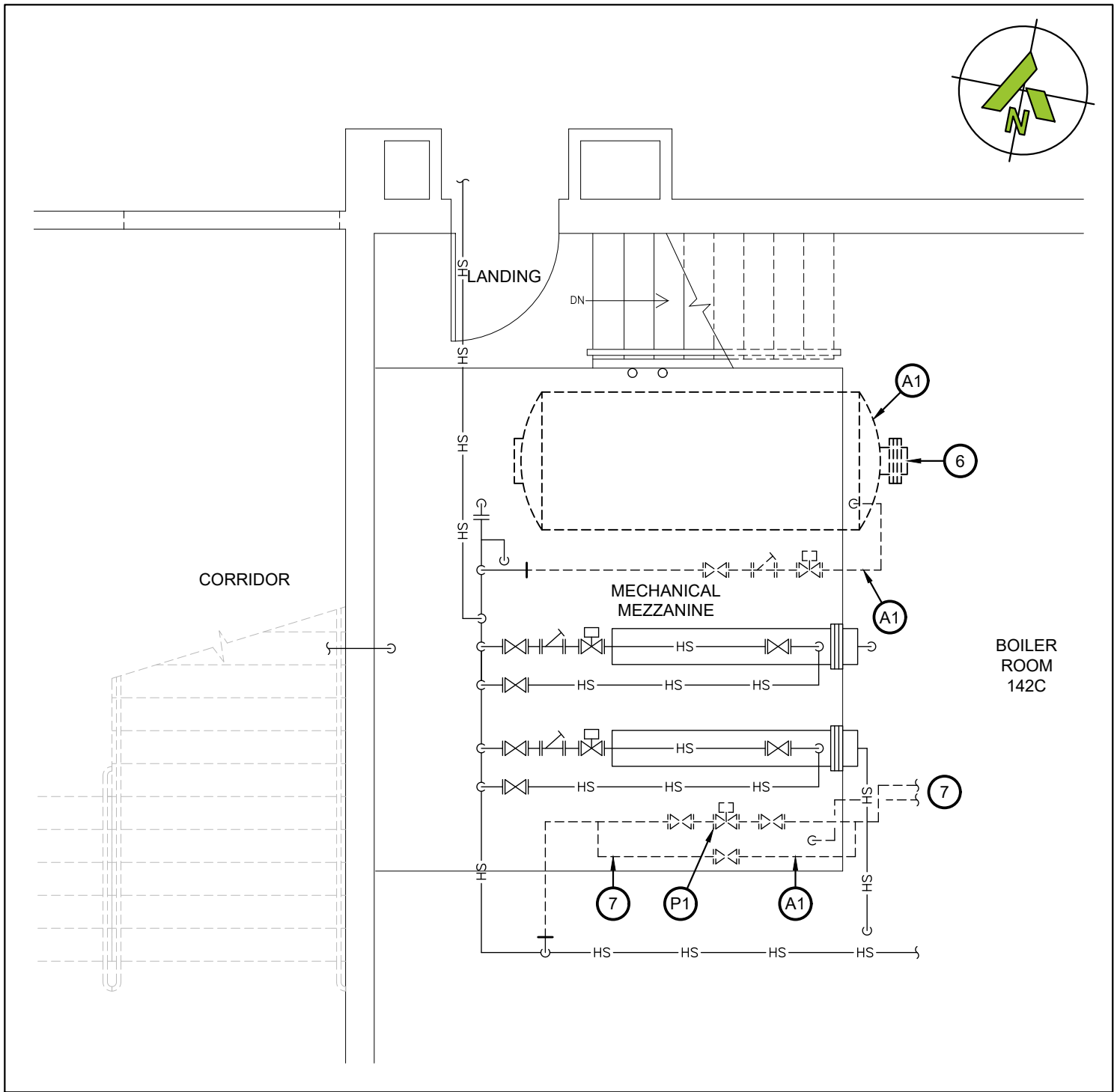


KEY PLAN - LOWER LEVEL



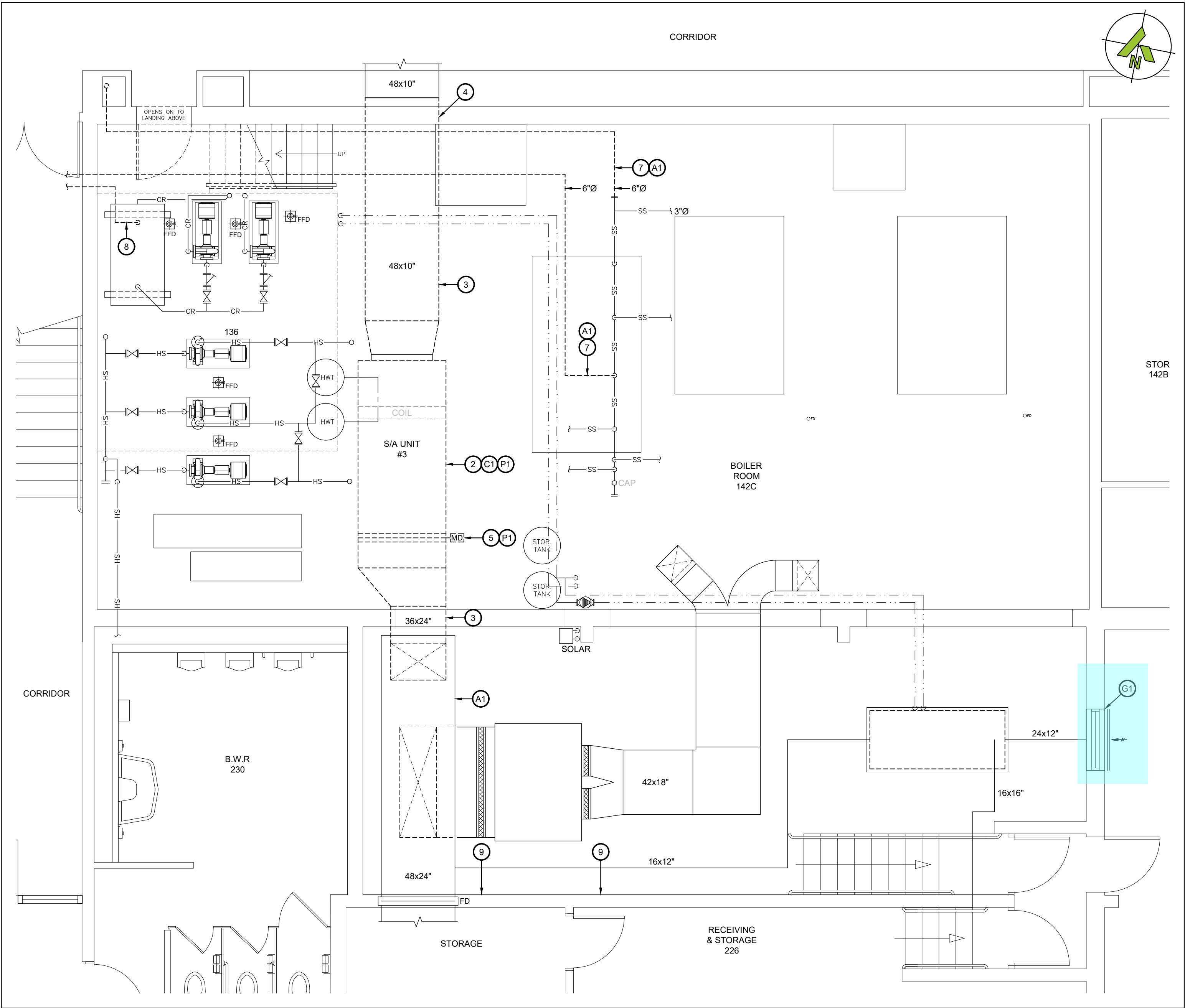
1 BOILER ROOM 142C - MEZZANINE - DEMO LAYOUT
MD101 SCALE: 1/4"=1'

1.3 Appendix A – Separate Pricing

The following table contains our list of Separate Prices to perform specific parts of the Work which are **not included** in the Stipulated Bid Price and may be added to the award at the Owner's discretion. Separate Pricing forms part of the bid submission and **is to be submitted in conjunction with the Stipulated Bid Form**. The separate prices quoted include all labour, material, overhead, and profit, etc., required to complete the Separate Price Work as specified in the description(s) below and as identified in the tender documents attached hereto.

Description of Separate Price Work	Effect on Stipulated Price (\$)
1 Replacement of air handling unit AHU-5 and all associated ductwork revisions.	Addition
2 Replacement of return air fan RF-12 including VFD and all work associated with new double door to the exterior from the Mechanical Penthouse.	
3 Lighting replacements in corridors.	

4 Salas O'Brien Structural Drawings (S0-00, S1-01, and S2-01)



2 BOILER ROOM 142C - DEMO LAYOUT
MD101 SCALE: 1/4"=1'

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.1 AS PER THE FRONT END DOCUMENTS:

- ALL SCOPE RELATED TO THE NEW AIR HANDLING UNIT AHU-5 INCLUDING DEMOLITION OF EXISTING AHU-5, STEAM PIPING, DUCTWORK ELECTRICAL AND PNEUMATIC CONTROLS.

DEMO WORKING NOTES - PNEUMATICS:

- (P1) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-5.

ABATEMENT NOTES:

- (A1) PROVIDE TYPE 3 ABATEMENT IN BOILER ROOM 142C TO REMOVE ALL INSULATIONS ON HOT WATER STORAGE TANK, PIPING AND DUCTWORK.

DEMO WORKING NOTES - CONTROLS:

- (C1) REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

DEMO WORKING NOTES - GENERAL TRADES:

- (P1) REMOVE EXISTING WINDOW TO SUIT INSTALLATION OF NEW LOUVER.

DEMO WORKING NOTES:

- REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- REMOVE EXISTING SUSPENDED AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, FILTER BOX, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- REMOVE DUCTWORK FROM AHU AND CUT BACK TO WALL TO SUIT DUCT CONNECTIONS TO NEW UNIT.
- REMOVE S/A DUCTWORK FROM AHU BACK THROUGH WALL TO SUIT INSTALLATION OF NEW COMBINATION SMOKE/FIRE DAMPER.
- REMOVE EXISTING MOTORIZED DAMPER.
- REMOVE HOT WATER STORAGE TANK AND ALL ASSOCIATED STEAM PIPING, VALVES, AND ACCESSORIES.
- REMOVE STEAM PIPING AND ALL ASSOCIATED VALVES AND ACCESSORIES.
- REMOVE CONDENSATE DRAIN AND PUMPED CONDENSATE PIPING FROM REMOVED SYSTEMS C/W ALL HANGERS, VALVES AND ACCESSORIES.
- REMOVE EXISTING SPARE BELT RACKS AND WALL MOUNTED CABINET. ALLOW FOR REINSTALLATION ELSEWHERE ON SITE.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- SCAN FLOOR PRIOR TO FLOOR CUTS.
- DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

Cyan: Separate (Optional) Price 1
(Addition)

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No.	Date	Description	By
1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT

STAMPE:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**BOILER ROOM 142C
DEMOLITION LAYOUT**

DISCIPLINE:

MECHANICAL

DRAWER:

MRC

DESIGNER:

LIZ

APPROVER:

BRT

PROJECT No:

A0001060

SHEET No:

SCALE:

AS NOTED

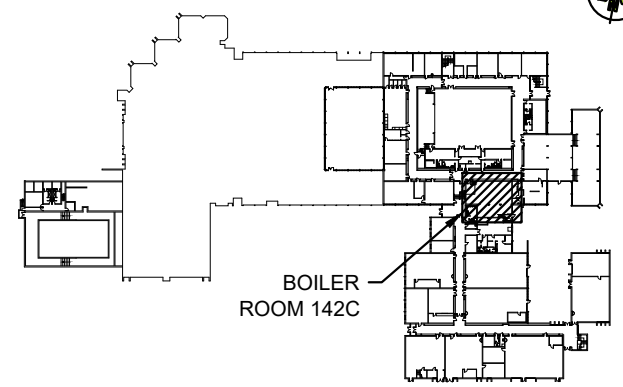
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APPROVER:

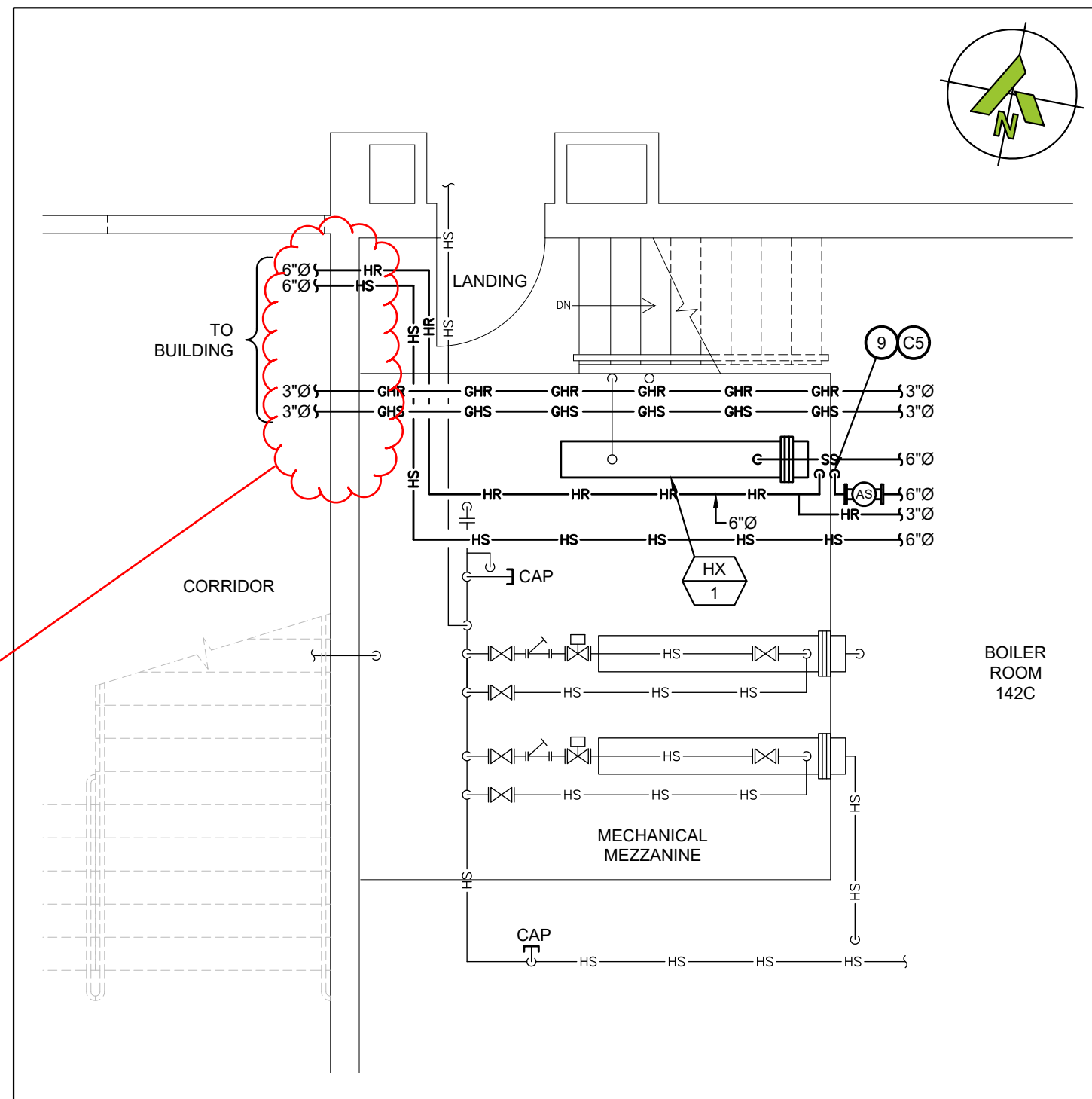
DRAWING No:

MD101



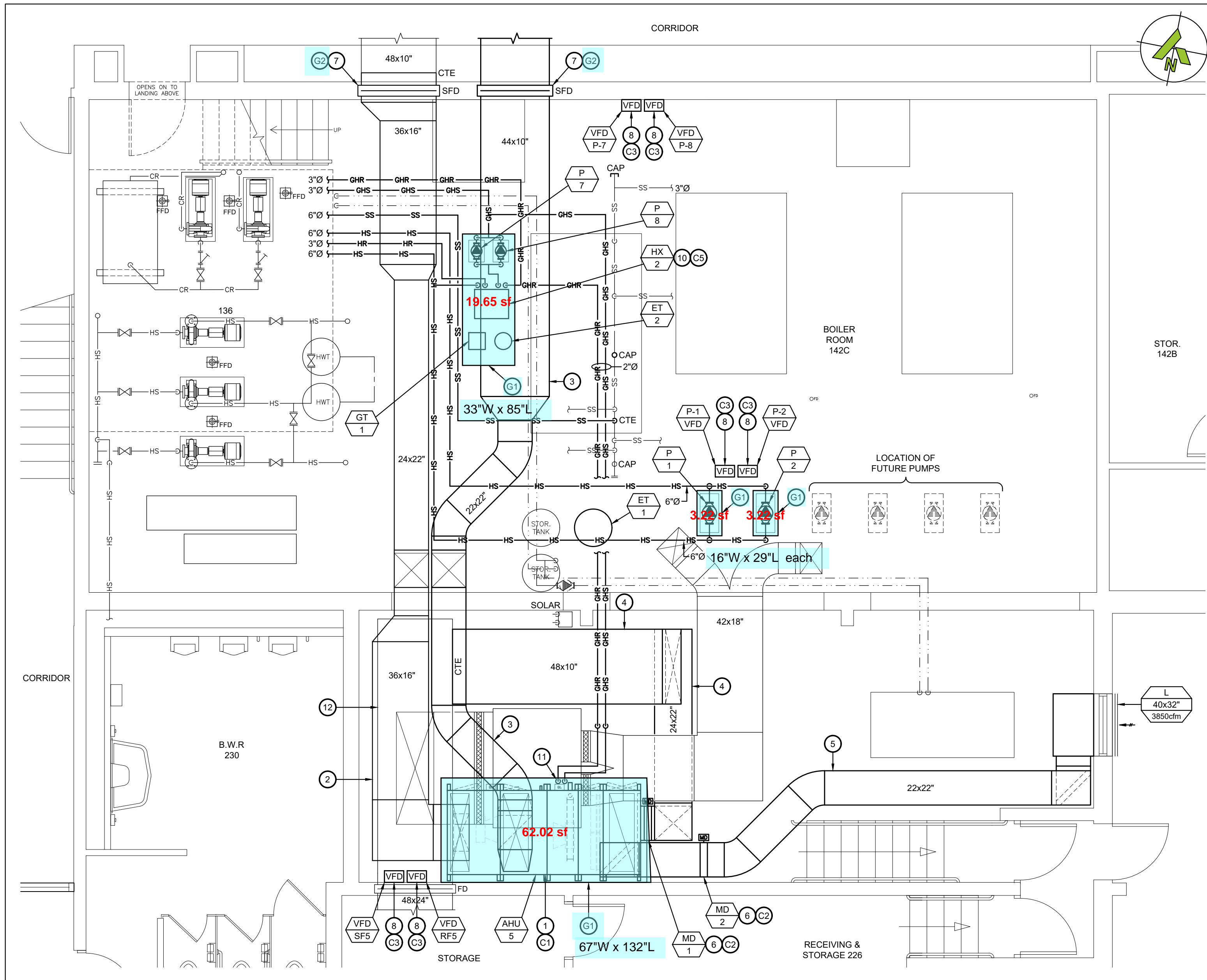
KEY PLAN - LOWER LEVEL

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are already taken off
on drawing M-104



1 BOILER ROOM 142C - MEZZANINE - NEW LAYOUT

SCALE: 1/4"=1'



2 BOILER ROOM 142C - NEW LAYOUT

SCALE: 1/4"=1'

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.1 AS PER THE FRONT END DOCUMENTS.

- ALL SCOPE RELATED TO THE NEW AIR HANDLING UNIT AHU-5 INCLUDING VFDs, CONCRETE PADS, DUCTWORK, CONTROLS, AND ELECTRICAL. HEATING PIPING TO BE CAPPED ABOVE PROPOSED UNIT LOCATION FOR FUTURE.

WORKING NOTES - GENERAL TRADES:

- G1 PROVIDE NEW 4" CONCRETE HOUSEKEEPING PAD UNDER NEW EQUIPMENT. PAINT CONCRETE PADS WITH YELLOW - ALL SIDES AND AROUND TOP EDGE (MINIMUM 12").
- G2 PROVIDE NEW LINTEL FOR DUCT PENETRATION. REFER TO STRUCTURAL DRAWINGS. 60"L Qty.=2

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT.
- C2 PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR NEW MOTORIZED DAMPER.
- C3 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFDs.
- C4 PROVIDE NEW BAS CONTROL PANEL. INTEGRATE ALL CONTROL WIRING FROM EXISTING REMOVED BAS PANEL INTO NEW PANEL.
- C5 PROVIDE CONTROLS AND CONTROL WIRING FOR HEAT EXCHANGER AND CIRCULATION PUMPS.

NEW WORKING NOTES:

- SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT/SECTIONS ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- NEW 36x16" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. RUN AS TIGHT TO U/S OF EXISTING O/A DUCTWORK AS POSSIBLE. OFFSET AS REQUIRED TO SUIT BEAM AND COLUMN AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT.
- NEW 22x22" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT. OFFSET AS REQUIRED TO SUIT BEAM AND COLUMN AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION THROUGH BOILER ROOM WALL.
- NEW 24x22" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN TIGHT UNDER EXISTING MAU DUCTWORK AND UP INTO 48x10" DUCT ABOVE. CONNECT TO SIDE OF EXISTING O/A PLENUM.
- NEW 22x22" THERMALLY INSULATED E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN TO EXISTING WINDOW LOCATION. RUN DOWN BELOW EXISTING SOLAR HEAT DISCHARGE AIR UNIT DUCTWORK AND STUB INTO SIDE OF NEW PLENUM OFF BACK OF NEW LOUVER.
- PROVIDE NEW MOTORIZED DAMPER. INSTALL O/A MOTORIZED DAMPERS DIRECTLY ON UNIT OPENING. CONFIRM EXACT SIZE OF MOTORIZED DAMPER TO SUIT UNIT OPENING.
- PROVIDE NEW COMBINATION SMOKE FIRE DAMPER AT WALL PENETRATION.
- PROVIDE NEW VFD AND MOUNT ON WALL. COORDINATE WIRING OF VFD WITH ELECTRICAL AND CONTROLS CONTRACTORS. PROVIDE NEW UNISTRUT STAND FOR MOUNTING OF P-1 & P-2 VFDs.
- NEW 6"Ø STEAM DOWN TO AND 6"Ø HS & HR UP FROM HEAT EXCHANGER HX-1 AND CIRCULATION PUMPS. REFER TO SCHEMATIC DETAILS. MOUNT PUMPS AND HEAT EXCHANGER AND GLYCOL TANK ON NEW PAD. RUN CONDENSATE DRAIN TO EXISTING RECEIVER BELOW.
- NEW 3"Ø HS & HR DOWN TO AND 3"Ø GHS & GHR UP FROM HEAT EXCHANGER HX-1 AND CIRCULATION PUMPS. REFER TO SCHEMATIC DETAILS. MOUNT PUMPS, HEAT EXCHANGER AND GLYCOL TANK ON NEW PAD.
- NEW 2"Ø GHS & GHR DOWN TO AHU COIL C/W NEW VALVES AND ACCESSORIES. REFER TO DETAIL.
- PATCH EXISTING O/A PLENUM WHERE DUCT WAS REMOVED. PROVIDE THERMAL INSULATION FOR ENTIRE PLENUM TO SUIT REMOVAL DURING ABATEMENT.

GENERAL NEW (PLUMBING AND/OR HVAC) NOTES:

- WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 - ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
 - ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 - ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
- THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
- COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
- INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
- THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
- FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM, WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

Cyan: Separate (Optional) Price 1
(Addition)

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No.	Date	Description	By
1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT

STAMPS:



ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

BOILER ROOM 142C
NEW LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

DESIGNER:

LIZ

APPROVER:

BRT

PROJECT No.:

A0001060

SHEET No.:

SCALE:

AS NOTED

DATE:

2025-01-07

APPROVER:

BRT

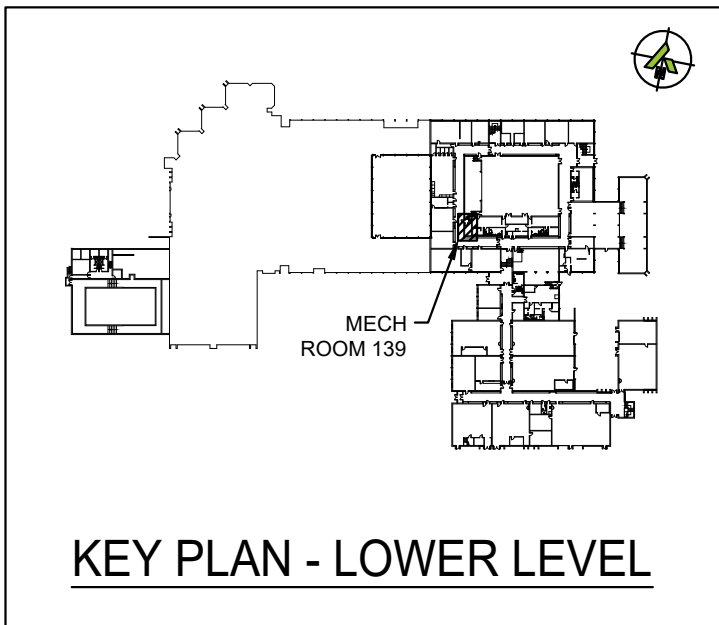
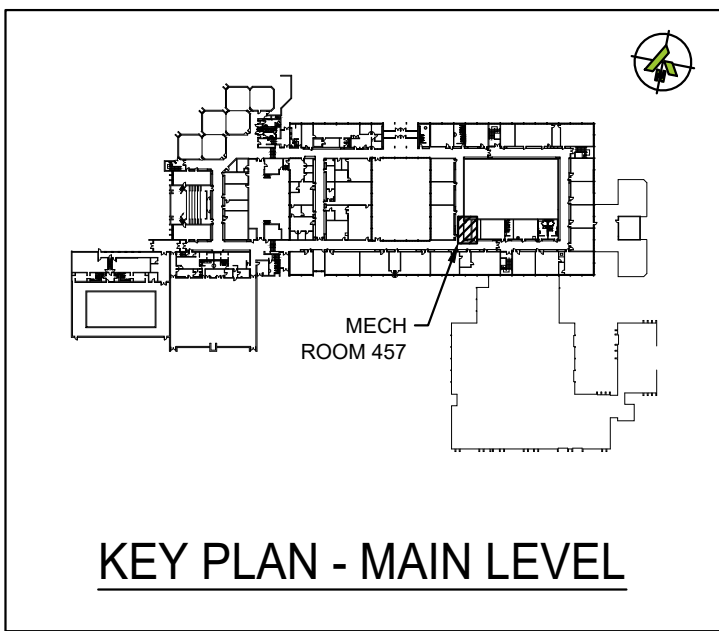
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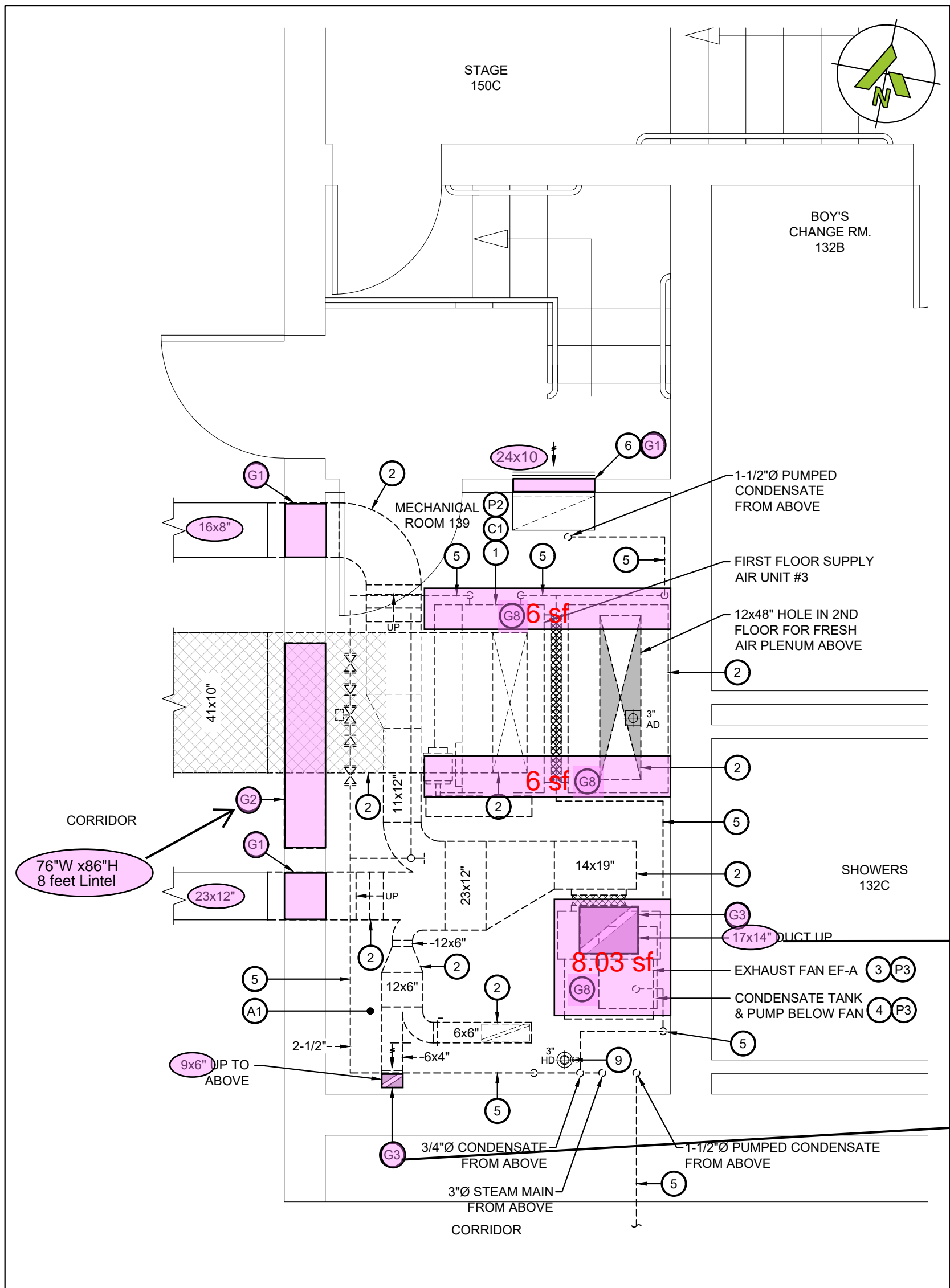
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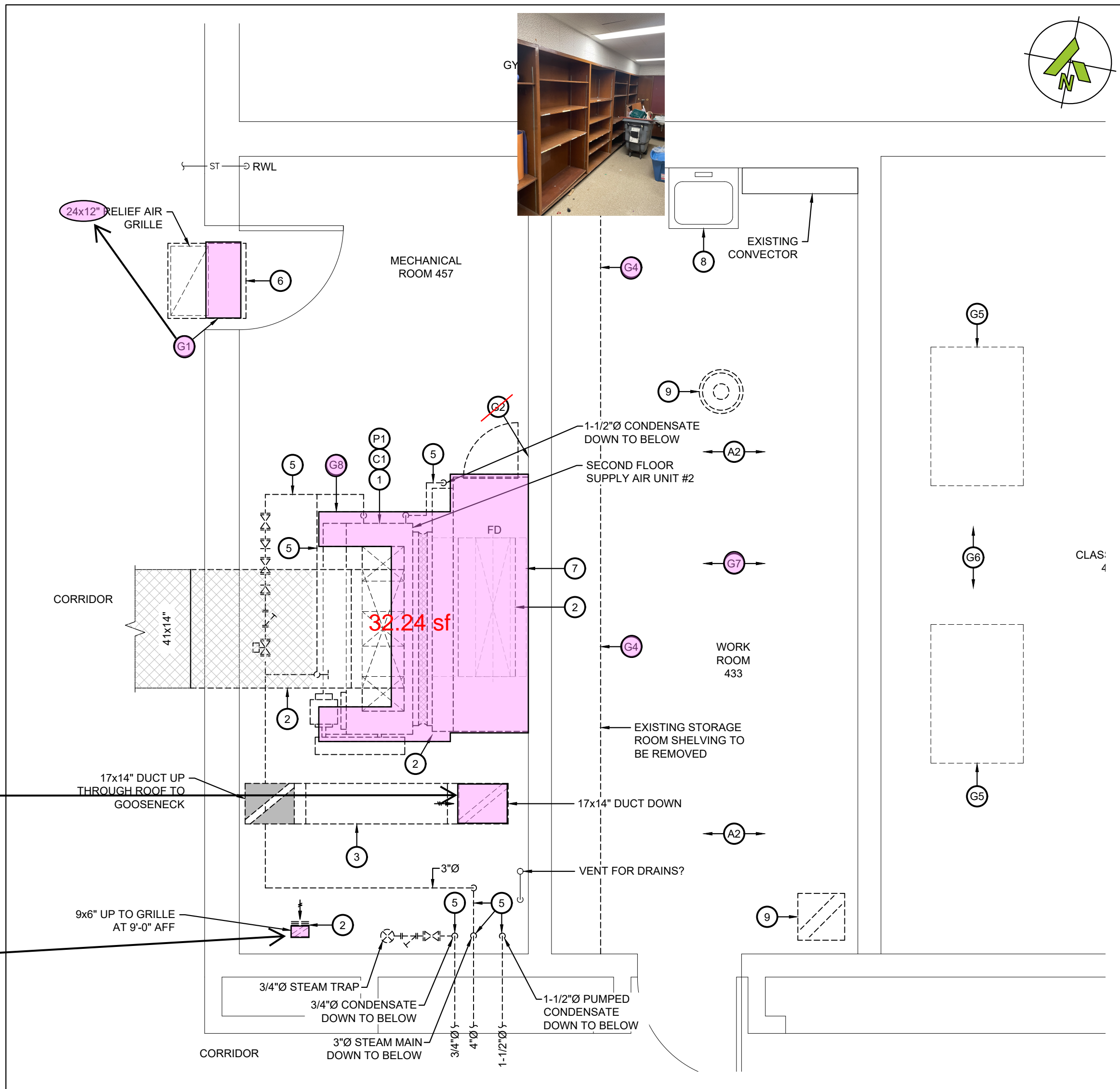
M-101



The General Contractor is to provide hoarding and tarps around the construction area and where applicable to prevent the spread of dust to adjacent spaces.



1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT
MD102 SCALE: 3/8"=1'



2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT
MD102 SCALE: 3/8"=1'

DEMO WORKING NOTES - PNEUMATICS:

- (P1) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-8.
- (P2) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-10.
- (P3) REMOVE ALL PNEUMATIC CONTROLS AND TUBING ASSOCIATED WITH EXISTING CONDENSATE PUMP
- (P4) REMOVE ALL PNEUMATIC CONTROLS AND TUBING ASSOCIATED WITH EXISTING EXHAUST FAN.

ABATEMENT NOTES:

- (A1) PROVIDE TYPE 3 ABATEMENT IN MECHANICAL ROOM 139 & 457 TO REMOVE ALL INSULATIONS ON PIPING AND DUCTWORK.
- (A2) PROVIDE TYPE 3 ABATEMENT IN WORK ROOM 433 TO REMOVE ALL 12X12 ACOUSTIC CEILING TILES.

DEMO WORKING NOTES - CONTROLS:

- (C1) REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

DEMO WORKING NOTES - GENERAL TRADES:

- (G1) PATCH EXISTING BLOCK WALL AT LOCATION OF REMOVED DUCTWORK. RESTORATION TO PROVIDE ONE HOUR FIRE RESISTANCE RATING.
- (G2) PROVIDE NEW LINTEL AND WALL OPENING FOR NEW DOOR. REFER TO STRUCTURAL DRAWING FOR DETAILS.
- (G3) PATCH FLOOR AT LOCATION OF REMOVED DUCTWORK.
- (G4) REMOVE ALL SHELVEING AND MILLWORK IN STORAGE ROOM.
- (G5) REMOVE EXISTING SKYLIGHT TO SUIT INSTALLATION OF NEW E/A DUCTWORK.
- (G6) REMOVE CEILING TILE AND GRID AS REQUIRED TO SUIT INSTALLATION OF NEW DUCTWORK AND BULKHEAD.
- (G7) REMOVE ALL FLOORING IN STORAGE ROOM.
- (G8) REMOVE EXISTING CONCRETE PAD AND MAKE GOOD THE EXISTING FLOOR FOR EPOXY.

DEMO WORKING NOTES:

- 1 REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- 2 REMOVE DUCTWORK FROM AHU AND CUT BACK THROUGH WALL TO SUIT INSTALLATION OF NEW COMBINATION SMOKE/FIRE DAMPERS.
- 3 REMOVE EXHAUST FAN C/W ALL DAMPERS, ACCESSORIES AND VENTING. CUT DUCTWORK BACK THROUGH WALL AND ABANDON.
- 4 REMOVE EXISTING CONDENSATE TANK, PUMP AND ALL ASSOCIATED HANGERS, VALVES AND ACCESSORIES.
- 5 REMOVE ALL CONDENSATE AND STEAM PIPING AND ALL ASSOCIATED HANGERS, VALVES AND ACCESSORIES.
- 6 REMOVE EXISTING TRANSFER DUCT AND SLEEVE AND ANY GRILLES.
- 7 REMOVE EXISTING GRAVITY INTAKE HOOD ON ROOF TO SUIT INSTALLATION OF NEW GOOSENECK.
- 8 REMOVE EXISTING SINK. CAP ALL PIPING IN WALL.
- 9 REMOVE EXISTING DIFFUSER AND GRILLE AND ASSOCIATED DUCTWORK. CAP DUCTWORK AT WALL.

GENERAL DEMOLITION NOTES:

- 1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- 3. **SCAN FLOOR PRIOR TO FLOOR CUTS.**
- 4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- 5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- 6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

Pink: Base Bid

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1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT
No.	Date	Description	By

STAMPE:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**MECHANICAL ROOMS
139A AND 457
DEMOLITION LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

LUZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

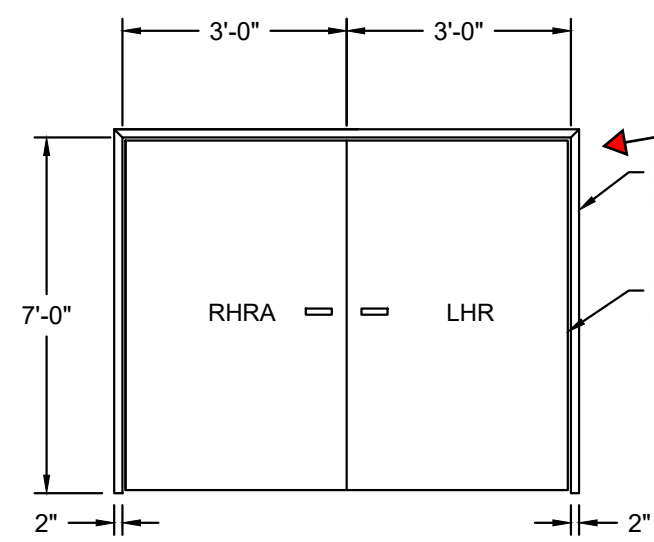
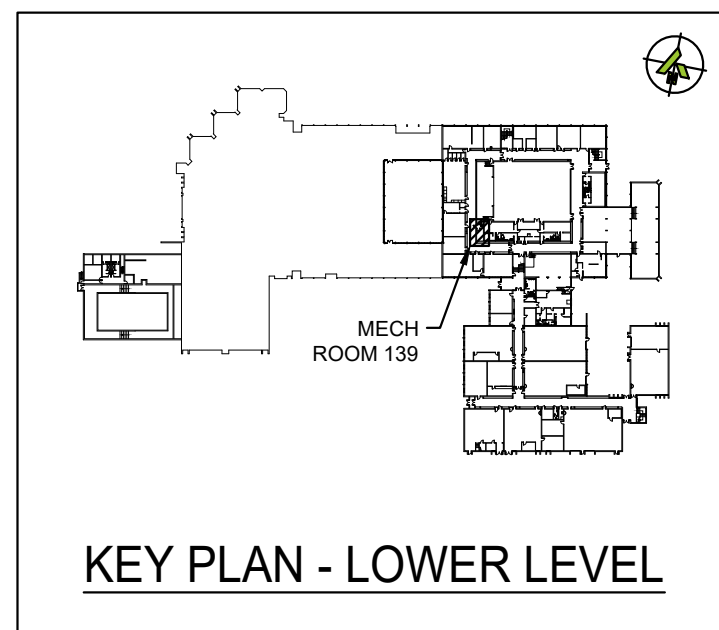
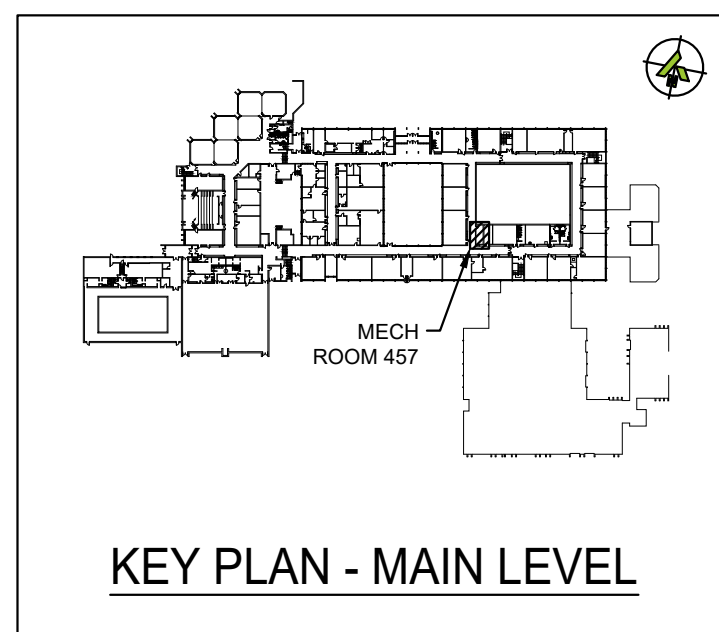
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MD102

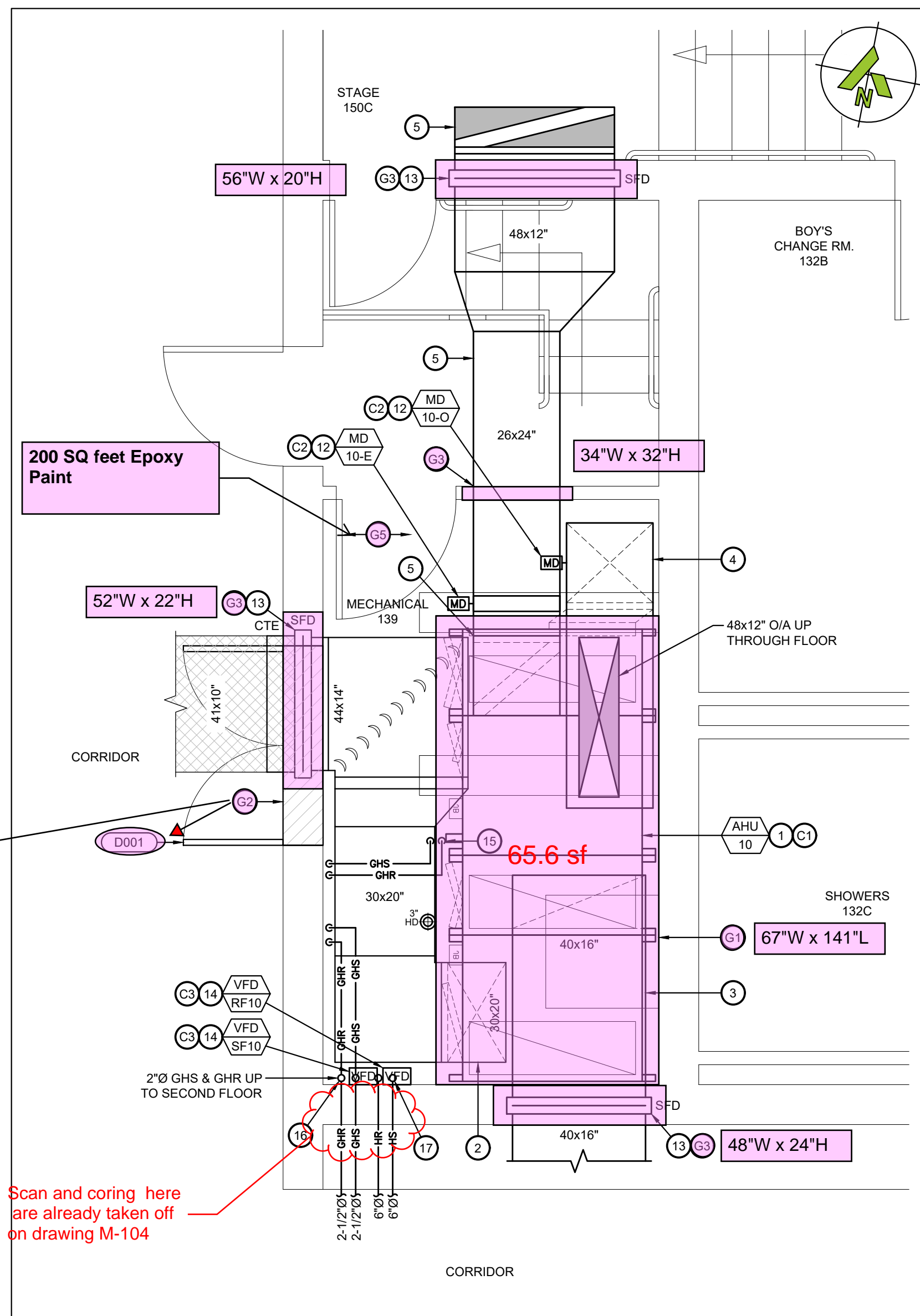
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3 of 16

**DOOR SCHEDULE**
NTS

Door Schedule Drawing M-602

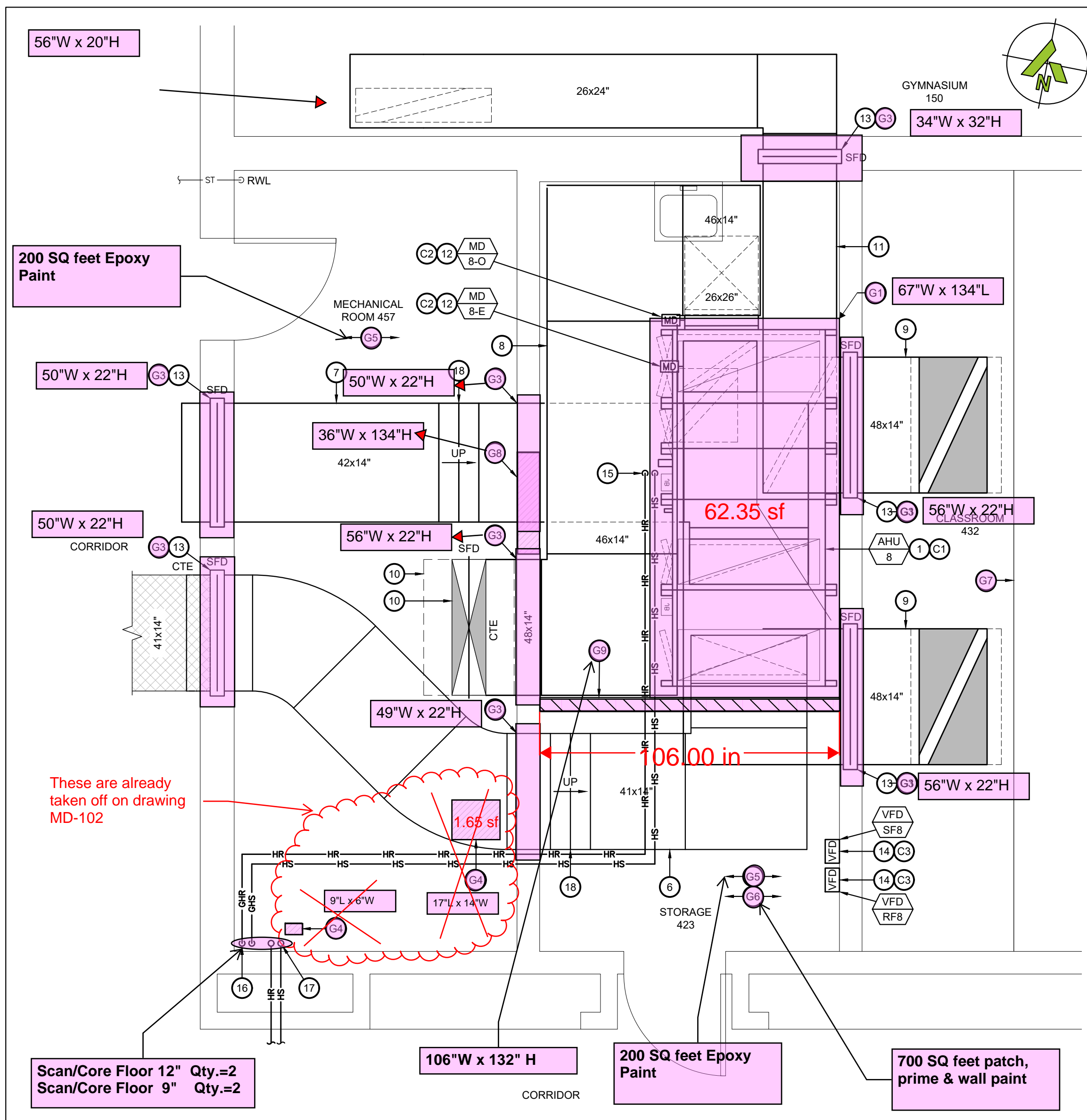
The General Contractor is to provide hoarding and tarps around the construction area and where applicable to prevent the spread of dust to adjacent spaces.

Pink: Base Bid**1 MECHANICAL ROOM 139 - NEW LAYOUT**
M-102 SCALE: 3/8"=1'**NEW WORKING NOTES - GENERAL TRADES:**

- G1 PROVIDE NEW 4" CONCRETE HOUSEKEEPING PAD UNDER NEW EQUIPMENT. PAINT CONCRETE PADS WITH YELLOW - ALL SIDES AND AROUND TOP EDGE (MINIMUM 12").
- G2 PROVIDE NEW DOOR AND FRAME. PROVIDE WALL OPENING AND LINTEL FOR NEW DOOR AS PER STRUCTURAL DRAWINGS. REPAIR AND PAINT BLOCK AROUND NEW DOOR OPENING TO MATCH EXISTING CONDITIONS.
- G3 PROVIDE NEW WALL OPENING AND LINTEL FOR DUCTWORK. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- G4 PATCH CONCRETE FLOOR AT EXISTING REDUNDANT FLOOR OPENING.
- G5 PROVIDE NEW EPOXY FLOORING IN MECHANICAL ROOM. REFER TO SPECIFICATIONS.
- G6 PATCH, PRIME AND PAINT ALL WALLS OF NEW MECHANICAL ROOM. PAINTING TO BE WITH TWO COATS OF WHITE.
- G7 PROVIDE STUD AND DRYWALL BULKHEAD OVER NEW DUCTWORK UP THROUGH SKYLIGHTS. PRIME AND PAINT WITH TWO COATS OF WHITE. REPAIR EXISTING CLASSROOM T-BAR CEILING AND PROVIDE NEW PERIMETER GRID AT NEW BULKHEAD.
- G8 PROVIDE LINTEL AND NEW 36" WIDE WALL OPENING BETWEEN MECHANICAL ROOMS. FINISH SIDES OF BLOCK SMOOTH AND PROVIDE FINISHING TRIM.
- G9 PROVIDE NEW STUD AND DRYWALL PARTITION WALL. WALL TO BE CONSTRUCTED OF METAL STUDS WITH 1/2" PLYWOOD ON STORAGE ROOM SIDE AND 1/2" GYPSUM BOARD ON BOTH SIDES. PRIME AND PAINT WITH TWO COATS OF WHITE.

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT.
- C2 PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR NEW MOTORIZED DAMPER.
- C3 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFD.

**2 MECHANICAL ROOM 457 - NEW LAYOUT**
M-102 SCALE: 3/8"=1'**NEW WORKING NOTES:**

- 1 SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- 2 NEW 30x20" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. OFFSET UNDER NEW R/A DUCT WITH 45 DEGREE BENDS AS REQUIRED. TRANSITION TO 44x14" AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE ALL NEW DUCT OFF OF UNIT.
- 3 NEW 40x16" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. RUN TIGHT TO WALL AND OUT THROUGH NEW COMBINATION SMOKE/FIRE DAMPER. ACOUSTICALLY LINE ALL NEW DUCT OFF OF UNIT.
- 4 NEW 26x26" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS AND MOTORIZED DAMPER AT UNIT OPENING. RUN UP THROUGH EXISTING 48x12" FLOOR PENETRATION TO NEW GOOSENECK ON ROOF.
- 5 NEW 26x24" E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. TRANSITION TO 48x12" AND RUN UP TIGHT TO STAGE WALL TO SECOND FLOOR LEVEL WITH NEW COMBINATION SMOKE/FIRE DAMPER AT PENETRATION OF STAGE WALLS. ACOUSTICALLY LINE DUCTWORK FROM UNIT OPENING TO ELBOW ON STAGE.
- 6 NEW 41x14" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT.
- 7 NEW 36x14" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT. RUN AS TIGHT TO TOP OF UNIT AS POSSIBLE AND UNDERNEATH NEW O/A E/A DUCTWORK.
- 8 NEW 26x26" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS AND MOTORIZED DAMPER AT UNIT OPENING. RUN UP INTO NEW 48x14" O/A DUCT ABOVE. RUN TIGHT TO UIS OF DECK ABOVE. FLOOR PENETRATION TO NEW GOOSENECK ON ROOF.
- 9 NEW 26x18" E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN ABOVE NEW R/A DUCT AND PAST E/A FROM AHU-10, AND TRANSITION TO 48x14". TURN THROUGH CLASSROOM WALL AND RUN UP THROUGH EXISTING SKYLIGHT OPENING TO NEW GOOSENECK ON ROOF.
- 10 RUN COMMON 48x32" O/A DUCT UP THROUGH EXISTING OPENING IN ROOF TO NEW GOOSENECK. REFER TO DETAIL.
- 11 RUN 48x12" E/A DUCT UP INTO BOTTOM OF NEW 26x24" E/A DUCT. RUN THROUGH MECHANICAL ROOM WALL AND TIGHT TO WALL TO LOCATION OF SKYLIGHT IN ADJACENT ROOM. STUB NEW 48x14" E/A INTO SIDE OF NEW 26x24" DUCT. RUN 48x14" E/A UP THROUGH EXISTING SKYLIGHT OPENING TO NEW GOOSENECK ON ROOF.
- 12 PROVIDE NEW MOTORIZED DAMPER. INSTALL O/A MOTORIZED DAMPERS DIRECTLY ON UNIT OPENING. CONFIRM EXACT SIZE OF MOTORIZED DAMPER TO SUIT UNIT OPERATING.
- 13 PROVIDE NEW COMBINATION SMOKE FIRE DAMPER AT WALL PENETRATION.
- 14 SUPPLY NEW VFD FOR FAN MOTORS AND MOUNT ON WALL. COORDINATE WIRING WITH ELECTRICAL CONTRACTOR.
- 15 2"Ø GHS & GHR DOWN TO NEW HEATING COIL C/W VALVES AND ACCESSORIES AS PER DETAIL. MOUNT NEW VALVES AND ACCESSORIES ON ADJACENT WALL WHERE SPACE DOES NOT PERMIT FOR VALVES TO BE INSTALLED IN FRONT OF UNIT.
- 16 2-1/2"Ø GHS & GHR FROM BOILER ROOM. RUN 2"Ø GHS & GHR UP THROUGH FLOOR TO SECOND LEVEL. FIRESTOP AT FLOOR AND WALL.
- 17 6"Ø HS & HR UP TO SECOND LEVEL AND OUT THROUGH WALL TO SECOND LEVEL CORRIDOR. FIRESTOP AT FLOOR AND WALL.
- 18 PROVIDE 45 DEGREE ELBOWS AS REQUIRED TO OFFSET DUCTWORK UNDER NEW O/A DUCT IN NEW MECHANICAL ROOM.

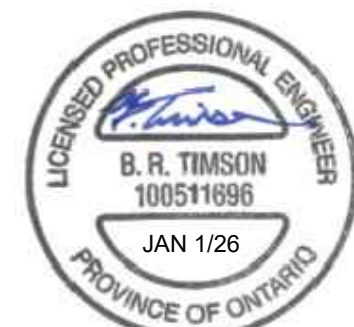
GENERAL NEW (PLUMBING AND/OR HVAC) NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 - .1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
 - .2 ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 - .3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
3. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
4. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
5. COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
6. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
7. THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
8. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
9. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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STAMPE:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**MECHANICAL ROOMS
139A AND 457
NEW LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

DESIGNER:

LIZ

APPROVER:

BRT

PROJECT No.:

A0001060

SHEET No.:

8 of 16

SCALE:

AS NOTED

DATE:

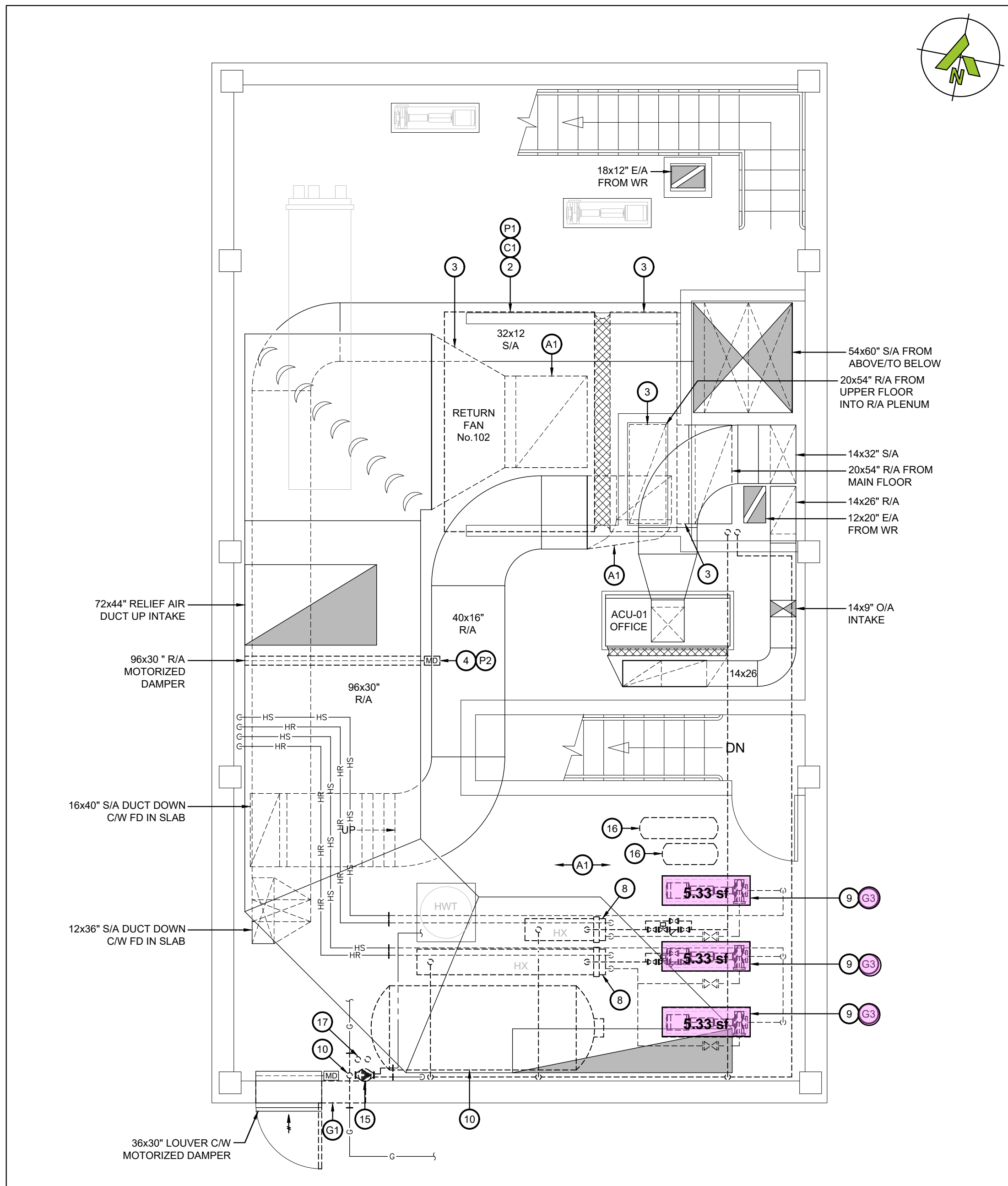
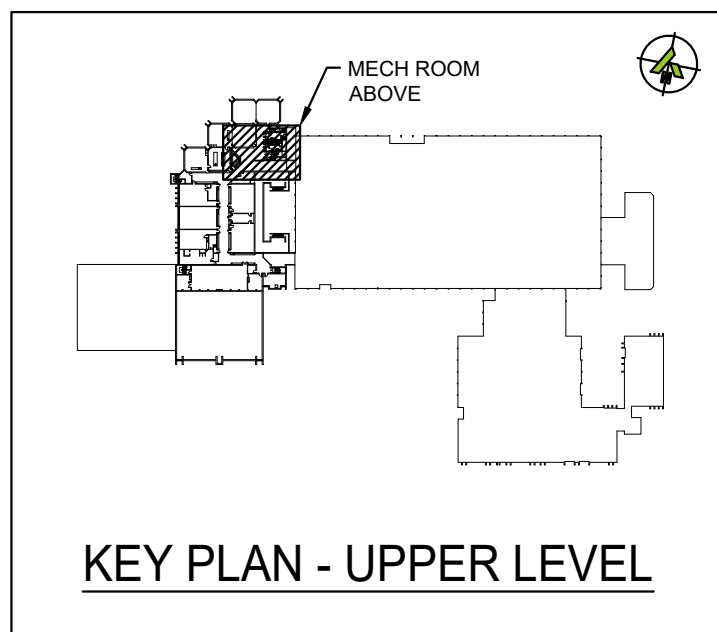
2025-01-07

APPROVER:

APPROVER:

DRAWING No.:

M-102



1 PENTHOUSE - LOW LEVEL - DEMOLITION LAYOUT
SCALE: 1/4"=1'

DEMO WORKING NOTES - GENERAL TRADES:

- G1 REMOVE EXISTING DOOR AND DOOR FRAME.
- G2 REMOVE PORTIONS OF WALL TO SUIT EXTENSION OF DOORWAY. COORDINATE WITH STRUCTURAL DRAWINGS.
- G3 REMOVE EXISTING CONCRETE PADS.

DEMO WORKING NOTES - CONTROLS:

- C1 REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

DEMO WORKING NOTES - PNEUMATICS:

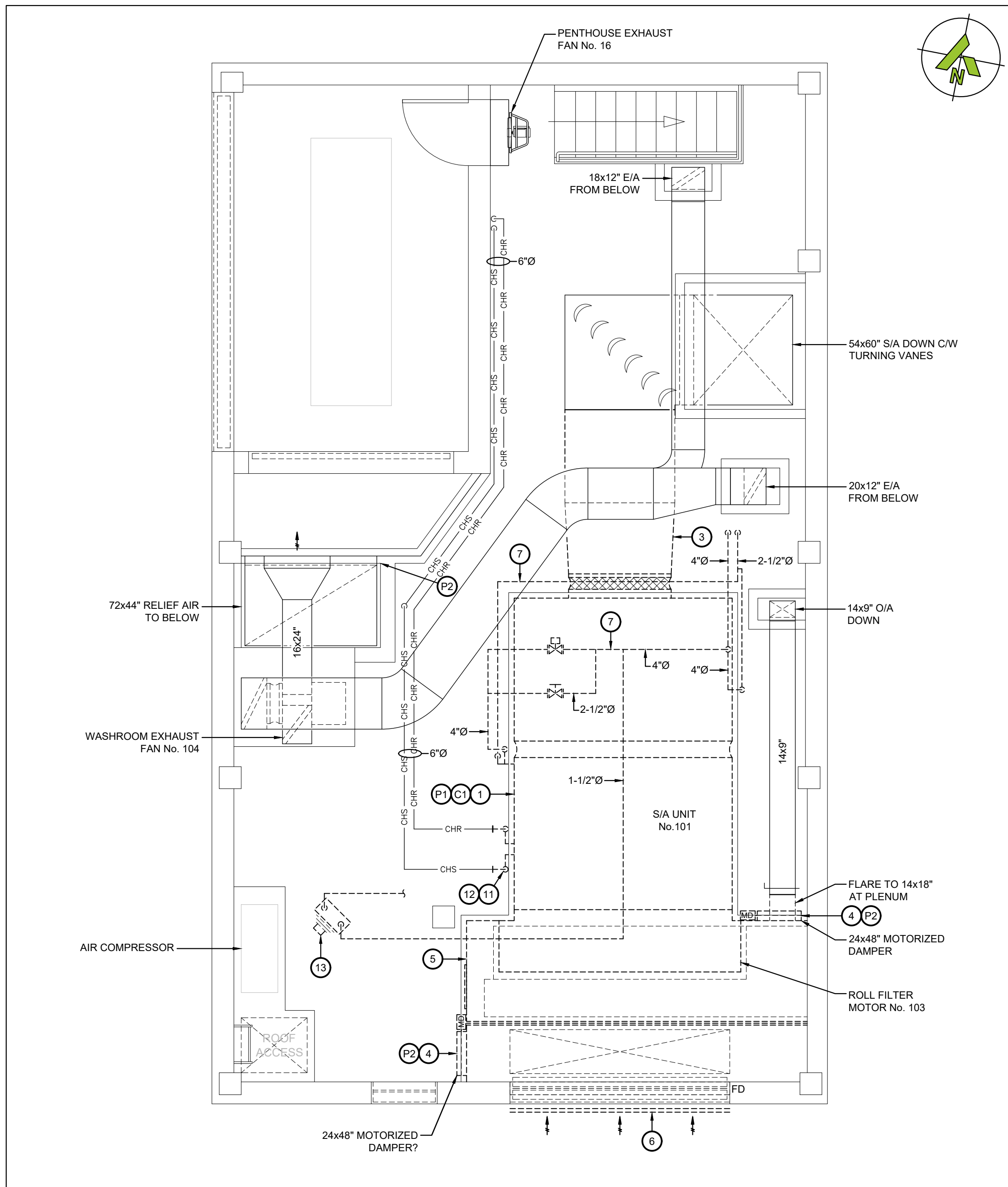
- P1 REMOVE ALL PNEUMATIC CONTROLS AND TUBING FOR AHU-12 AND RETURN FAN.
- P2 REMOVE ALL PNEUMATIC TUBING FOR MOTORIZED DAMPER.

ABATEMENT NOTES:

- P1 PROVIDE TYPE 3 ABATEMENT TO REMOVE DUCT AND PIPE INSULATIONS IN MECHANICAL ROOM.

DEMO WORKING NOTES:

- 1 REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES.
- 2 REMOVE EXISTING RETURN FAN C/W DUCT CONNECTIONS, FLEX CONNECTIONS, SUPPORTS AND ALL ACCESSORIES.
- 3 CUT BACK DUCTWORK FROM AHU TO SUIT DUCT CONNECTIONS TO NEW UNIT.
- 4 REMOVE EXISTING MOTORIZED DAMPER AND ACTUATOR.
- 5 REMOVE MIXING PLENUM AND ALL DOORS, DAMPERS, AND ACCESSORIES.
- 6 REMOVE EXISTING LOUVER. LOUVER OPENING TO BE USED TO BRING NEW EQUIPMENT INTO ROOM.
- 7 REMOVE ALL HEATING PIPING C/W ALL HANGERS, VALVES AND ACCESSORIES.
- 8 REMOVE HEAT EXCHANGERS C/W ALL PIPING, VALVES AND ACCESSORIES.
- 9 REMOVE PUMPS C/W ALL VALVES, ASSOCIATED PIPING, SUPPORTS AND ACCESSORIES.
- 10 REMOVE HOT WATER STORAGE TANK C/W ALL VALVES, AND ACCESSORIES.
- 11 CUT BACK CHILLED WATER PIPING AS REQUIRED AND REMOVE ALL PIPING AND ACCESSORIES AT CONNECTION TO UNIT. RETAIN CONTROL VALVE FOR COOLING COIL FOR REINSTALLATION.
- 12 REMOVE REDUNDANT COOLING COIL PUMP.
- 13 REMOVE EXISTING UNIT HEATER AND ALL PIPING, VALVES AND ACCESSORIES.
- 14 REMOVE GAS PIPING AS REQUIRED TO SUIT NEW DOOR. TO BE RELOCATED.
- 15 REMOVE EXISTING DOMESTIC RECIRC PUMP AND RECIRC PIPING AS REQUIRED TO SUIT NEW DOOR. RETAIN PUMP FOR REINSTALLATION.
- 16 REMOVE EXISTING EXPANSION TANKS C/W ALL VALVES, ACCESSORIES AND PIPING.
- 17 OFFSET EXISTING RAIN WATER LEADER AND FLOOR DRAIN SANITARY PIPING TO SUIT NEW DOOR OPENINGS. PROVIDE NEW SLEEVES THROUGH FLOOR AND RECONNECT TO PIPING BELOW.



2 PENTHOUSE - HIGH LEVEL - DEMOLITION LAYOUT
SCALE: 1/4"=1'

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- SCAN FLOOR PRIOR TO FLOOR CUTS.
- DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No. 2 AS PER THE FRONT END DOCUMENTS:

- ALL SCOPE RETURN TO THE NEW RETURN FAN RF-12 INCLUDING DEMOLITION OF THE EXISTING RETURN FAN, DUCTWORK, CONTROLS AND ELECTRICAL. OPTIONAL PRICE ALSO INCLUDES THE NEW DOUBLE DOORS TO THE EXTERIOR AND ASSOCIATED REWORK OF SERVICES TO SUIT NEW DOOR.

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ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**PENTHOUSE
DEMOLITION LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

LIZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

A0001060

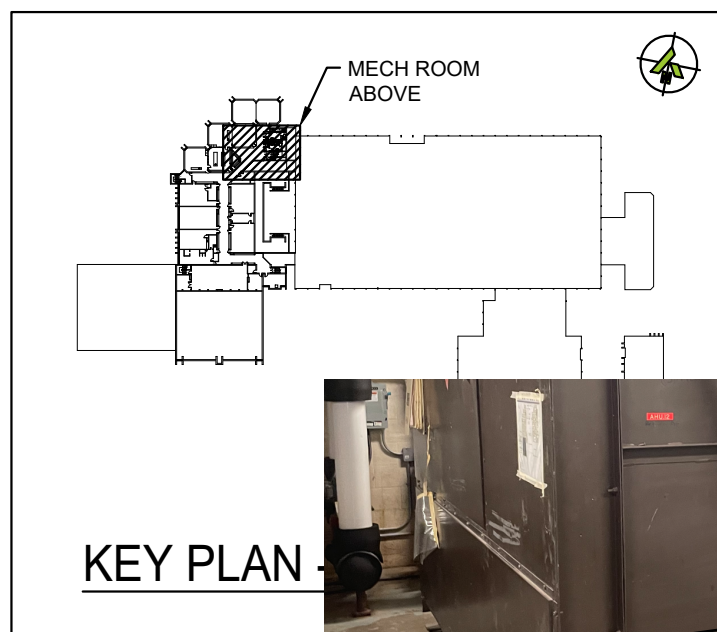
DRAWING No:

MD103

SHEET No:

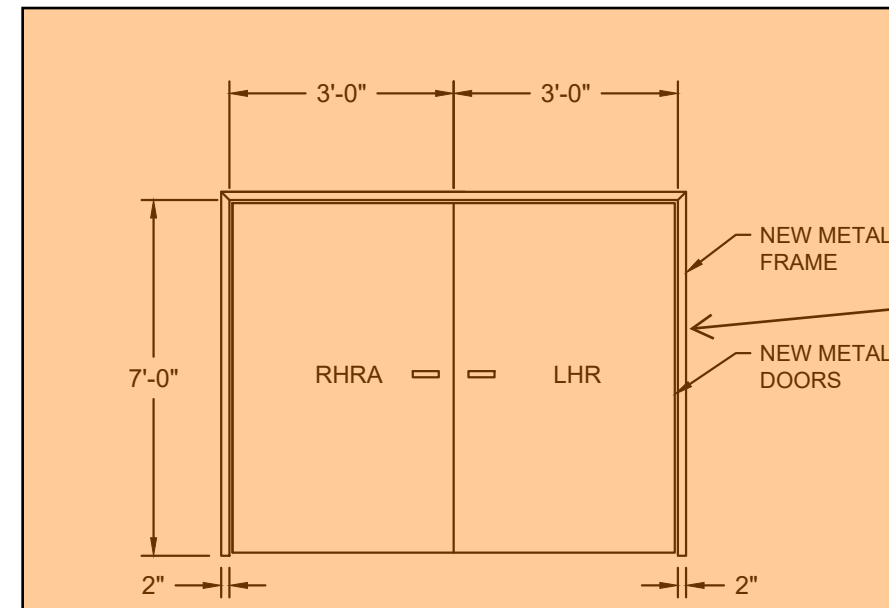
4 of 16

Pink: Base Bid



3.6 Drawing M103 Addendum 3

- .1 Working Note Tag G3 applied to the removed concrete pads shall be replaced with Working Note G4 "Make good the concrete Mechanical Room floor at locations of removed pads."

DOOR SCHEDULE
NTS

Door Schedule Drawing M-602

Pink: Base Bid

Orange: Separate (Optional) Price 2
(Addition)1 LOWER UPPER MECHANICAL ROOM - LOW LEVEL - NEW LAYOUT
M-103 SCALE: 1/4"=1'

NEW WORKING NOTES - GENERAL TRADES:

- G31 PROVIDE NEW DOOR AND DOOR FRAME. PROVIDE NEW LINTEL ABOVE DOOR AND PATCH ALL EXTERIOR SIDING, VAPOUR BARRIER AND WEATHERPROOFING.
- G32 PROVIDE NEW 4" CONCRETE PAD TO EXTEND EXISTING PAD TO SUIT INSTALLATION OF NEW UNIT.
- G33 PROVIDE NEW OPENING FOR LOUVER AND LINTEL REFER TO STRUCTURAL DRAWINGS FOR DETAIL.

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT SUPPLY AND RETURN FAN.
- C2 PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR EXISTING MOTORIZED DAMPER.
- C3 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFDs.
- C4 PROVIDE SPACE SENSOR, CONTROLS AND CONTROL WIRING FOR NEW UNIT HEATER.

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No. 2 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW RETURN FAN RF-12 INCLUDING VFD, CONCRETE PAD, DUCTWORK REVISIONS, CONTROLS, AND ELECTRICAL. OPTIONAL PRICE ALSO INCLUDES THE NEW DOUBLE DOORS TO THE EXTERIOR AND ASSOCIATED REWORK OF SERVICES TO SUIT NEW DOOR.

NEW WORKING NOTES:

- 1 SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- 2 SUPPLY AND INSTALL NEW RETURN FAN. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- 3 CONNECT TO EXISTING 54X60" S/A DUCT OFF FRONT OF SUPPLY FAN C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE ALL NEW S/A DUCTWORK.
- 4 PROVIDE SHEET METAL PLENUM TO EXTEND FROM NEW LOUVER TO BACK OF NEW AHU TO SEAL OFF AROUND NEW O/A SECTION.
- 5 PLACE UNIT R/A OPENING OVER EXISTING 120X36" OPENING THROUGH FLOOR.
- 6 CONNECT TO EXISTING 96X30" R/A DUCT ABOVE NEW RETURN FAN C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE ALL NEW R/A DUCTWORK.
- 7 RECONNECT ALL THREE EXISTING R/A DUCTS TO NEW PLENUM SECTION OF RETURN FAN. ACOUSTICALLY LINE ALL NEW R/A DUCTWORK.
- 8 2-1/2" Ø HS & HR TO NEW AHU COIL C/W ALL VALVE AND ACCESSORIES. REFER TO DETAIL.

2 UPPER MECHANICAL ROOM - HIGH LEVEL - NEW LAYOUT
M-103 SCALE: 1/4"=1'

- 9 RECONNECT EXISTING CHILLED WATER TO NEW AHU COOLING COIL C/W ALL NEW VALVES AND ACCESSORIES AS PER DETAIL. REINSTALL EXISTING CONTROL VALVE.
- 10 PROVIDE NEW FRESH AIR LOUVER OUT THROUGH WALL FOR OFFICE UNIT. WEATHER SEAL AROUND PERIMETER. THERMALLY INSULATE O/A DUCTWORK.
- 11 SUPPLY NEW VFD AND MOUNT ON UNISTRUT STAND FOR SUPPLY FANS AND ON WALL FOR RETURN FAN. COORDINATE WIRING WITH ELECTRICAL CONTRACTOR.
- 12 REINSTALL EXISTING GAS PIPING, DRW PIPING, DRW PUMP, STORM RISER AND SANITARY RISER TO SUIT NEW DOOR OPENING. EXTEND PIPING AS REQUIRED.
- 13 3/4" Ø HS & HR TO NEW UNIT HEATER C/W VALVES AND ACCESSORIES AS PER DETAIL.

GENERAL NEW (PLUMBING AND/OR HVAC) NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
- .1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
- .2 ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
- .3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
3. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
4. COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
5. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
6. THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
7. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
8. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

UPPER MECHANICAL ROOM
NEW LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

DESIGNER:

LIZ

APPROVER:

BRT

PROJECT No.:

A0001060

SHEET No.:

9 of 16

SCALE:

AS NOTED

DATE:

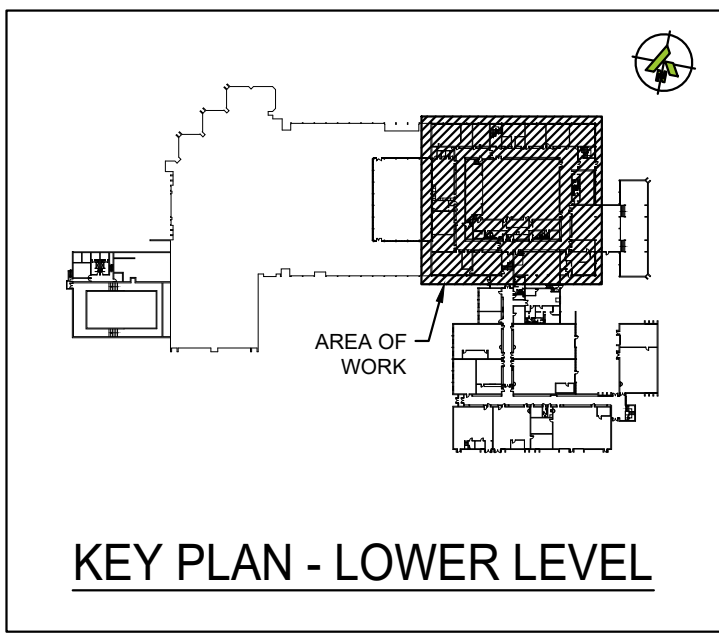
2025-01-07

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APPROVER:

DRAWING No.:

M-103



KEY PLAN - LOWER LEVEL

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
3. SCAN FLOOR PRIOR TO FLOOR CUTS.
4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

DEMO WORKING NOTES:

- 1 REMOVE EXISTING STEAM PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 2 REMOVE EXISTING PUMPED CONDENSATE PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 3 REMOVE EXISTING CONDENSATE DRAIN PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 4 REMOVE EXISTING EXHAUST FAN C/W ALL DAMPERS AND ACCESSORIES. CUT BACK DUCTWORK AS NOTED.
- 5 CUT BACK EXISTING EXHAUST DUCT IN CORRIDOR AND ABANDON AT MAIN. DUCT THROUGH WALL TO REMAIN.
- 6 REMOVE EXISTING E/A DUCT ELBOW IN CORRIDOR AND CAP AT FLOOR ABOVE. REMOVE EXHAUST FAN ON ROOF AND PROVIDE 4" INSULATED CURB CAP.

DEMO WORKING NOTES - CONTROLS:

- C1 REMOVE EXISTING CONTROLS AND CONTROL WIRING FOR EXISTING EXHAUST FAN.

DEMO WORKING NOTES - PNEUMATICS:

- C1 REMOVE EXISTING PNEUMATIC CONTROLS AND TUBING FOR EXISTING EXHAUST FAN.

DEMO WORKING NOTES - GENERAL TRADES:

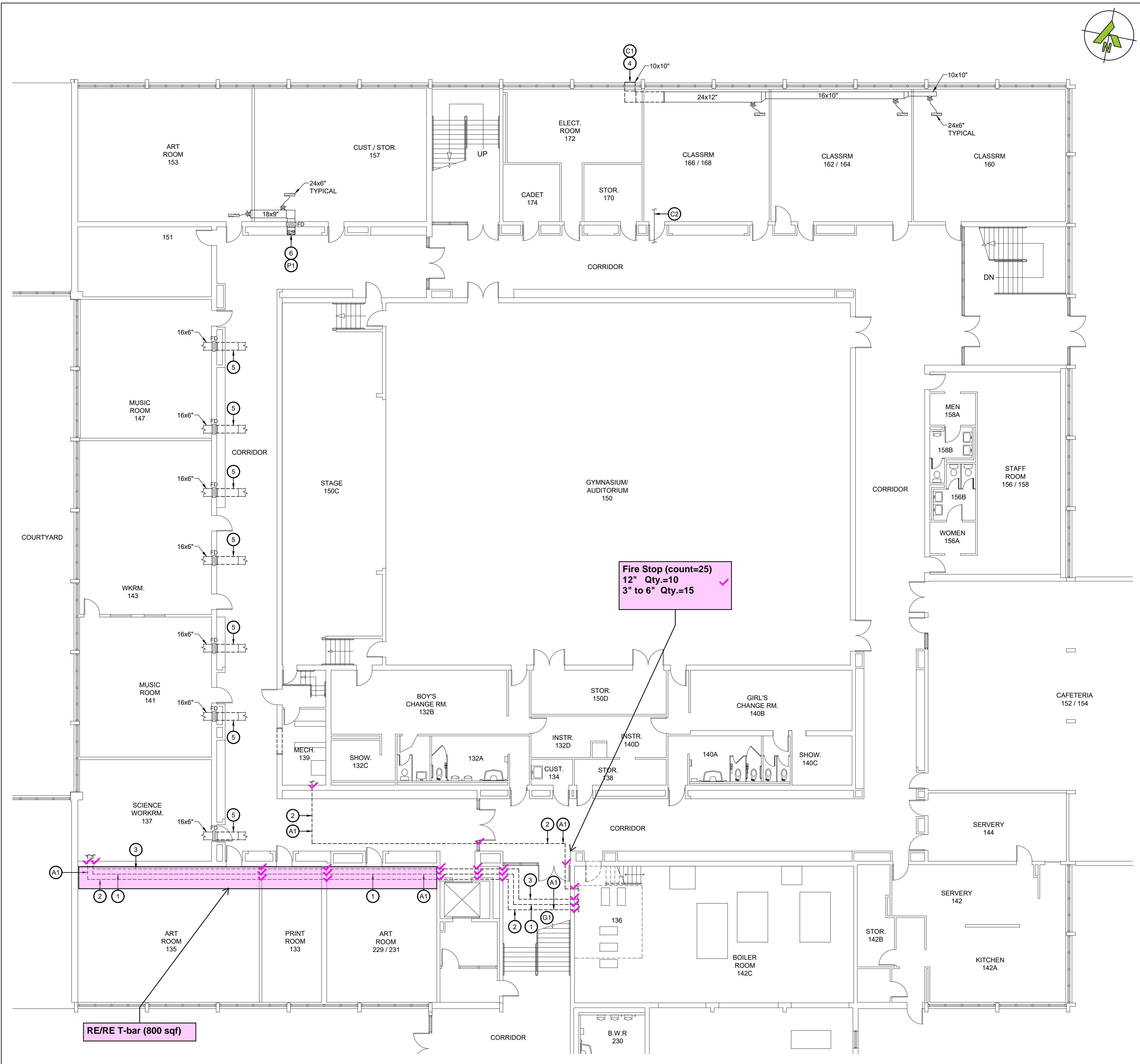
- G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.
- G2 ~~REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND~~ INSTALLATION OF NEW PIPING.
- G3 ~~REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.~~

ABATEMENT NOTES:

- G1 ~~REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND~~ INSTALLATION OF NEW PIPING.
- G2 REMOVE EXISTING BULKHEAD ~~AS REQUIRED~~ TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.
- G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.

3.3 Drawing MD104 Addendum 3

- G1 .1 Note G1 to be applied to classrooms and corridors where piping and ductwork demolition is being performed. Delete Working Notes G2 and G3.
- A1 .2 Abatement Note A1 shall read: Remove all asbestos containing pipe insulation straights and fittings using Type 2 glove bag procedures in accordance with O.Reg 278/05.



1 PARTIAL LOWER LEVEL - DEMOLITION LAYOUT
MD104 SCALE: 3/32"=1'

Pink: Base Bid

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655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL
DEMOLITION LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

LUZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

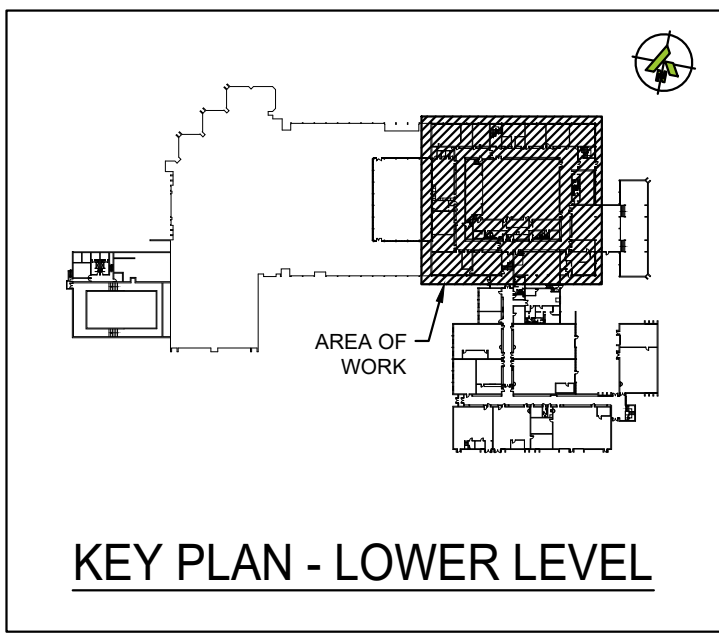
A0001060

DRAWING No:

MD104

SHEET No:

5 of 16



GENERAL NEW MECHANICAL NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 1. ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
 2. ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 3. ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
3. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
4. ENSURE ALL SERVICES ARE CONCEALED WITHIN AVAILABLE CEILING SPACE. RUN ALL NEW SERVICES UP IN JOIST SPACE AND BETWEEN LIGHTS AS NOTED OR AS REQUIRED.
5. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
6. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
7. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS AND FLOORS IN AREA OF WORK.
8. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

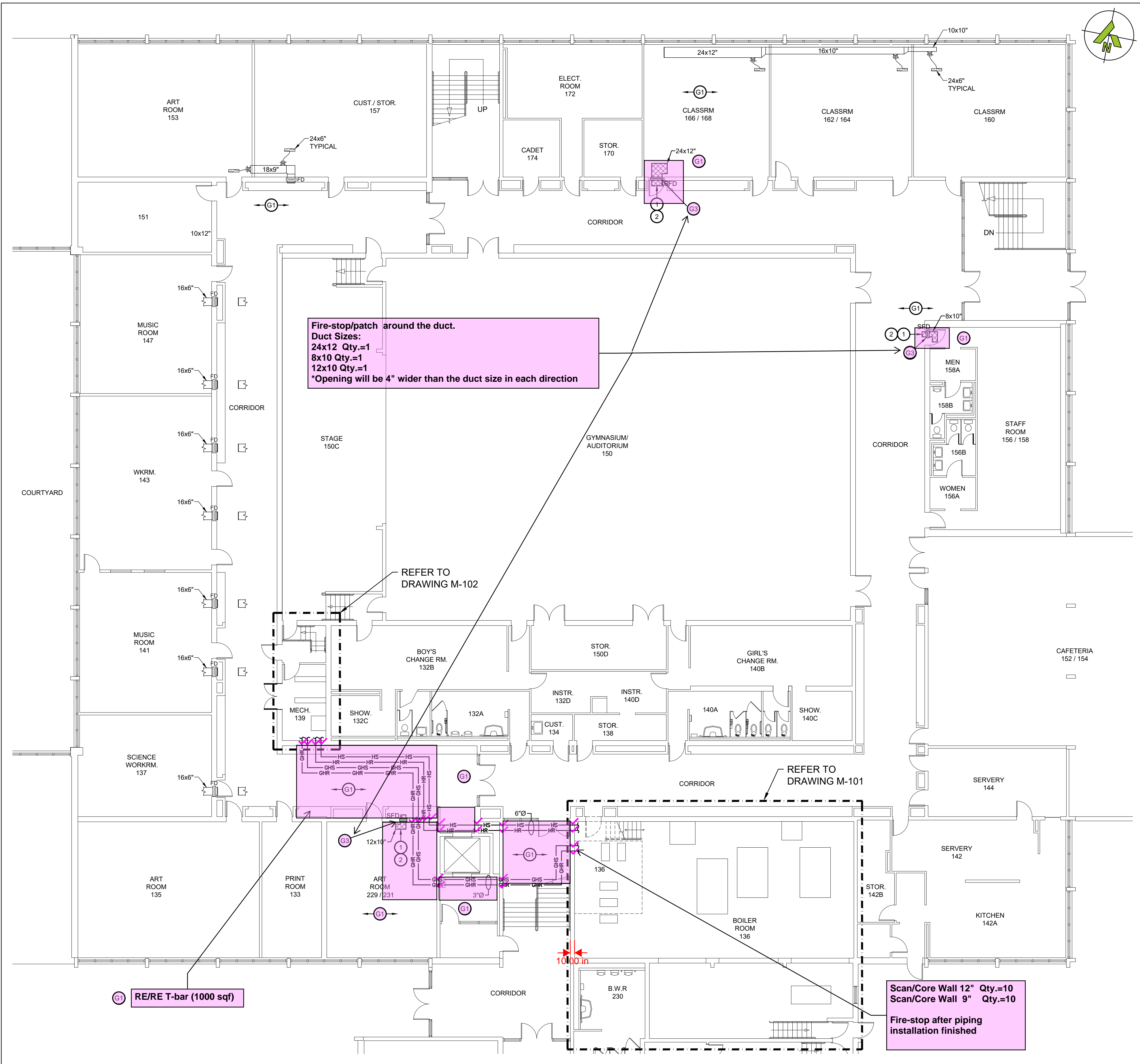
NEW WORKING NOTES - MECHANICAL:

1. PROVIDE NEW ACOUSTICALLY LINED TRANSFER ELBOW. REFER TO DETAIL.
2. PROVIDE NEW COMBINATION SMOKE AND FIRE DAMPER IN NEW WALL PENETRATION. COORDINATE WIRING OF SMOKE DETECTOR WITH ELECTRICAL CONTRACTOR.

NEW WORKING NOTES - GENERAL TRADES:

- G1 REINSTALL T-BAR CEILINGS TO NEAT AND LEVEL CONDITION AS PER EXISTING. PROVIDE NEW GRID AND TILES WHERE GRID WAS REMOVED FOR PIPING INSTALLATION. REUSE OF TILES IS AT THE DISCRETION OF THE DDSB. TILES MUST NOT BE STAINED OR DAMAGED.
- G2 PROVIDE NEW WALL OPENING AND LINTEL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.
- G3 PATCH DRYWALL AROUND NEW COMBINATION SMOKE/FIRE DAMPER TO RESTORE 1 HOUR RESISTANCE RATING.

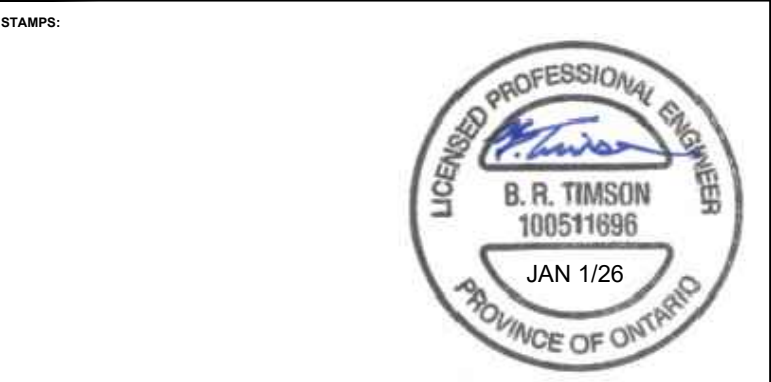
The General Contractor is to provide hoarding and tarps around the construction area and where applicable to prevent the spread of dust to adjacent spaces.



1 PARTIAL LOWER LEVEL - NEW LAYOUT
M-104 SCALE: 3/32"=1'

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No.	Date	Description	By
1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT



ENGINEER:
CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

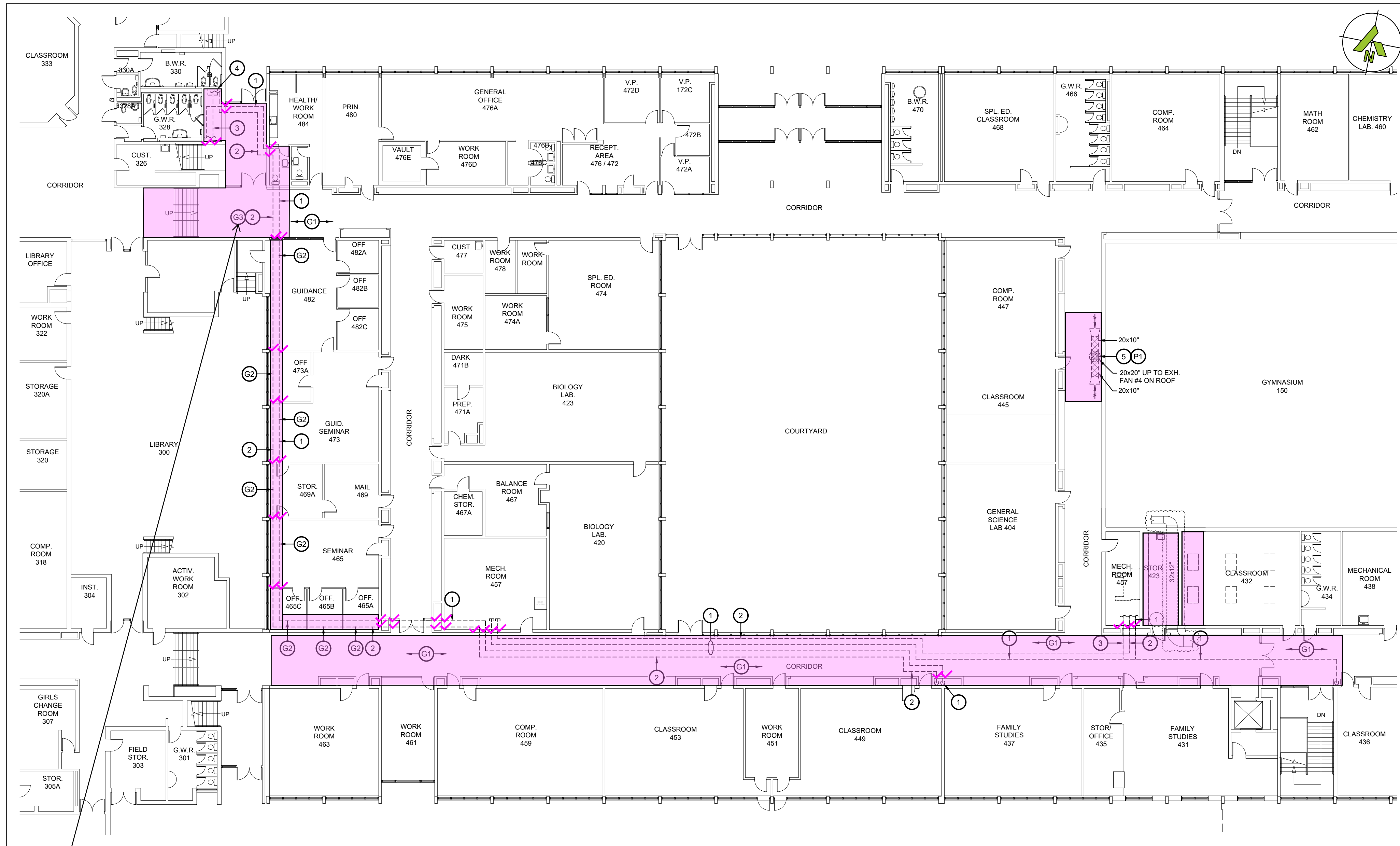


PROJECT NAME:
**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:
**PARTIAL LOWER LEVEL
NEW LAYOUT**

DISCIPLINE:
MECHANICAL

DRAFTER: MRC	SCALE: AS NOTED
DESIGNER: LIZ	DATE: 2025-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: 10 of 16	M-104



1 PARTIAL MAIN LEVEL - DEMOLITION LAYOUT
MD105 SCALE: 1/16"=1'

(P1) REMOVE EXISTING PNEUMATIC CONTROLS AND TUBING FOR EXISTING EXHAUST FAN.

- ⑤1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.
- ⑤2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.
- ⑤3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.

4500 SQ feet

550 SQ feet

12'x5'

Fire Stop (count=35) ✓
12" Qty.=15
3" to 6" Qty.=20

- ① REMOVE EXISTING STEAM PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- ② REMOVE EXISTING PUMPED CONDENSATE PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- ③ REMOVE EXISTING CONDENSATE DRAIN PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- ④ REMOVE EXISTING CONDENSATE PUMP AND RECEIVER TANK C/W ALL ASSOCIATED PIPING, VALVES AND ACCESSORIES.
- ⑤ REMOVE EXISTING EXHAUST FAN ON ROOF C/W ALL DAMPERS, DUCTWORK AND ACCESSORIES. PROVIDE 4" INSULATED CURB CAP ON EXISTING ROOF CURB.

1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BEFORE SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
3. SCAN FLOOR PRIOR TO FLOOR CUTS.
4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
6. TEMPORARILY SEAL ALL OPEN CUTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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1	2026-01-08	Issued for Tender		BRT
0	2026-01-07	Issued for Pre-Tender Review		BRT
No.	Date	Description		By

STAMPS:



ENGINEER:



CLIENT:

PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON**

SHEET TITLE:

PARTIAL MAIN LEVEL DEMOLITION LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

SCALE:
AS NOTED

DESIGNER:

DATE:
2026-01-07

APPROVER:

APPROVER: _____

PROJECT No:

DRAWING No:

SHEET No:

M

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MD105



1. ANY APERTURES IN SLAB OR PAD, REQUIRED BY THE MANUFACTURER, TO BE COORDINATED W/ CONTRACTOR.
2. FOR PLAN DIMENSIONS & LOCATION SEE PLAN.
3. WHERE ANCHOR SLEEVES ARE USED, INCREASE MIN EDGE DISTANCE AS REQUIRED BY MANUFACTURER TO PREVENT INTERRUPTION OF REBAR.

1

0.001 / SCALE: 1/8"=1"

1. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE REMAINDER OF THE CONTRACT DRAWINGS AND DOCUMENTS.
2. DO NOT SCALE DRAWINGS.
3. STRUCTURAL DESIGN IS BASED ON THE LATEST EDITION OF THE NATIONAL AND ONTARIO BUILDING CODES.
4. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
5. SCAN ALL CONCRETE AND MASONRY FOR EMBEDDED UTILITIES PRIOR TO DRILLING OR REMOVALS.
6. PROVIDE TEMPORARY SHORING FOR EXISTING MASONRY WALLS FOR THE INSTALLATION OF NEW LINTELS.

1. MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH:
STRUCTURAL CONCRETE: 30MPa, CLASS N
2. ALL REINFORCING BAR SHALL BE GRADE 400MPa, DEFORMED, CAN/CSA-G30.18.
3. CONCRETE BLOCK SHALL CONFORM TO THE LATEST EDITION OF THE RELEVANT CODES AND STANDARDS AND THE BLOCK STRENGTH SHALL BE 15MPa ON NET AREA.
4. MORTAR SHALL BE TYPE "S" UNLESS NOTED OTHERWISE.
5. CONCRETE FILL IN REINFORCED MASONRY SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 20MPa.
6. STRUCTURAL STEEL TO CONFORM TO CAN/CSA-G40.21, UNO.
W SECTIONS: GRADE 350W
L AND C SECTIONS: GRADE 300W
HSS SECTIONS: GRADE 350 CLASS "H"
7. THE WELDING ELECTRODES SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W48 (LATEST EDITION).
8. STEEL SHALL BE THOROUGHLY CLEANED AND BE GIVEN ONE SHOP COAT OF ANTI-CORROSIVE PRIMER. AREAS AFFECTED BY WEATHERING, OR ANY OTHER DAMAGE SHALL BE THOROUGHLY REMOVED AND BE "TOUCHED UP" IN THE FIELD. STEEL PERMANENTLY EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED ELSEWHERE. GALVANIZING SHALL BE REMOVED LOCALLY PRIOR TO ANY STRUCTURAL FIELD WELDING. SUCH AREAS SHALL RECEIVE 2 COATS OF GALAFROID OR EQUIVALENT UNLESS NOTED OTHERWISE.

1. PAIRS OF LINTEL ANGLES TO BE STITCH WELDED (T&B) @ 600mm c/c.
2. MINIMUM BEARING FOR STEEL ANGLES SHALL BE 150mm, UNO.
3. FOR LINTELS ABUTTING STEEL COLUMNS, CONCRETE WALLS OR OTHER COLUMNS PROVIDE L-90x90x10 FASTENED TO ABUTMENT.
4. ALL ANGLES SHALL BE LLV, UNO.
5. ALL LOOSE ANGLES SHALL BE HOT DIPPED GALVANIZED (UNO).

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1	2026-01-08	Issued for Tender	SY
0	2026-01-07	Issued for Pre-Tender Review	SY
No.	Date	Description	By



ENGINEER:



CLIENT:



PROJECT NAME

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

NOTES AND DETAILS

DISCIPLINE:

STRUCTURAL

DRAWER: MRC	SCALE: N/A
DESIGNER: JS	DATE: 2026-01-07
APPROVER: SY	APPROVER: BRT
PROJECT No: A.0001060	DRAWING No: S-001
SHEET No: 1 of 1	

A. GENERAL

1. READ STRUCTURAL DOCUMENTS IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND OTHER CONTRACT DOCUMENTS.
2. BEFORE PROCEEDING WITH THE WORK, CHECK ALL DIMENSIONS SHOWN ON THE STRUCTURAL DOCUMENTS WITH SITE CONDITIONS AND THOSE SHOWN ON ARCHITECTURAL DOCUMENTS AND REPORT DISCREPANCIES TO THE CONSULTANT. STRUCTURAL DRAWINGS MUST NOT BE SCALED.
3. PROVIDE LABOUR, MATERIALS, PLANT AND EQUIPMENT TO COMPLETE ALL STRUCTURAL WORK INDICATED ON THE CONTRACT DOCUMENTS.
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS REQUIRED FOR SAFETY AND PROTECTION OF NEW CONSTRUCTION, AS WELL AS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK. CARRY OUT CONSTRUCTION OPERATIONS, INCLUDING THE INSTALLATION OF TEMPORARY GUYING AND SHORING REQUIRED, ENSURING THAT THE EXISTING STRUCTURE OR MEMBERS ALREADY ERECTED ARE NOT LOADED IN EXCESS OF THEIR SAFE LOAD CARRYING CAPACITY.

B. GENERAL SCOPE OF WORK

1. IN GENERAL, THIS REPAIR PROGRAM INCLUDES LOCALIZED CONCRETE REPAIR AT THE STEM OF PRECAST DOUBLE-TEE SLAB WITHIN UPPER-LEVEL COMPUTER ROOMS 510, 510A, 512, 514, AND 516A (FROM GRIDLINE CF TO CJ AND GRIDLINE C7 TO C9) LOCATED AT DUNBARTON HIGH SCHOOL, 655 SHEPPARD AVENUE, PICKERING.
2. PROVIDE ALL LABOUR, EQUIPMENT MATERIAL AND SUPERVISION TO PERFORM THE WORK OUTLINED IN THESE DRAWINGS AND SPECIFICATIONS. ENSURE ALL SITE CONDITIONS, AREA RESTRICTIONS, NOISE RESTRICTIONS, HOARDING/PROTECTION REQUIREMENTS, FIRE/EMERGENCY VEHICLE ACCESS REQUIREMENTS, ETC. ARE ACCOUNTED FOR. THE WORK INCLUDES BUT IS NOT LIMITED TO:
- 2.1. INSTALLATION AND MAINTENANCE OF HOARDING, DUST PROTECTION, CONSTRUCTION SIGNAGE, VENTILATION, ETC. AS OUTLINED IN SPECIFICATION SECTION 00 30 00 - GENERAL INSTRUCTIONS.
- 2.2. LOCALIZED CONCRETE REPAIRS AT THE BEARING STEM OF PRECAST DOUBLE-TEE SLABS WITHIN THE WORK AREA, COMPLETE WITH SUPPLY AND INSTALL NEW REINFORCEMENT (E.G. HOOK AND LONGITUDINAL REINFORCEMENT) AND REPAINTING CONCRETE SURFACES TO MATCH EXISTING, AS PER PROJECT SPECIFICATIONS AND DRAWINGS AND AS DIRECTED BY THE CONSULTANT.
- 2.3. REMOVE AND REPLACE EXISTING PARTITION WALLS TO MATCH EXISTING, AND REMOVE AND REINSTATE EXISTING SLIDING FOLDING DOOR AND SCREEN AS REQUIRED TO FACILITATE THE WORK.
- 2.4. REPAIR OF ALL DAMAGES CAUSED BY CONSTRUCTION ACTIVITY TO THE SATISFACTION OF THE CONSULTANT.
- 2.5. FINAL CLEANING OF ALL AREAS OF WORK INCLUDING REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITY AND/OR AL WASTE PRODUCTS. FINAL CLEANING SHALL INCLUDE ANY MATERIAL PRESENT BEFORE CONSTRUCTION ACTIVITY.

C. REFERENCE STANDARDS/CODES AND ACTS

1. DESIGN AND CONSTRUCTION IS TO CONFORM TO THE REQUIREMENTS OF THE CURRENT ONTARIO BUILDING CODE, AND ANY APPLICABLE REQUIREMENTS OR BY-LAWS OF THE AUTHORITY HAVING JURISDICTION. ALL CODES, MANUALS, STANDARDS AND SPECIFICATIONS REFERRED TO SHALL BE THE CURRENT EDITIONS, INCLUDING ALL LATEST REVISIONS, ADDENDA AND SUPPLEMENTS, UNLESS NOTED OTHERWISE IN BUILDING CODE. CONFORM ALSO TO THE FOLLOWING:
- 1.1 CSA A23.1 CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION.
- 1.2 CSA A23.2 METHODS OF TEST FOR CONCRETE.
- 1.3 CSA A23.3 DESIGN OF CONCRETE STRUCTURES.
- 1.4 CSA-S16 DESIGN OF STEEL STRUCTURES.
- 1.5 RSIC REINFORCING STEEL INSTITUTE OF CANADA (RSIC), MANUAL OF STANDARD PRACTICE.
- 1.6 CSA W47.1 CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL STRUCTURES
- 1.7 CSA W59 WELDED STEEL CONSTRUCTION (METAL ARC WELDING)
- 1.8 CSA-A371 MASONRY CONSTRUCTION FOR BUILDINGS.
2. ALL STANDARDS AND PUBLICATIONS REFERENCED BY THE STANDARDS NOTED ABOVE ARE TO APPLY.
3. WHERE THERE ARE DIFFERENCES BETWEEN THE DOCUMENTS AND THE STANDARDS, CODES AND ACTS, THE MOST STRINGENT SHALL GOVERN.

D. QUALIFICATIONS

1. ANY ORGANIZATION UNDERTAKING TO WELD UNDER THIS CONTRACT SHALL BE CERTIFIED BY THE CANADIAN WELDING BUREAU UNDER REQUIREMENTS OF DIVISION 1 OR DIVISION 2 OF CSA W47.1.
2. FOR POST-INSTALLED CONCRETE OR MASONRY ANCHORS, THE CONTRACTOR SHALL ARRANGE FOR A MANUFACTURER'S FIELD REPRESENTATIVE TO PROVIDE INSTALLATION TRAINING FOR ALL PRODUCTS TO BE USED, PRIOR TO COMMENCEMENT OF WORK. ONLY TRAINED INSTALLERS SHALL PERFORM POST INSTALLED ANCHOR INSTALLATION. A RECORD OF TRAINING SHALL BE KEPT ON SITE AND BE MADE AVAILABLE TO THE STRUCTURAL CONSULTANT OR INDEPENDENT INSPECTION AND TESTING COMPANY REPRESENTATIVE AS REQUESTED.
3. ADHESIVE ANCHORS SUPPORTING SUSTAINED TENSION LOADS SHALL BE INSTALLED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER (AAI) AS CERTIFIED THROUGH ACI/CRSI PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF INSTALLATION.

E. SUBMITTALS

1. SHOP DRAWINGS
- 1.1 SUBMIT FOR REVIEW BY THE CONSULTANT COMPLETE SHOP DRAWINGS FOR ALL TEMPORARY AND PERMANENT STRUCTURAL WORK INCLUDING, BUT NOT LIMITED TO: CONCRETE FORMWORK, REINFORCING STEEL, AND TEMPORARY SHORING.

- 1.2 THE SCALE OF THE DRAWINGS SHALL BE SUCH THAT THE DETAILS OF THE STRUCTURAL WORK ARE CLEARLY SHOWN, AND IN NO CASE SMALLER THAN 1:50 (1/4" = 1'0").
- 1.3 DRAWING PREPARED BY STEPHENSON ENGINEERING LTD. SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR USE AS SHOP DRAWINGS, UNLESS AUTHORIZED BY CONSULTANT.
- 1.4 EACH DRAWING SUBMITTED FOR CONCRETE FORMWORK AND TEMPORARY SHORING SHALL BEAR THE SEAL AND SIGNATURE OF A QUALIFIED PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- 1.5 CONTRACTOR SHALL ALLOW FOR A 5 WORKING DAY TURN AROUND TIME FOR CONSULTANT TO REVIEW THE SHOP DRAWINGS.
- 1.6 STRUCTURE ERECTED PRIOR TO SUBMITTAL AND SATISFACTORY REVIEW OF SHOP DRAWINGS WILL BE CONSIDERED DEFICIENT.
- 1.7 REVIEW OF SHOP DRAWINGS BY THE CONSULTANT IS ONLY TO ASSESS THAT THE SUBMITTED SHOP DRAWINGS REFLECT THE INTENT OF THE DESIGN. THIS REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR SEEING THAT THE WORK IS COMPLETE, ACCURATE AND IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

2. CONCRETE MIX DESIGNS

- 2.1 SUBMIT CONCRETE MIX DESIGNS ALONG WITH A BRIEF DESCRIPTION OF WHERE EACH MIX WILL BE USED, FOR REVIEW BY THE CONSULTANT.

3. AS-BUILT DRAWINGS

- 3.1 MARK ON A COMPLETE SET OF REPRODUCIBLE AS-BUILT DRAWINGS ANY CHANGES, ADDITIONS, OR DELETIONS THAT OCCUR DURING CONSTRUCTION AS A RESULT OF THE CONTRACTOR'S WORK, CHANGE OF ORDERS OR FOR ANY OTHER REASON.

F. QUALITY CONTROL

1. GENERAL

- 1.1 IMPLEMENT A SYSTEM OF QUALITY CONTROL TO ENSURE THAT THE MINIMUM STANDARDS SPECIFIED HEREIN ARE ATTAINED.
- 1.2 BRING TO THE ATTENTION OF THE CONSULTANT ANY DEFECTS IN THE WORK OR DEPARTURES FROM THE CONTRACT DOCUMENTS, WHICH MAY OCCUR DURING CONSTRUCTION. THE CONSULTANT WILL DECIDE UPON CORRECTIVE ACTION AND GIVE RECOMMENDATIONS IN WRITING.
- 1.3 EXTRA SITE VISITS OR DESIGN WORK BY THE CONSULTANT THAT RESULT FROM THE CONTRACTOR'S CONSTRUCTION DEFICIENCIES, EXTRA REQUESTS FOR SITE MEETINGS, REVIEW OF EXISTING CONDITIONS, OR COORDINATION ISSUES WILL BE PAID IN FULL BY THE CONTRACTOR TO THE CONSULTANT UNLESS OTHERWISE AGREED UPON IN WRITING PRIOR TO THE CONSULTANT ENGAGING IN THE WORK. PAYMENT WILL BE STANDARDIZED AT THE CONSULTANT'S CURRENT PER DIEM RATE UNLESS OTHERWISE AGREED UPON.
- 1.4 THE CONSULTANT'S GENERAL REVIEW DURING CONSTRUCTION AND INSPECTION AND TESTING BY INDEPENDENT INSPECTION AND TESTING AGENCIES REPORTING TO THE CONSULTANT ARE BOTH UNDERTAKEN TO INFORM THE OWNER/CLIENT OF THE CONTRACTOR'S PERFORMANCE AND SHALL IN NO WAY AUGMENT THE CONTRACTOR'S QUALITY CONTROL OR RELIEVE THE CONTRACTOR OF CONTRACTUAL RESPONSIBILITY.
- 1.5 ANY DESIGN CHANGES / ALTERNATIVES TO THE BASE DESIGN BY CONTRACTOR ARE TO BE PROPOSED FOR THE CONSULTANT'S REVIEW THROUGH A FORMAL P.ENG. STAMPED SUBMITTAL. CREDITS MAY BE APPLICABLE DEPENDING ON THE PROPOSED DESIGN CHANGE.

2. NOTIFICATION

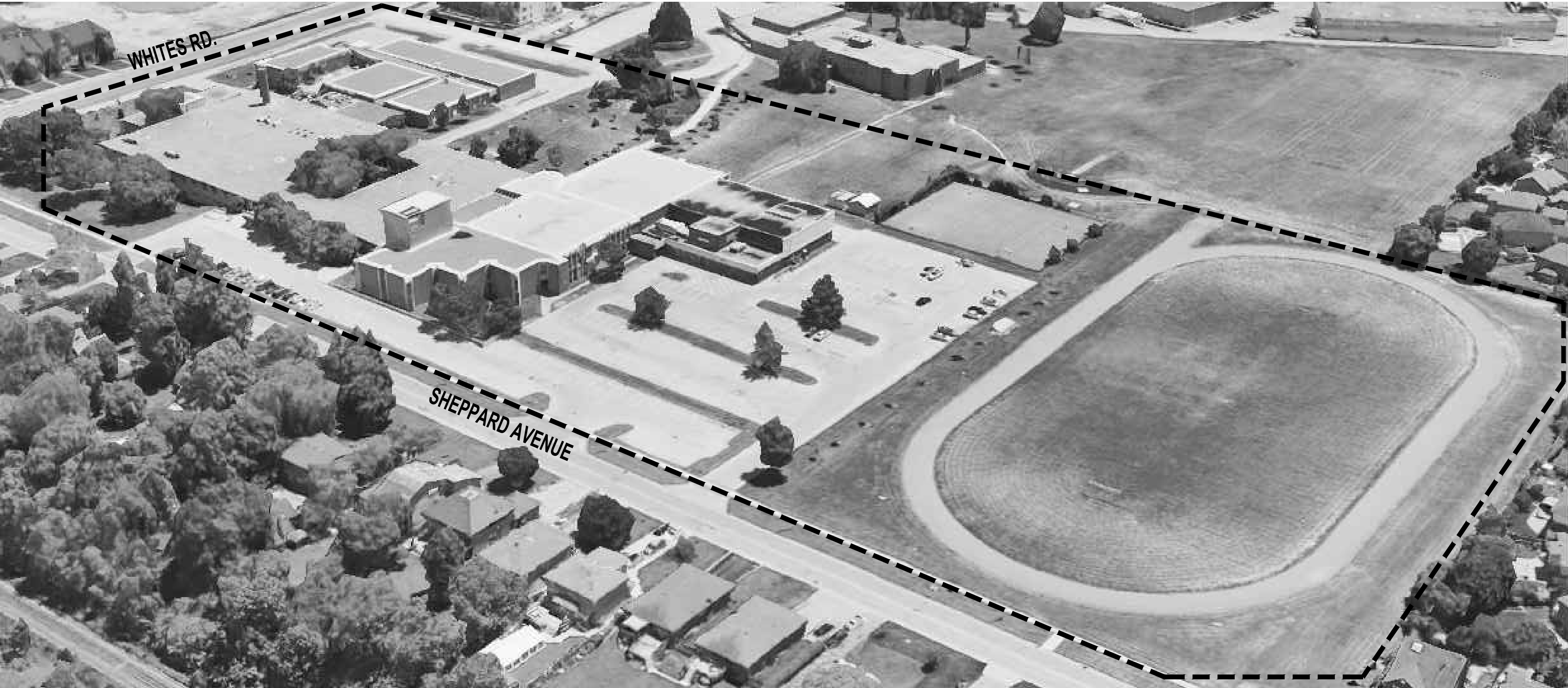
- 2.1 PRIOR TO COMMENCING SIGNIFICANT SEGMENTS OF THE WORK, GIVE THE CONSULTANT AND INDEPENDENT INSPECTION AND TESTING COMPANIES APPROPRIATE NOTIFICATION (MINIMUM 24 HOURS) SO AS TO AFFORD THEM REASONABLE OPPORTUNITY TO REVIEW THE WORK. FAILURE TO MEET THIS REQUIREMENT MAY BE CAUSE FOR THE CONSULTANT TO CLASSIFY THE WORK AS DEFECTIVE.
- 2.1.1 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF CONSTRUCTION PROGRESS SO THE ENGINEER CAN COMPLETE GENERAL REVIEWS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK. GENERALLY, REVIEWS BY THE ENGINEER WILL BE REQUIRED FOR REBAR PRIOR TO CONCRETE PLACEMENT AND WATERPROOFING.
- 2.1.2 THE DRAWINGS REFLECT THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. ONCE FINISHES HAVE BEEN REMOVED, CONTRACTOR IS TO IMMEDIATELY ADVISE THE PROJECT TEAM OF ANY INTERFERENCES WITH EXISTING SERVICES OR DIFFERENCES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE DRAWINGS.

3. INSPECTION AND TESTING

- 3.1 THE CONTRACTOR WILL APPOINT AN INDEPENDENT INSPECTION AND TESTING COMPANY TO MAKE INSPECTIONS OR PERFORM TESTS AS OUTLINED IN THIS DOCUMENT. THE INDEPENDENT INSPECTION AND TESTING COMPANIES SHALL BE RESPONSIBLE ONLY TO THE CONSULTANT AND SHALL MAKE ONLY SUCH INSPECTIONS OR TESTS AS THE CONSULTANT MAY DIRECT.

4. DEFECTIVE MATERIALS AND WORK

- 4.1 WHERE EVIDENCE EXISTS THAT DEFECTIVE WORK HAS OCCURRED OR THAT WORK HAS BEEN CARRIED OUT INCORPORATING DEFECTIVE MATERIALS, THE CONSULTANT MAY HAVE TESTS, INSPECTIONS OR SURVEYS PERFORMED, ANALYTICAL CALCULATIONS OF STRUCTURAL STRENGTH MADE, AND THE LIKE, IN ORDER TO HELP DETERMINE WHETHER THE WORK MUST BE CORRECTED OR REPLACED. TESTS, INSPECTIONS OR SURVEYS OR CALCULATIONS CARRIED OUT UNDER THESE CIRCUMSTANCES WILL BE MADE AT THE CONTRACTOR'S EXPENSE, REGARDLESS OF THEIR RESULTS, WHICH MAY BE SUCH THAT, IN THE CONSULTANT'S OPINION, THE WORK MAY BE ACCEPTABLE.
- 4.2 ALL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, EXCEPT WHERE THIS WOULD, IN THE CONSULTANT'S OPINION, CAUSE UNDUE DELAY OR GIVE RESULTS NOT REPRESENTATIVE OF THE REJECTED MATERIAL IN PLACE. IN THIS CASE, THE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS GIVEN BY THE CONSULTANT.
- 4.3 MATERIALS OR WORK, WHICH FAIL TO MEET SPECIFIED REQUIREMENTS, MAY BE REJECTED BY THE CONSULTANT WHENEVER FOUND AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK REGARDLESS OF PREVIOUS INSPECTION. IF REJECTED, DEFECTIVE MATERIALS OR WORK SHALL BE PROMPTLY REMOVED AND REPLACED OR REPAIRED TO THE SATISFACTION OF THE CONSULTANT, AT NO EXPENSE TO THE OWNER.



DRAWING LIST	
SHEET NO.	SHEET NAME
S0-00	COVER SHEET & GENERAL NOTES
S1-01	SITE PLAN
S2-01	UPPER-LEVEL PRECAST DOUBLE-TEE SLAB RESTORATION PLAN AND DETAILS

ISSUED

No.	Description	Date
1	ISSUED FOR CLIENT REVIEW	JUNE 26, 2025
2	ISSUED FOR TENDER	JAN 16, 2026

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH THE LATEST ISSUE OF ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.



2235 Sheppard Ave. E.
Suite No. 1100
Toronto, ON M2J 5B5
Stephenson Engineering, a company of Salas O'Brien

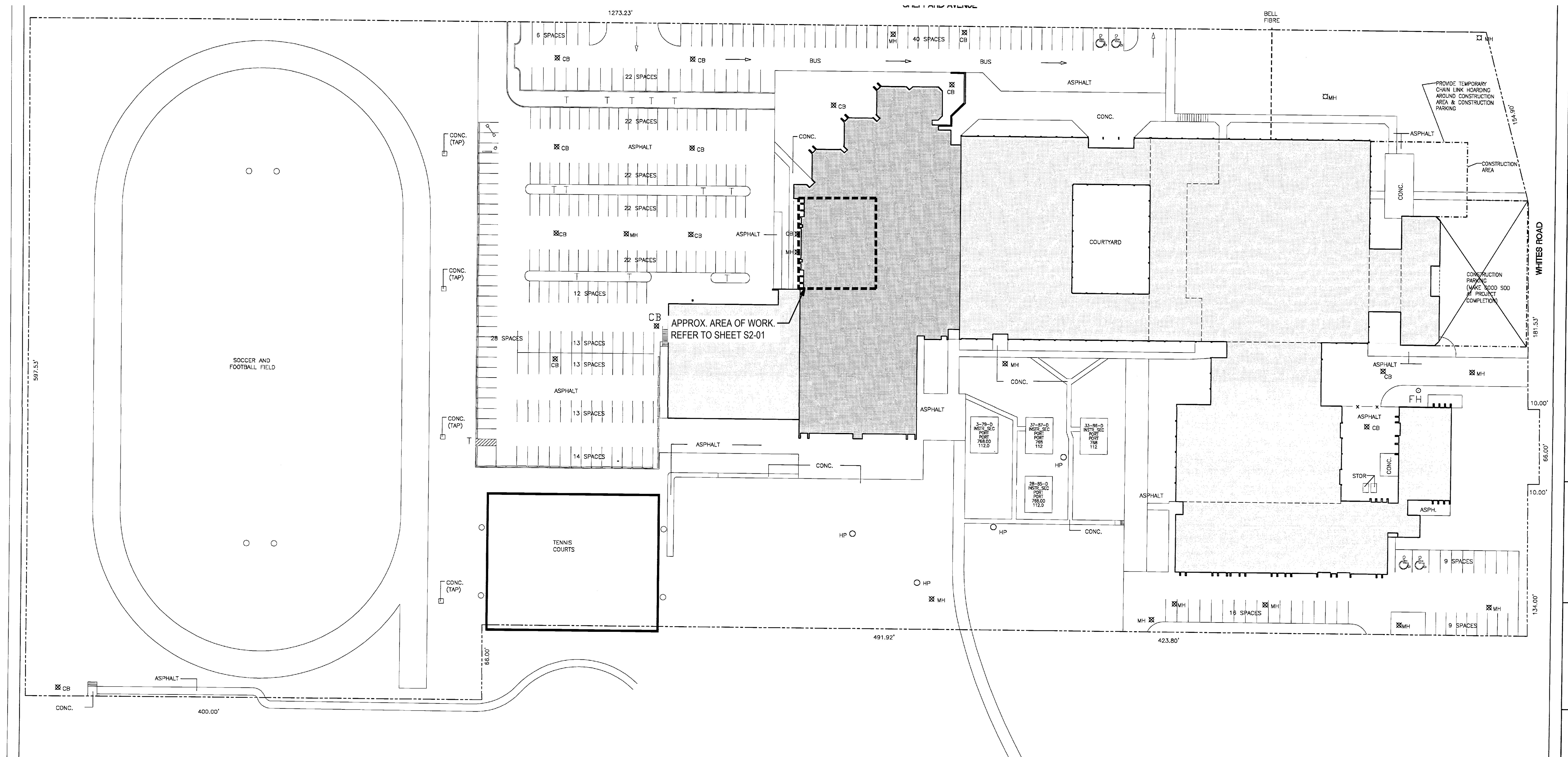
PRECAST DOUBLE-TEE REPAIRS

DUNBARTON HIGH SCHOOL, 655
SHEPPARD AVE, PICKERING, ON L1V 1G2

Drawn by SS Date JUNE, 2025
Checked by DP Scale N.T.S.

Drawing Title
COVER PAGE & GENERAL
NOTES

Project number
2549-01904-00 | S0-00



GENERAL NOTE:

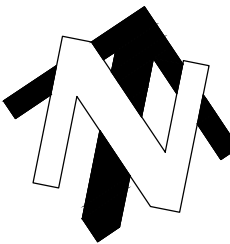
1. SITE PLAN FROM ARCHITECTURAL DRAWING A1-0 "OVERALL SITE PLAN" PREPARED BY KINGSLAND + ARCHITECTS INC DATED MAY 12, 2008 PROVIDED FOR REFERENCE PURPOSES ONLY.

1
S0-01

SITE PLAN
N.T.S.

ISSUED

No.	Description	Date
1	ISSUED FOR CLIENT REVIEW	JUNE 28, 2025
2	ISSUED FOR TENDER	JAN 16, 2026



THE CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH THE LATEST ISSUE OF ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.



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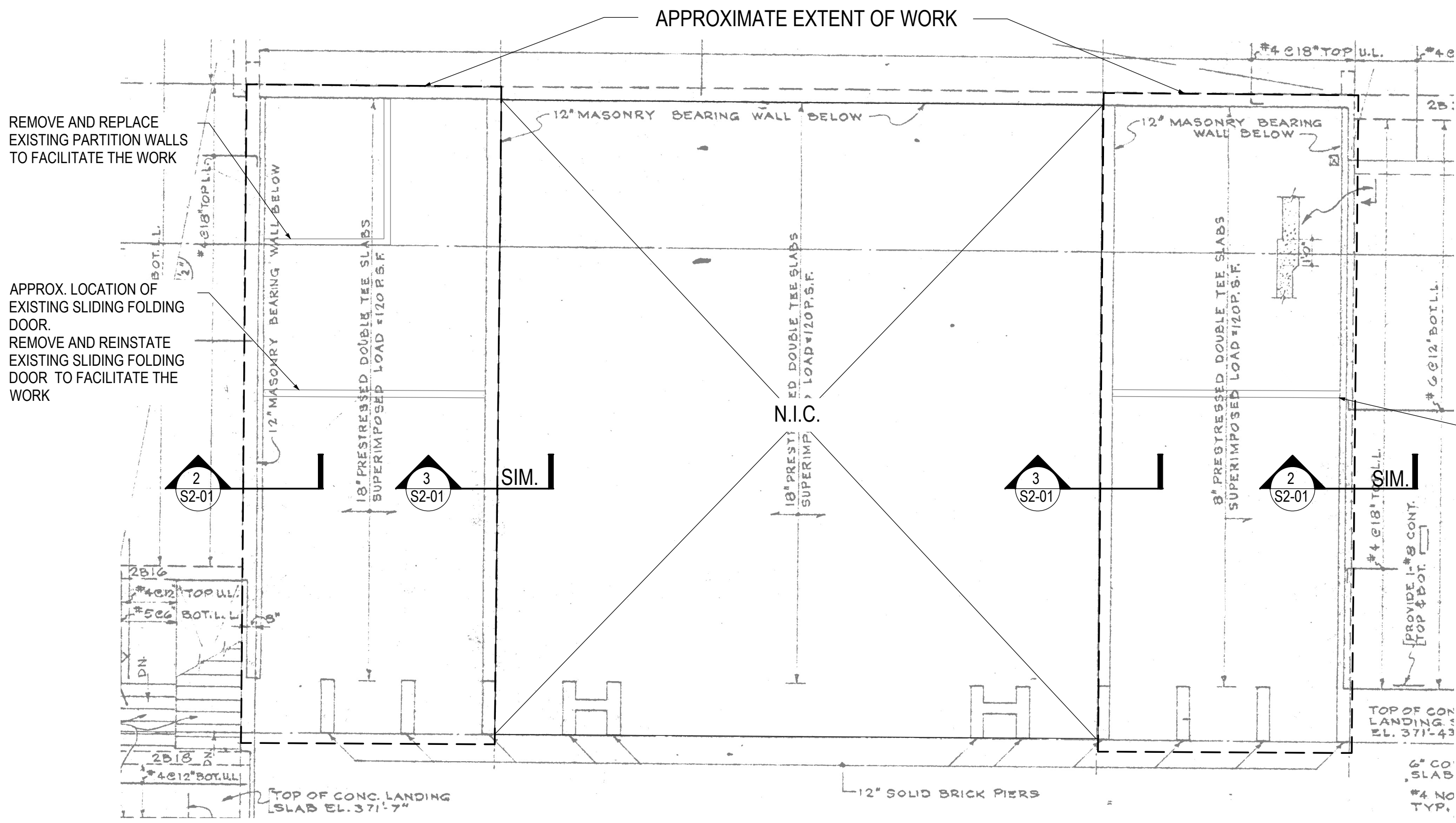
PRECAST DOUBLE-TEE REPAIRS

DUNBARTON HIGH SCHOOL, 655
SHEPPARD AVE, PICKERING, ON L1V 1G2

Drawn by SS Date JUNE, 2025
Checked by DP Scale N.T.S.

Drawing Title

SITE PLAN



RESTORATION SCOPE:

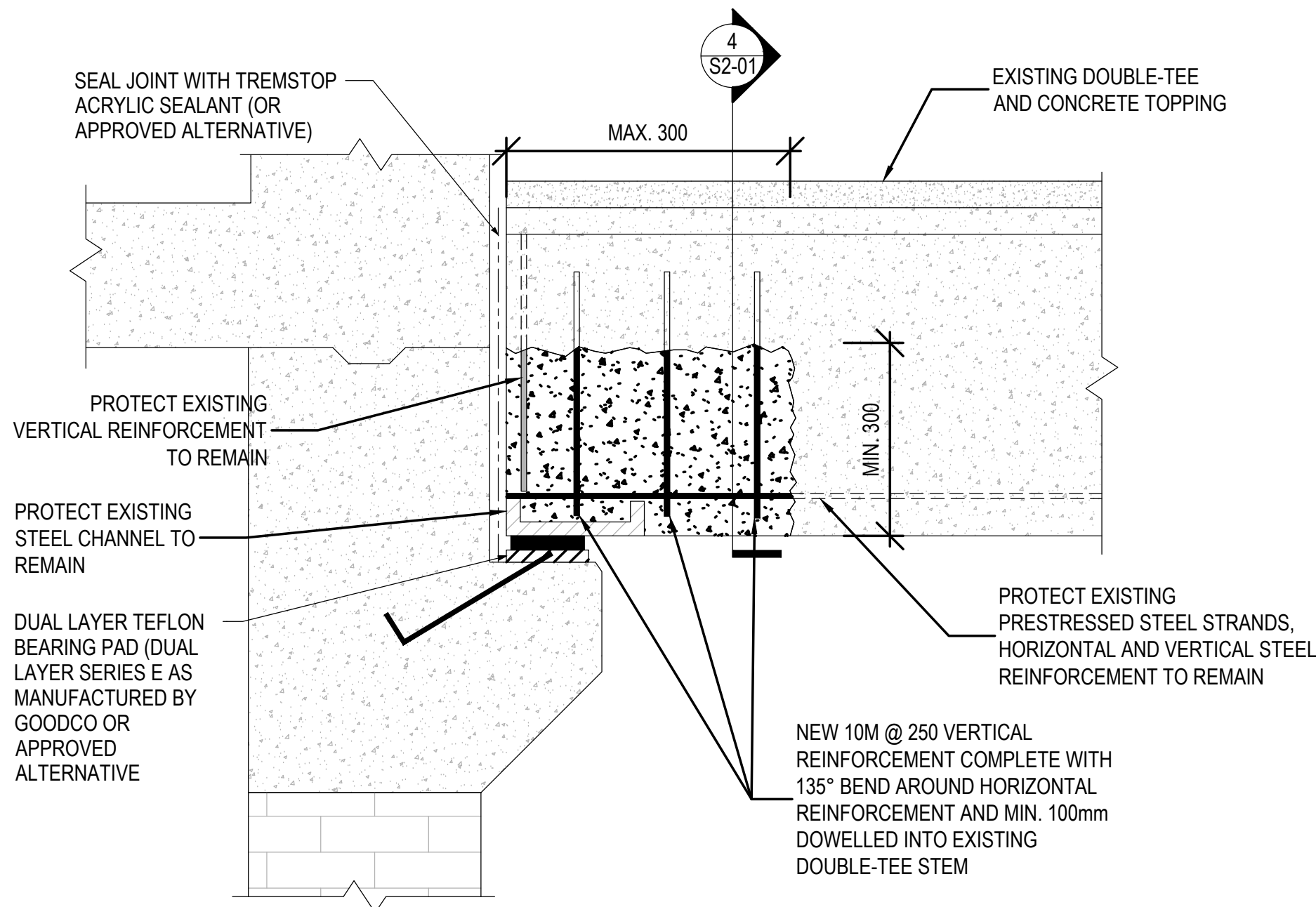
- REMOVAL AND REPLACEMENT OF EXISTING PARTITION WALLS AS WELL AS REMOVAL AND REINSTATEMENT OF EXISTING SLIDING FOLDING DOOR AND SCREEN WITHIN THE WORK AREA TO FACILITATE CONCRETE REPAIRS AT BEARING STEM OF PRECAST DOUBLE-TEE SLAB.
- LOCALIZED CONCRETE REPAIR AT BEARING STEM OF PRECAST DOUBLE-TEE SLAB, COMPLETE WITH SUPPLY AND INSTALL NEW REINFORCEMENT (E.G. HOOK AND LONGITUDINAL REINFORCEMENT) AS PER PROJECT SPECIFICATIONS AND DRAWINGS AND AS DIRECTED BY THE CONSULTANT.
- REPAINT ALL NEW/REPAIRED CONCRETE SURFACES TO MATCH EXISTING AS PER PROJECT SPECIFICATIONS.

APPROX. LOCATION OF EXISTING SLIDING FOLDING SCREEN. REMOVE AND REINSTATE EXISTING SLIDING FOLDING SCREEN TO FACILITATE THE WORK

GENERAL NOTES:

- EXISTING CONDITIONS AS SHOWN ON THE DRAWING ARE BASED UPON INFORMATION AVAILABLE AT THE TIME THAT DRAWING WAS PREPARED AND ARE TO BE VERIFIED BY THE CONTRACTOR ON SITE. ANY VARIATIONS ARE TO BE REPORTED AND INSTRUCTIONS RECEIVED BEFORE PROCEEDING.
- BRING TO THE ATTENTION OF THE CONSULTANT ANY DEFECTS IN THE WORK OR UNFORSEEN DEPARTURES FROM THE CONTRACT DOCUMENTS WHICH MAY OCCUR DURING CONSTRUCTIONS. THE CONSULTANT WILL DECIDE UPON SORRECTIVE ACTION AND GIVE RECOMMENDATIONS IN WRITING.
- NO ADDITIONAL COST WILL BE CONSIDERED AFTER TENDER PERIOD DUE TO CONTRACTORS OMISSIONS.

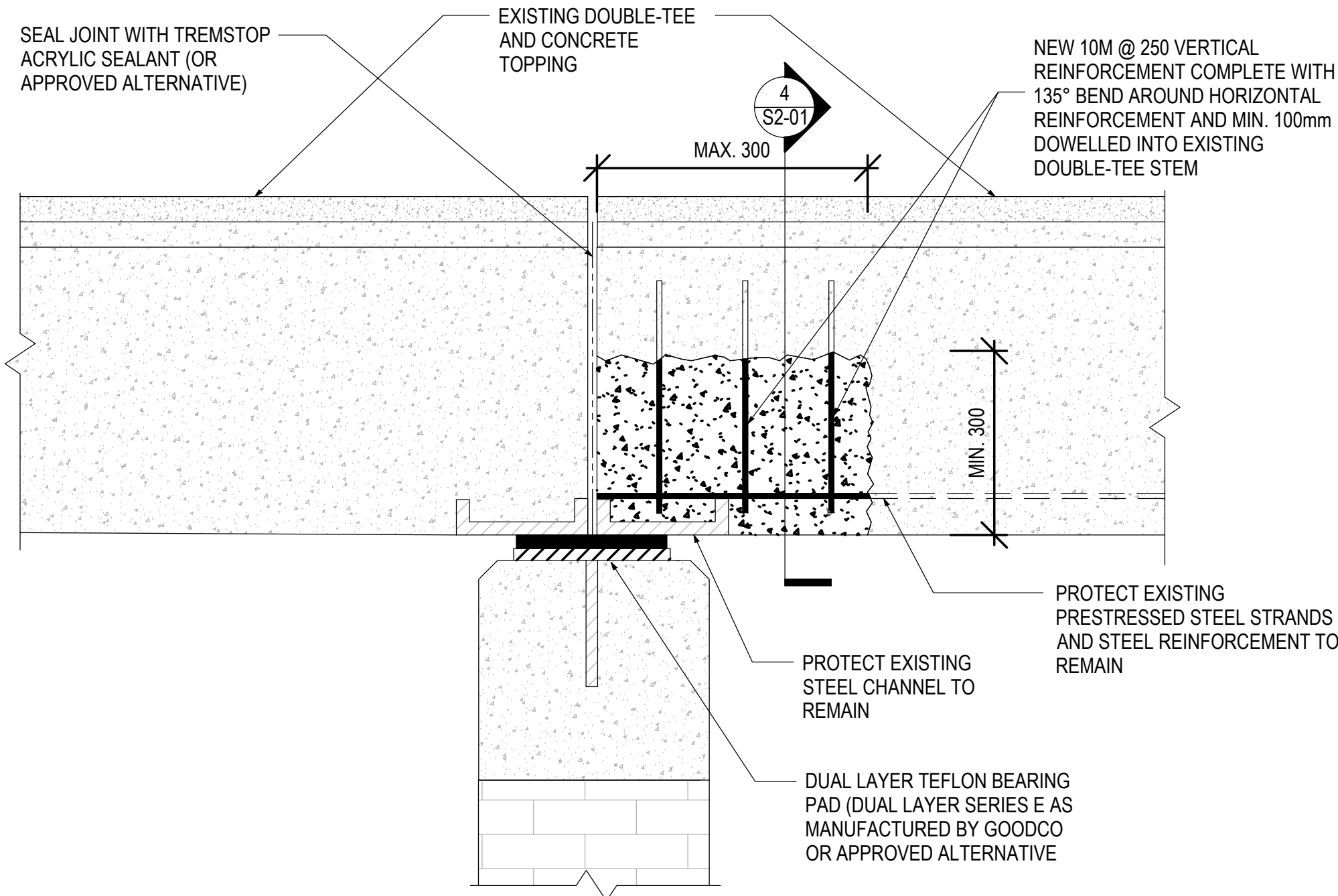
1 UPPER-LEVEL COMPUTER ROOMS PRECAST DOUBLE-TEE RESTORATION PLAN
N.T.S.



2 PRECAST DOUBLE-TEE BEARING STEM REPAIR (PERPENDICULAR TO STEM)
N.T.S.

NOTES:

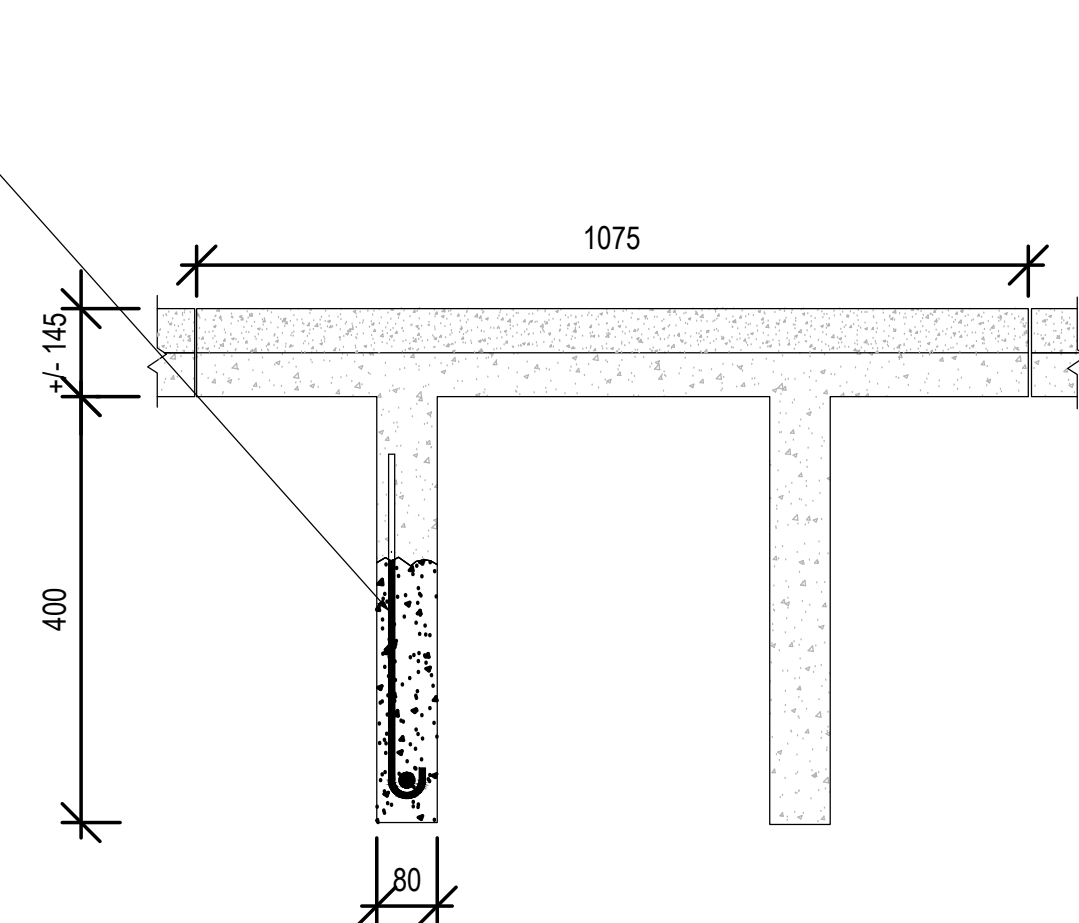
- SUBMIT ENGINEERED STAMP SHORING DESIGN AND PROVIDE TEMPORARY SHORING TO SAFELY SUPPORT SLAB AS PER CONTRACTOR SUBMITTED ENGINEERED SHORING DESIGN. **SHORE ADJACENT DOUBLE TEES AS REQUIRED TO PREVENT DETERIORATION DUE TO VIBRATIONS.**
- PERCUSSIVE CONCRETE REMOVALS TO BE COMPLETED WITH **MAX. 7 kg CHIPPING HAMMERS.**
- SAWCUT SURFACE PERIMETER (MAX. 12mm, DO NOT CUR BARS).
- ABRASSIVELY BLAST PARENT CONCRETE AND EXISTING REINFORCING.
- WET DOWN CONCRETE FOR MIN. 12 HOURS PRIOR TO PLACING CONCRETE.
- COAT PARENT CONCRETE WITH CEMENTITIOUS SLURRY.
- SUPPLY AND PLACE CONCRETE.
- CONTRACTOR SHALL FINISH AND WET CURE NEW CONCRETE MIN. 7-DAYS.



3 PRECAST DOUBLE-TEE BEARING STEM REPAIR (PERPENDICULAR TO STEM)
N.T.S.

NOTE:

- REFER TO NOTES IN 2/S2-01.



4 PRECAST DOUBLE-TEE BEARING STEM REPAIR (PARALLEL TO STEM)
N.T.S.

NOTES:

- REFER TO NOTES IN 2/S2-01.
- EXPOSED STRAND NOT SHOWN FOR CLARITY. MIN 50MM EXPOSED STRAND SHALL BE PROTECTED. REMAINING EXPOSED STRAND MAY BE REMOVED TO FACILITATE NEW REBAR INSTALLATION.

ISSUED

No.	Description	Date
1	ISSUED FOR CLIENT REVIEW	JUNE 26, 2025
2	ISSUED FOR TENDER	JAN 16, 2026

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PRECAST DOUBLE-TEE REPAIRS

DUNBARTON HIGH SCHOOL, 655
SHEPPARD AVE, PICKERING, ON L1V 1G2

Drawing by SS Date JUNE, 2025
Checked by DP Scale N.T.S.

Drawing Title
UPPER-LEVEL PRECAST
DOUBLE-TEE SLAB RESTORATION
PLAN AND DETAILS

Project number 2549-01904-00 | S2-01