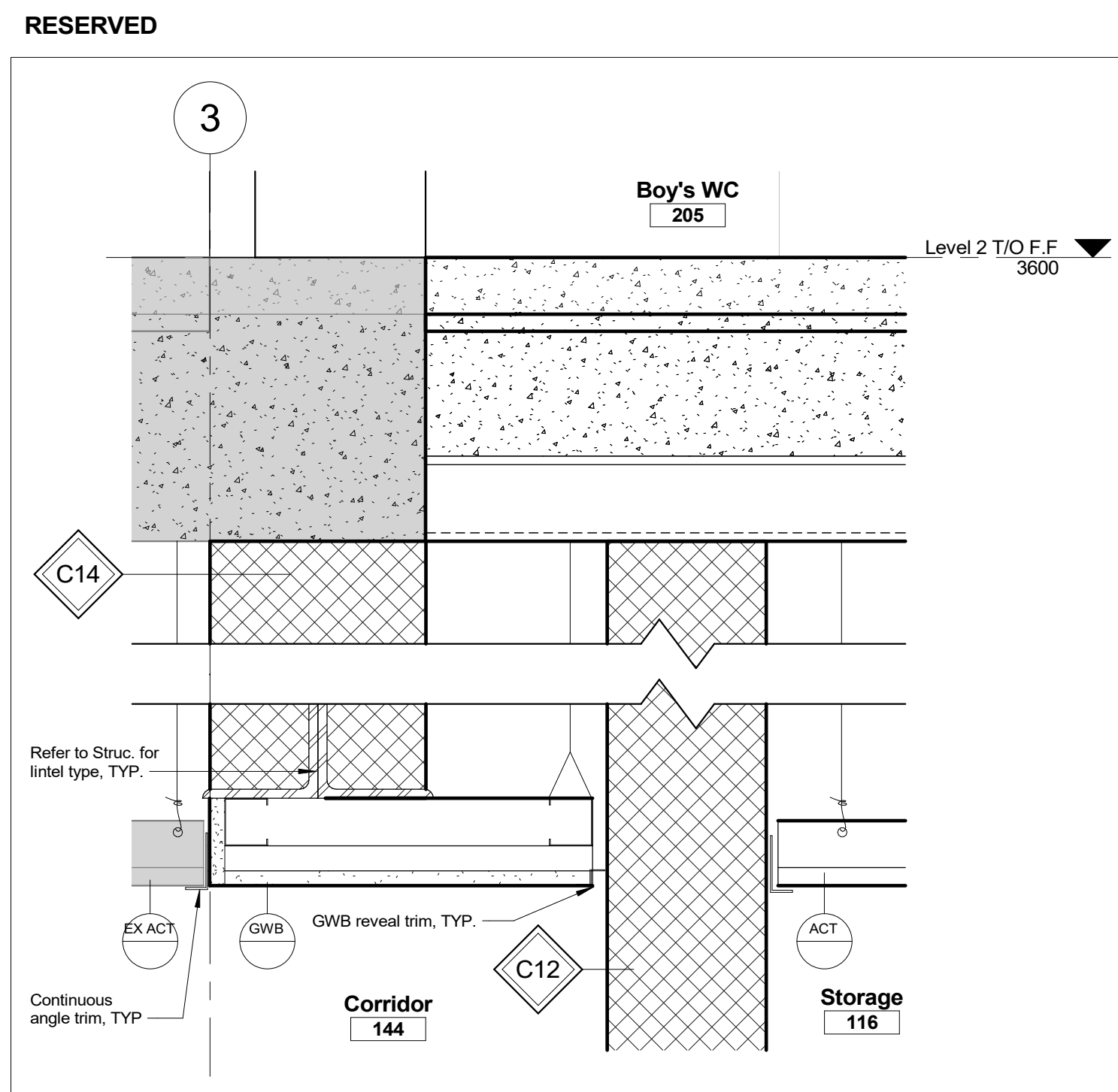
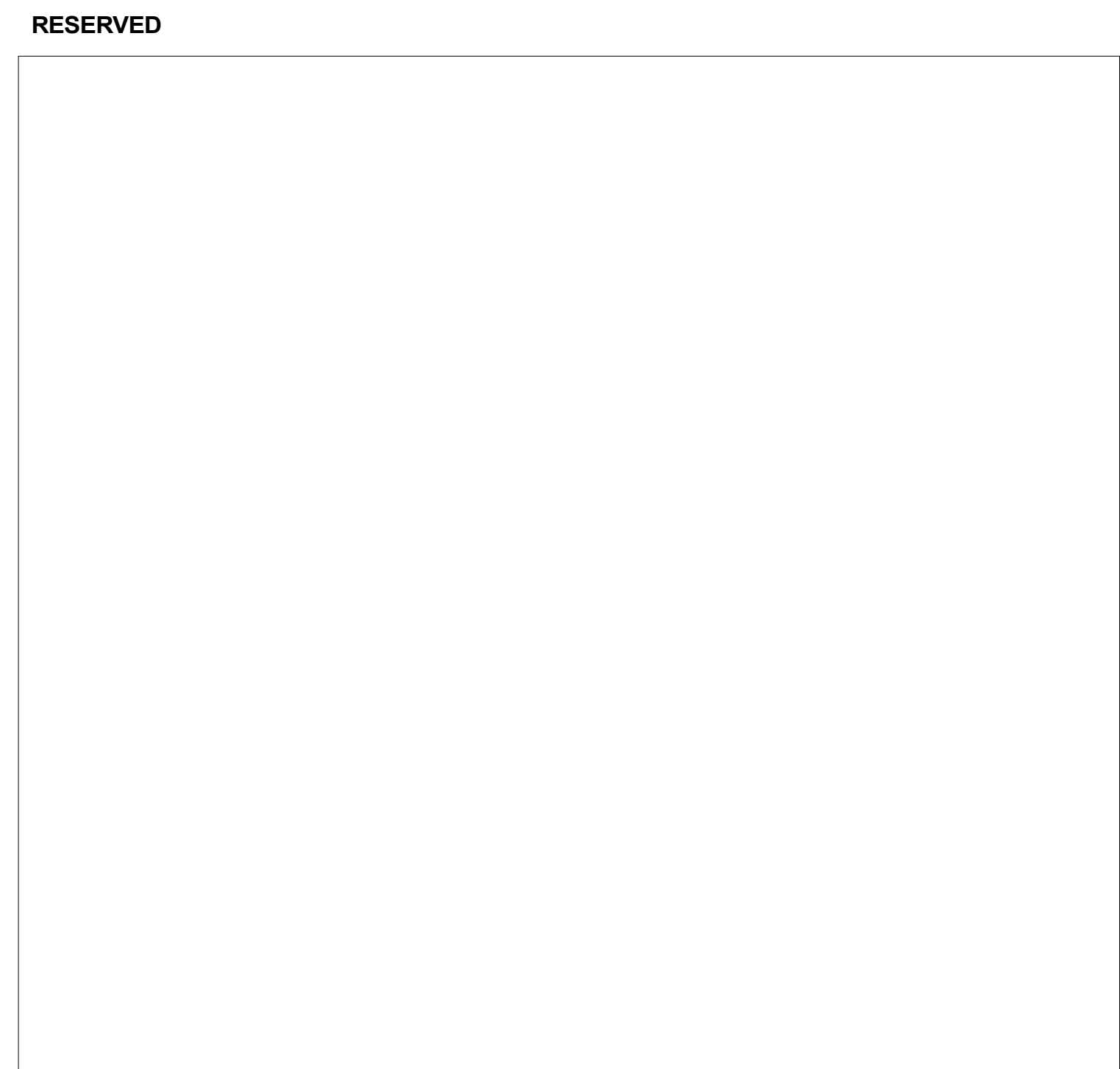
3 Interior Elevation - Boy's WC 204 - South
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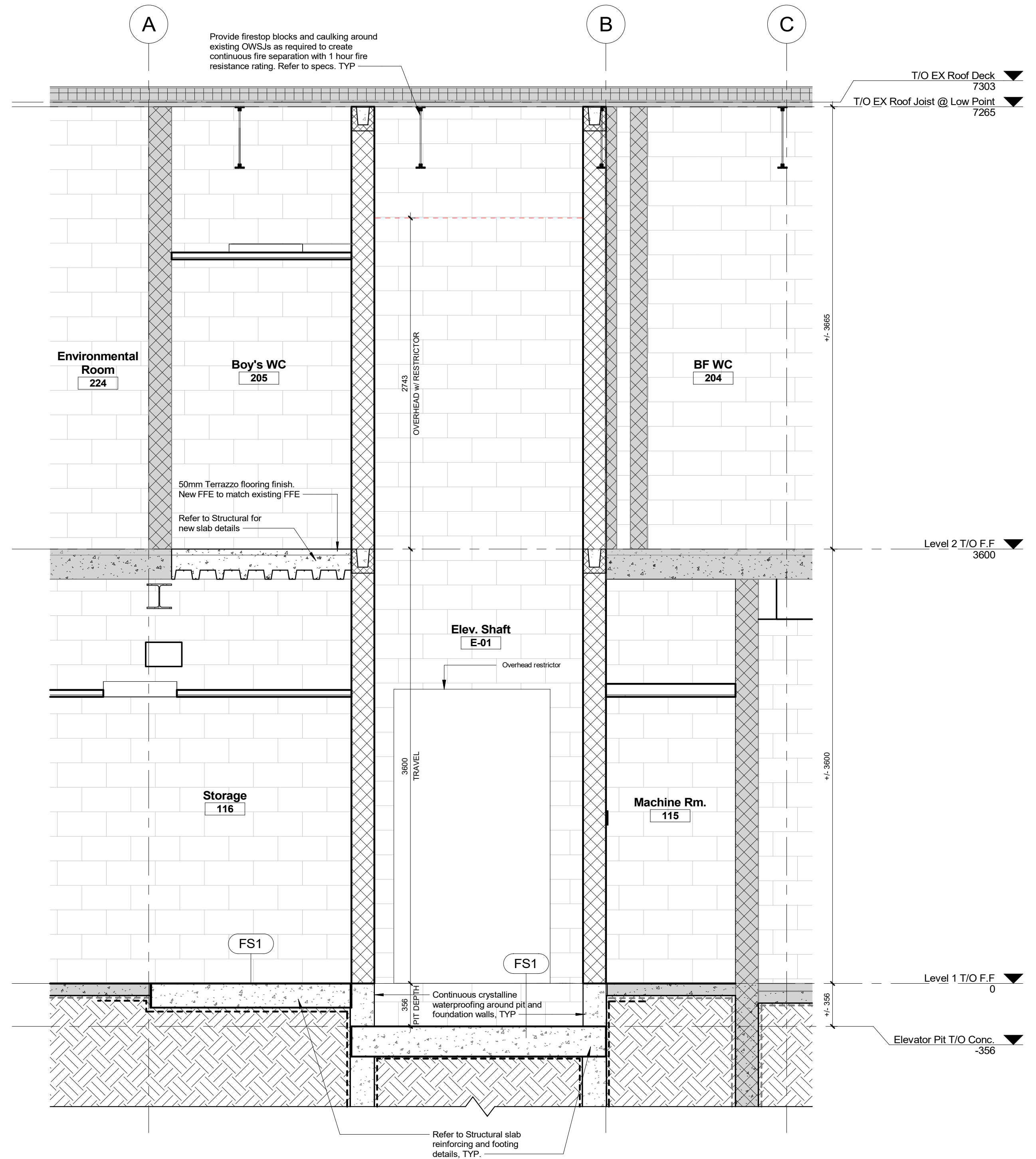
6 Interior Elevation - Corridor 144 - East
1 : 50



5 Interior Elevation - Corridor 144 - South
1 : 50



2 Section Detail - Corridor 144 @ WBF Nook
1 : 5



1 Wall Section @ Elevator E-01
1 : 25

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ELEVATOR RENOVATION
1030 Glenanna Rd, Pickering, ON L1V 5E5

Wall Sections, details & Interior Elevations

Scale: As indicated
Project Number: 25-114C
Drawn By: Author
Checked By: Checker



A410