

Dunbarton High School  
Project Name: Steam Decommissioning – Phase 1  
Site Address: 655 Sheppard Ave, Pickering, ON L1V 1G2

T25-62  
Issued For: Bid  
Date: January 8, 2026

## **15.0 DRAWINGS**

**HVAC NOTES:**

- CONCEAL ALL SERVICES IN CEILING SPACES AND FURRED CONSTRUCTION UNLESS INSTALLED IN UNFINISHED OR EXPOSED AREAS OR IF SPECIFICALLY NOTED TO BE EXPOSED.
- COORDINATE INSTALLATION WITH ALL OTHER TRADES.
- PROVIDE 4" FLEXIBLE CONNECTIONS AT ALL DUCT CONNECTIONS TO AIR HANDLING EQUIPMENT.
- PROVIDE ACOUSTIC INSULATION IN FIRST 5' (1.5m) OF SUPPLY AND RETURN DUCTS OFF AIR HANDLING UNITS, ALL TRANSFER DUCTS AND AS INDICATED ON DRAWINGS. SEAL ALL EXPOSED ENDS OF INSULATION.
- PROVIDE TURNING VANES IN ALL SQUARE ELBOWS AND SHORT RADIUS ELBOWS FOR SUPPLY AIR DUCTS.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.
- SEAL ALL JOINTS ON ALL SUPPLY & RETURN AIR DUCTS WITH DURODYNE DUCT SEALER IN CONFORMANCE TO CLASS 'C' ASHRAE 90.1 AND SMACNA STANDARDS. USE CLEAR DUCT SEALER OR SEAL BEHIND JOINTS FOR ALL EXPOSED DUCTWORK.
- BRANCH DUCTWORK TO DIFFUSERS TO BE SAME SIZE AS DIFFUSER NECK.
- PROVIDE BALANCE DAMPERS ON ALL BRANCH DUCTS CLOSE TO MAIN TAKE-OFF. REVIEW WITH BALANCING CONTRACTOR TO CONFIRM LOCATIONS OF ALL BALANCE DAMPERS PRIOR TO CONSTRUCTION.
- INCLUDE FOR THE SUPPLY AND INSTALLATION OF TWO(2) EXTRA BALANCE DAMPERS AFTER CONSTRUCTION AND BALANCING COMPLETION. (PENDING BALANCING RESULTS AND COMMENTS).
- FLEXIBLE DUCT SHALL ONLY BE USED IN SUPPLY AIR APPLICATIONS FOR CONNECTIONS TO DIFFUSERS IN DROPPED CEILINGS. FLEXIBLE DUCT SHALL BE MAXIMUM 6' (1.8m) IN LENGTH AND SHALL BE SECURELY FASTENED TO DUCTS AND DIFFUSERS. PROVIDE HANGERS AND FLEXIBLE DUCTWORK WITHOUT SHARP 90°, SAGGING, OR CRUSHING OF DUCT. FLEXIBLE DUCT IS NOT ACCEPTABLE IN ANY OTHER APPLICATION.
- PROVIDE EXTERNAL INSULATION ON ALL SUPPLY AIR DUCTS, ALL OUTSIDE AIR DUCTS AND ON ALL EXHAUST DUCTS WITHIN 8' (2.4m) OF OUTSIDE WALL/ROOF INCLUDING RIGID AND FLEXIBLE DUCT.
- CONFIRM EXACT LOCATIONS OF SENSORS WITH ENGINEER AND OWNER. MOUNT SENSORS AT 59" (1500mm) AFF. ENSURE THAT SENSOR LOCATIONS WILL NOT BE AFFECTED BY DIRECT SUNLIGHT, COLD WALLS OR MILKWORK.
- ALL INDOOR CONTROL WIRING SHALL BE RUN IN EMT CONDUIT OR FTG EMT SHALL BE USED IN EXPOSED AREAS). LAST 3' SHALL BE BX WHEN USING CONDUIT. ALL OUTDOOR CONTROL WIRING SHALL BE RUN IN LIQUIDTIGHT. ALL CONTROL WIRING SHALL RUN PARALLEL TO BUILDING LINES AND TIGHT TO ROOF DECK OR WALLS. ALL CONTROL WIRING PASSING THROUGH WALLS SHALL BE RUN IN EMT CONDUIT C/W BUSHINGS AT EACH END.
- PROVIDE FIRE DAMPERS OR COMBINATION SMOKE & FIRE DAMPERS AT ALL FIRE SEPARATIONS. FIRE DAMPERS SHALL BE TYPE 'C/W' LINKAGE OUT OF THE AIR STREAM. FIRE DAMPERS SHALL BE TESTED FOR THE SEPARATION CROSS. INSTALLATION MUST CONFORM TO LATEST NFPA/CSA 90 SPECIFICATIONS. ONLY USE UL APPROVED EQUIPMENT. PROVIDE DUCT ACCESS DOORS AND BREAK AWAY FLANGES FOR ALL FIRE DAMPERS IN CONFORMANCE WITH CODE AND INSTALLATION INSTRUCTIONS. ACCESS DOORS SHALL BE TWIST LOCK TYPE - SCREWED PANELS ARE NOT ACCEPTABLE.
- PROVIDE SLEEVES FOR PIPES THROUGH ALL NEW BLOCK WALLS. FILL VOIDS AROUND PIPE. ENSURE NO CONTACT BETWEEN DISSIMILAR METALS.
- PROVIDE DRYWALL ACCESS DOORS FOR CONCEALED FIRE AND BALANCE DAMPERS AND ANY OTHER CONCEALED DEVICES (AND TURN OVER TO THE GENERAL CONTRACTOR FOR INSTALLATION). DOORS TO BE GALVANIZED STEEL FOR FIELD PAINTING. DOORS SHALL BE RATED WHERE INSTALLED IN FIRE SEPARATIONS.
- DRAIN HEATING SYSTEMS AS REQUIRED FOR NEW WORK. FILL, FLUSH, TEST AND TREAT (CHEMICAL TREATMENT) AFTER WORK IS COMPLETE. PROVIDE ALL PORTS, VALVES AND GAUGES AS REQUIRED. SUBMIT CHEMICAL TREATMENT REPORT TO ENGINEER. FREEZING OF PIPING TO ALLOW ISOLATION OF WORK AREA IS ACCEPTABLE IN LIEU OF DRAINING.
- ALL CBVs SHALL BE MOUNTED WITH PORTS IN HORIZONTAL (90°) POSITION.
- PROVIDE EXTERNAL INSULATION ON ALL HEATING PIPING EXCEPT IN WALL/FLOOR ENCLOSURES.
- PROVIDE FIRE STOPPING AROUND ALL NEW PIPING THROUGH FIRE SEPARATIONS IN ACCORDANCE WITH CANULC-S15.
- LABEL ALL EXISTING AND NEW HEATING PIPING IN AREAS OF WORK COMPLETE WITH FLOW ARROWS. LABELS SHALL BE MAX 3m(10') SPACING AND ON EITHER SIDE OF WALLS. LABELING MUST BE COMPLETE PRIOR TO NEW CEILING BEING INSTALLED OTHERWISE IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE CEILING TILES FOR INSPECTION AT THE DIRECTION OF THE CONSULTANT.
- LABEL CEILING TILE WITH PERMANENT ADHESIVE LABELS OR LAMACOID NAMEPLATES FOR ACCESS TO MECHANICAL ITEMS.
- OBTAINTHE SERVICES OF A NADCA QUALIFIED CONTRACTOR FOR DUCT CLEANING.
- OBTAINTHE SERVICES OF A NEBB, CAABC OR NBCA ACCREDITED BALANCING COMPANY TO BALANCE THE COMPLETE HVAC SYSTEM. PROVIDE REPORT TO ENGINEER FOR REVIEW. REFER TO SPECIFICATIONS FOR APPROVED AGENTS.
- PROVIDE TESTING AND STARTUP OF ALL NEW EQUIPMENT AND PROVIDE REPORTS TO THE ENGINEER FOR REVIEW.

**GENERAL NOTES:**

- WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
  - ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
  - ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS. (SIDE NOTE: IN SOME CASES THE CONTRACTOR MAY GET PRE-APPROVAL IF WORK IS CONFINED TO SEPARATED AREA SUCH AS MECHANICAL ROOM WITH NEGATIVE PRESSURE FAN, BUT GENERALLY NOT ALLOWED IN SCHOOLS SO WELDING MUST BE DONE DURING SUMMER.)
- OBTAIN, ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AND NOTICE OF PROJECT.
- THE CONTRACTOR AND ITS SUB-TRADES SHALL ATTEND BI-WEEKLY SITE MEETINGS OR AS ARRANGED BY CONSULTANT OR OWNER.
- OBTAINTHE DESIGNATED SUBSTANCE REPORT FROM THE CLIENT AND COORDINATE ANY DESIGNATED SUBSTANCE ISSUES WITH THE CLIENT PRIOR TO ANY WORK BEING DONE.
- PROVIDE SHOP DRAWINGS ELECTRONICALLY IN PDF FORMAT TO CONSULTANT FOR REVIEW. ALL SHOP DRAWINGS MUST BE REVIEWED, STAMPED AND SIGNED BY THE MECHANICAL CONTRACTOR PRIOR TO SUBMITTING TO THE CONSULTANT. REVIEW SHALL INCLUDE BUT NOT BE LIMITED TO: VERIFYING UNIT VOLTAGE WITH ELECTRICIAN AND/OR SITE, EQUIPMENT PERFORMANCE, DIMENSIONS AND CLEARANCES.
- THOROUGHLY REVIEW AND COORDINATE WITH SITE CONDITIONS AND COMPLETE DRAWING SET PRIOR TO PRICING AND INSTALLATION.
- INSTALL ALL WORK IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- DO NOT USE ANY NEW PERMANENT EQUIPMENT FOR TEMPORARY USE DURING CONSTRUCTION WITHOUT WRITTEN APPROVAL. WHERE SYSTEMS ARE USED AND ARE CONTAMINATED BY DUST OR DIRT, THE CONTRACTOR SHALL CLEAN IN A MANNER ACCEPTABLE TO THE CONSULTANT.
- MAINTAIN AS-BUILT DRAWINGS ON AN ON-GOING BASIS. DRAWINGS SHALL BE AVAILABLE FOR PERIODIC REVIEW BY THE CONSULTANT DURING CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES.
- REMOVE ALL REDUNDANT EQUIPMENT, MATERIALS AND GARBAGE FROM SITE AND DISPOSE OF IN AN APPROVED MANNER. REDUNDANT EQUIPMENT AND MATERIALS SHALL NOT BE ABANDONED IN PLACE.
- ALL CUTTING, CORING AND PATCHING SHALL BE BY THIS CONTRACTOR.
- OBTAINTHE SERVICES OF A QUALIFIED ROOFING CONTRACTOR FOR ALL ROOFING WORK. PROVIDE PITCH POCKETS FOR ALL SERVICES THROUGH ROOF UNLESS SERVICES CAN BE FED THROUGH BASE OF EQUIPMENT.
- MAINTAIN REQUIRED ACCESS AND CLEARANCE TO ALL EQUIPMENT AND SYSTEMS AS REQUIRED BY CODE AND AS PER MANUFACTURER'S REQUIREMENTS.
- TAG ALL EQUIPMENT WITH LAMACOID NAMEPLATES. TAG ALL VALVES WITH LAMACOID NAMEPLATES OR BRASS TAGS ON CHAINS.
- LABEL ALL NEW PIPING WITH SERVICE AND FLOW ARROWS EVERY 10'(3m) AND ON EITHER SIDE OF WALLS.
- THE CONTRACTOR SHALL ARRANGE FOR INSPECTIONS BY THE ENGINEER PRIOR TO CEILINGS AND WALLS BEING CLOSED IN. WHERE THIS HAS NOT BEEN ARRANGED IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE CEILING TILES OR ACCESS DOORS FOR INSPECTION AT THE DIRECTION OF THE CONSULTANT.
- PERFORM TESTING AND START UP OF ALL SYSTEMS AS REQUIRED BY CODE, THE CONSULTANT/MANUFACTURER'S REQUIREMENTS, AND AUTHORITIES HAVING JURISDICTION. SUBMIT REPORTS TO THE CONSULTANT.
- INSTRUCT AND DEMONSTRATE TO THE OWNER ON PROPER OPERATION OF THE SYSTEM. RECORD AND SUBMIT A LOG DATED AND SIGNED BY ALL ATTENDEES.
- UPON COMPLETION OF THE PROJECT THE CONSULTANT WILL DO A FINAL REVIEW. UPON RECEIVING THE FINAL INSPECTION REPORT, THE CONTRACTOR MUST CORRECT AND SIGN BACK THE INSPECTION REPORT INDICATING ALL DEFICIENCIES ARE COMPLETED. A RE-INSPECTION WILL ONLY BE DONE ONCE THE CONSULTANT RECEIVES THIS IN WRITING. WHERE THE CONSULTANT PERFORMS THE RE-INSPECTION THE WORK AND COSTS ARE TO BE BILLED TO THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR THE FIELD REVIEW. THE FEE FOR ADDITIONAL REVIEWS WILL BE AT THE CONSULTANT'S HOURLY RATES PLUS MILEAGE AND APPLICABLE TAXES TO BE PAID DIRECTLY TO THE CONSULTANT PRIOR TO PERFORMING THE NEXT FIELD REVIEW.
- PROVIDE ONE (1) YEAR WARRANTY ON ALL MATERIAL AND LABOUR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- PROGRESS DRAWS SHALL INCLUDE MINIMUM \$2,500.00 FOR MANUALS AND AS-BUILT DRAWINGS. TOTAL AMOUNT SHALL REMAIN UNBILLED UNTIL MANUALS AND AS-BUILT DRAWINGS HAVE BEEN SUBMITTED AND APPROVED.
- PROVIDE TWO(2) HARD COPIES OF MAINTENANCE MANUALS IN A 3-RING BINDER LABELED ON SPINE AND FRONT AND ONE(1) ELECTRONIC COPY ON USB. MANUAL SHALL INCLUDE:
  - TABLE OF CONTENTS
  - CONTRACTOR INFORMATION
  - WARRANTY LETTER
  - SHOP DRAWINGS
  - Q&Ms
  - INSPECTION & TEST REPORTS
  - AS-BUILT DRAWINGS
 AS-BUILT DRAWINGS SHALL INCLUDE COMPLETE MECHANICAL DRAWING SET WITH ANY CHANGES MARKED CLEARLY AND APPROPRIATELY. AS-BUILTS SHALL BE SUBMITTED IN PDF BY THE CONTRACTOR. (ALL DRAWINGS). DRAWINGS SHALL BE SUBMITTED HARD COPY IN FULL SIZE. SUBSTANTIAL COMPLETION WILL NOT BE AWARDED UNTIL THE MANUALS AND AS-BUILTS HAVE BEEN SUBMITTED TO THE CONSULTANT AND THE CONSULTANT HAS APPROVED.
- REFER TO SPECIFICATIONS.

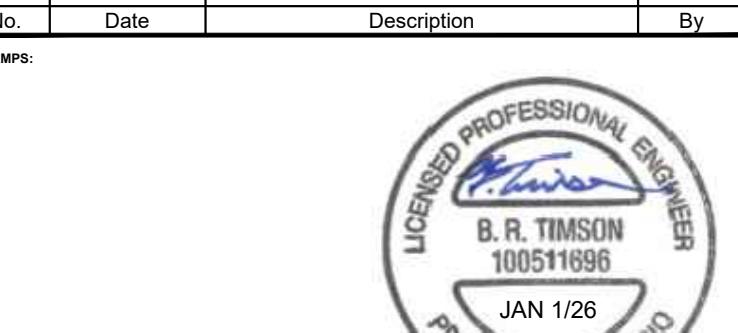
**PIPING**

_____	NEW
_____	EXISTING
-----	DEMOLITION
HS HS	HOT WATER HEATING SUPPLY (HS)
HR HR	HOT WATER HEATING RETURN (HR)
GHS GHS	GLYCOL HEATING SUPPLY (GHS)
GHR GHR	GLYCOL HEATING RETURN (GHR)
SS SS	STEAM SUPPLY LINE
CR CR	CONDENSATE RETURN LINE
D D	CONDENSATE DRAIN LINE
.....	MECHANICAL PIPING
AS AS	DEMO ABOVEGROUND SANITARY
.....	DOMESTIC COLD WATER (DCW)
.....	DOMESTIC HOT WATER (DHW)
AS AS	ABOVEGROUND SANITARY LINE
S S	UNDERGROUND SANITARY LINE
FD FFD	FLOOR DRAIN / FUNNEL FLOOR DRAIN
EH	EYE WASH STATION - WALL MOUNT
P	PUMP
VFD	PUMP VFD
—o	ELBOW RISING
—o	ELBOW DROPPING
—o	BRANCH RISING FROM TEE
—o	BRANCH DROPPING FROM TEE
IDI	BALL SHUT-OFF VALVE
DI	GATE SHUT-OFF VALVE
BI	BUTTERFLY VALVE
IN	CHECK VALVE
GI	GLOBE VALVE
2W	BAS 2-WAY CONTROL VALVE
3W	BAS 3-WAY CONTROL VALVE
CV	CIRCUIT BALANCING VALVE (CBV)
SV	SAFETY RELIEF VALVE (SRV)
PRV	PRESSURE REDUCING VALVE (PRV)
CI	CONCENTRIC REDUCER
ST	STRAINER
ST	STEAM TRAP
UN	UNION
FL	FLANGE
FL	FLEXIBLE CONNECTION
AV	AUTOMATIC AIR VENT C/W 1/4" BALL VALVE AND NIPPLE/COUPLING (MINI BALL VALVES NOT ACCEPTABLE)
PT	PIPE TEMPERATURE SENSOR C/W WELL
DT	DUCT TEMPERATURE SENSOR
PG	PRESSURE GAUGE C/W BALL VALVE (MINI BALL VALVES NOT ACCEPTABLE)
DT	DIGITAL THERMOMETER

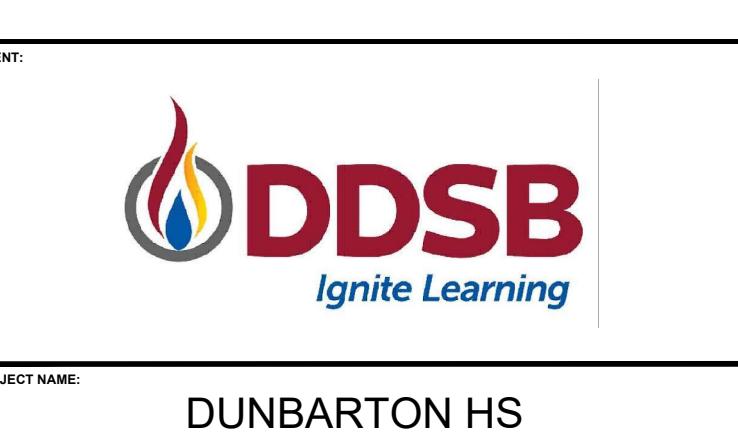
**HVAC LEGEND**

_____	NEW
_____	EXISTING
-----	DEMOLITION
	SUPPLY DUCTS (UP / DOWN)
	RETURN DUCTS (UP / DOWN)
	EXHAUST DUCTS (UP / DOWN)
	ROUND DUCTS (UP / DOWN)
	FLEXIBLE DUCT
	ACOUSTIC LINED DUCT
	FLEXIBLE DUCT CONNECTION
	TURNING VANES
	BALANCE DAMPER
	FIRE DAMPER
	COMBINATION SMOKE AND FIRE DAMPER
	SPLITTER DAMPER
	RETURN/EXHAUST CEILING GRILLE
	CONTROL/SENSING WIRING
	PNEUMATIC THERMOSTAT
	BAS SPACE SENSOR
	EQUIPMENT SYMBOLS — TYPE OF EQUIPMENT NUMBER DESIGNATION
	GRILLE — TYPE SIZE (in) SYMBOLS — SIZE (in) AIR FLOW (cfm)

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1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT
No.	Date	Description	By



PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

CLIENT:

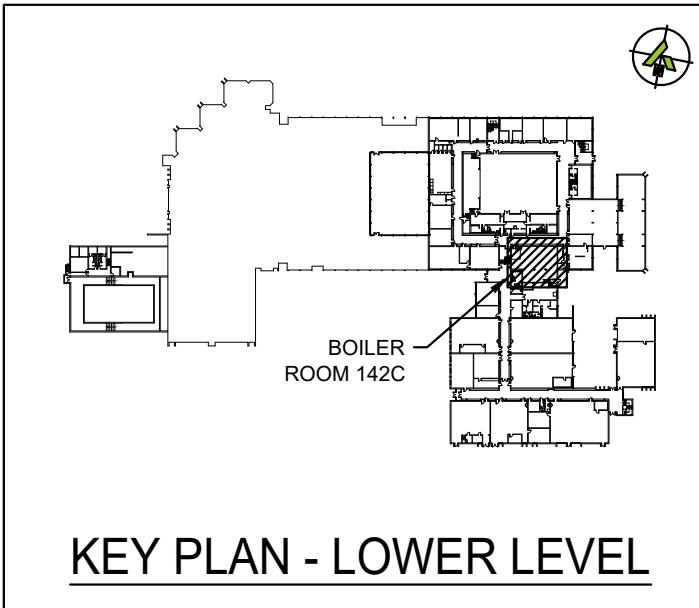
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SHEET TITLE:

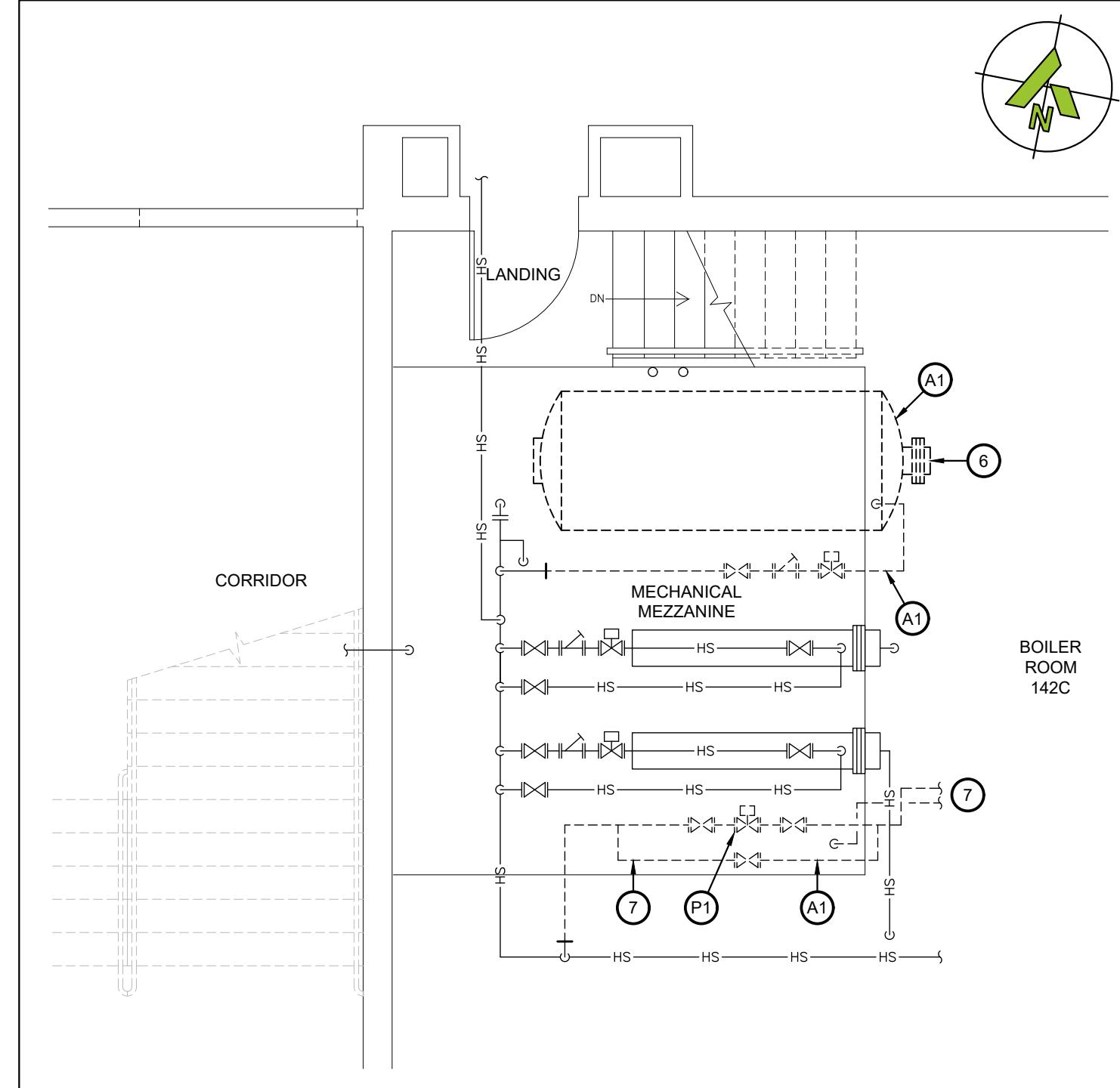
LEGENDS AND NOTES

DISCIPLINE: MECHANICAL

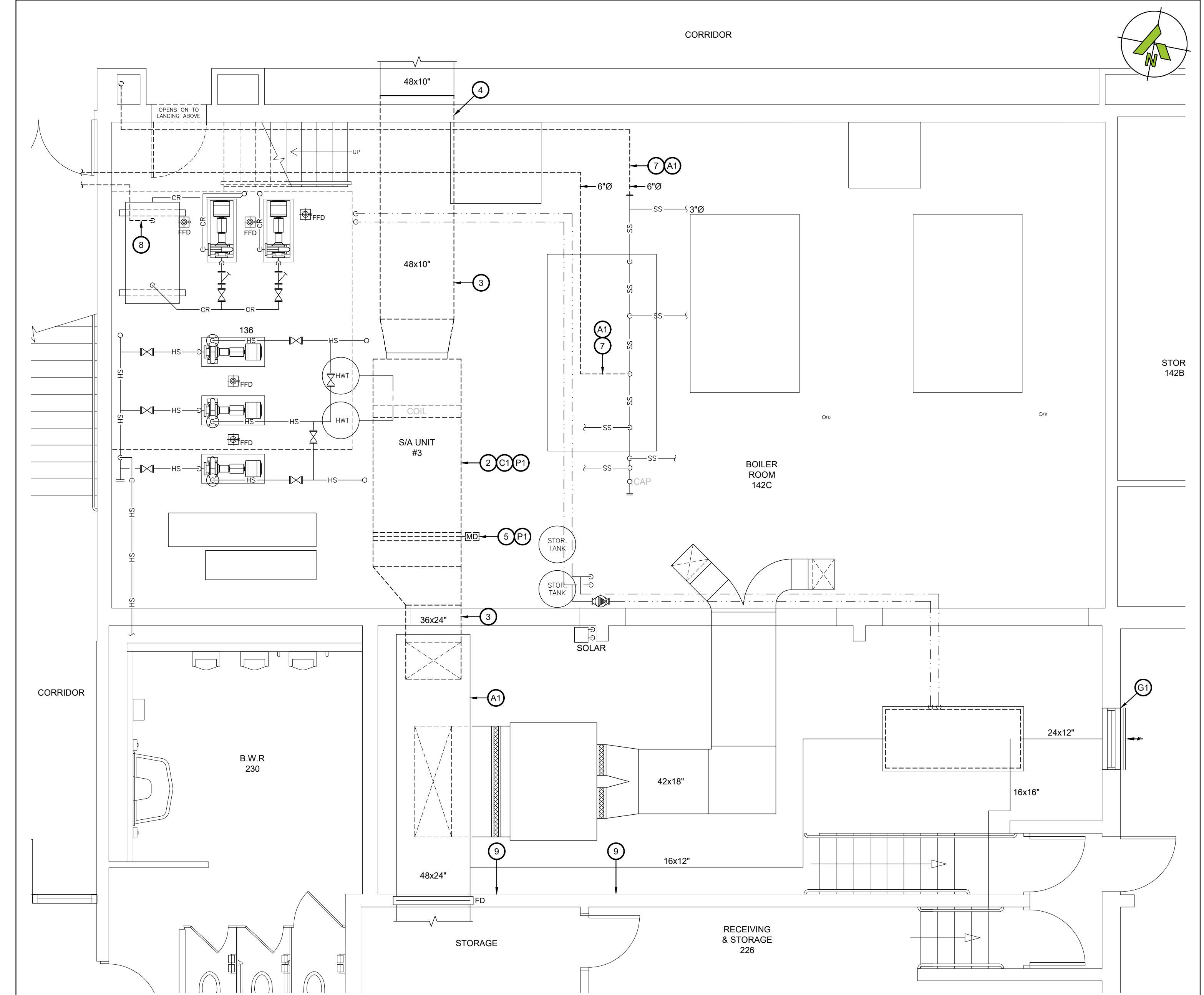
DRAFTER: MRC	SCALE: NTS
DESIGNER: UZ	DATE: 2026-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: 1 of 16	M-001



KEY PLAN - LOWER LEVEL

1 BOILER ROOM 142C - MEZZANINE - DEMO LAYOUT  
MD101

SCALE: 1/4"=1'

2 BOILER ROOM 142C - DEMO LAYOUT  
MD101

SCALE: 1/4"=1'

## OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.1 AS PER THE FRONT END DOCUMENTS:

- ALL SCOPE RELATED TO THE NEW AIR HANDLING UNIT AHU-5 INCLUDING DEMOLITION OF EXISTING AHU-5, STEAM PIPING, DUCTWORK ELECTRICAL AND PNEUMATIC CONTROLS.

## DEMO WORKING NOTES - PNEUMATICS:

(P1) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-5.

## ABATEMENT NOTES :

(A1) PROVIDE TYPE 3 ABATEMENT IN BOILER ROOM 142C TO REMOVE ALL INSULATIONS ON HOT WATER STORAGE TANK, PIPING AND DUCTWORK.

## DEMO WORKING NOTES - CONTROLS:

(C1) REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

## DEMO WORKING NOTES - GENERAL TRADES:

(C1) REMOVE EXISTING WINDOW TO SUIT INSTALLATION OF NEW LOUVER.

## DEMO WORKING NOTES:

- REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING, REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- REMOVE EXISTING SUSPENDED AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, FILTER BOX, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING, REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- REMOVE DUCTWORK FROM AHU AND CUT BACK TO WALL TO SUIT DUCT CONNECTIONS TO NEW UNIT.
- REMOVE S/A DUCTWORK FROM AHU BACK THROUGH WALL TO SUIT INSTALLATION OF NEW COMBINATION SMOKE/FIRE DAMPER.
- REMOVE EXISTING MOTORIZED DAMPER.
- REMOVE HOT WATER STORAGE TANK AND ALL ASSOCIATED STEAM PIPING, VALVES, AND ACCESSORIES.
- REMOVE STEAM PIPING AND ALL ASSOCIATED VALVES AND ACCESSORIES.
- REMOVE CONDENSATE DRAIN AND PUMPED CONDENSATE PIPING FROM REMOVED SYSTEMS C/W ALL HANGERS, VALVES AND ACCESSORIES.
- REMOVE EXISTING SPARE BELT RACKS AND WALL MOUNTED CABINET. ALLOW FOR REINSTALLATION ELSEWHERE ON SITE.

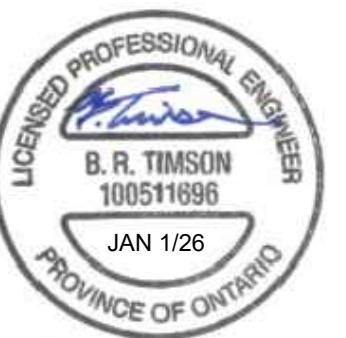
## GENERAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- SCAN FLOOR PRIOR TO FLOOR CUTS.
- DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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1 2026-01-08 Issued for Tender BRT  
0 2026-01-07 Issued for Pre-Tender Review BRT  
No. Date Description Description By

STAMPS:



**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
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**DDSb**  
ignite Learning

PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

BOILER ROOM 142C  
DEMOLITION LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

UZ

DATE:

2026-01-07

APPROVER:

BRT

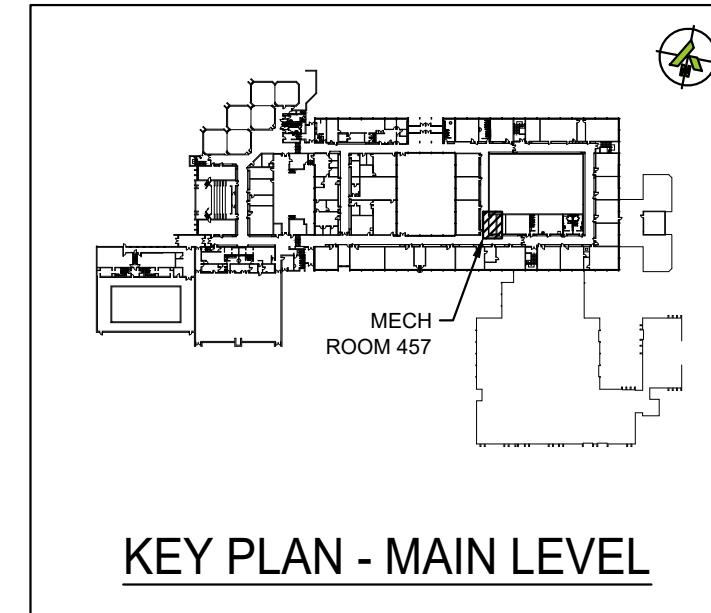
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A0001060

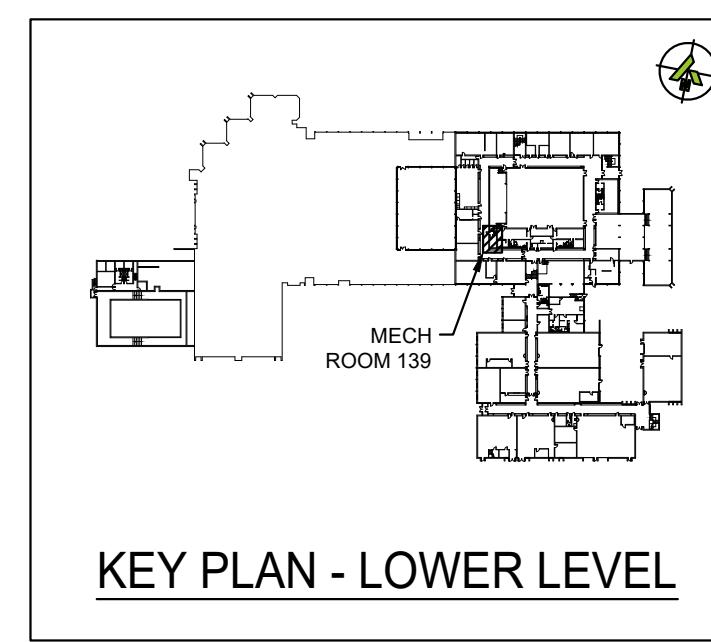
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MD101

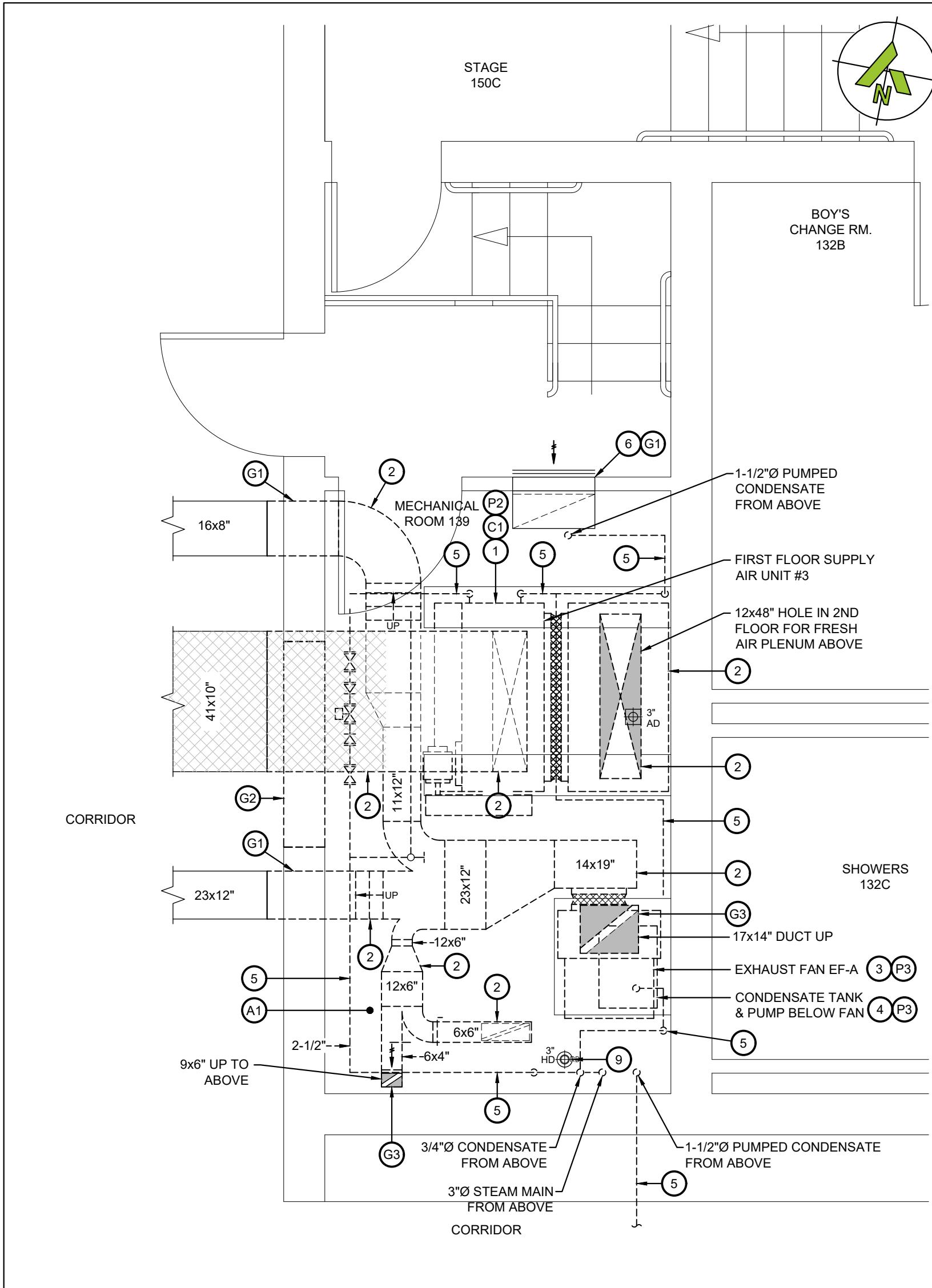
SHEET No.: 2 of 16



## KEY PLAN - MAIN LEVEL



## KEY PLAN - LOWER LEVEL



1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT  
MD102 SCALE: 3/8"=1'

DEMO WORKING NOTES - PNEUMATIC

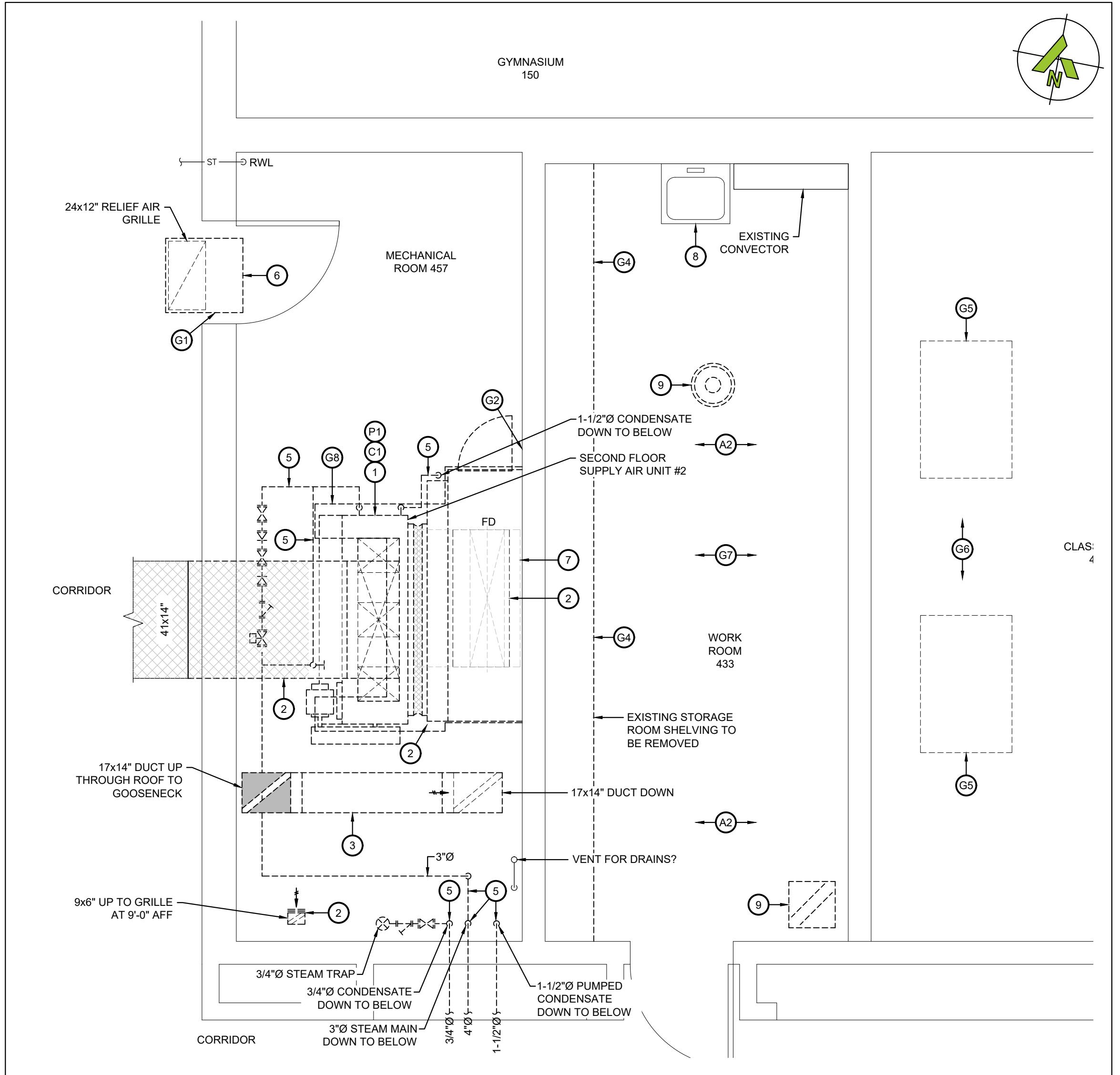
- (P1) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-8.
- (P2) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-10.
- (P3) REMOVE ALL PNEUMATIC CONTROLS AND TUBING ASSOCIATED WITH EXISTING CONDENSATE PUMP
- (P4) REMOVE ALL PNEUMATIC CONTROLS AND TUBING ASSOCIATED WITH EXISTING EXHAUST FAN.

## ABATEMENT NOTE

- (A1) PROVIDE TYPE 3 ABATEMENT IN MECHANICAL ROOM 139 & 457 TO REMOVE ALL INSULATIONS ON PIPING AND DUCTWORK.
- (A2) PROVIDE TYPE 3 ABATEMENT IN WORK ROOM 433 TO REMOVE ALL 12X12 ACOUSTIC

DEMO WORKING NOTES - CONTR

**C1** REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNITS AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.



2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT  
SCALE: 3/8"=1'  
MD102

DEMO WORKING NO

- 1 REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- 2 REMOVE DUCTWORK FROM AHU AND CUT BACK THROUGH WALL TO SUIT INSTALLATION OF NEW COMBINATION SMOKE/FIRE DAMPERS.
- 3 REMOVE EXHAUST FAN C/W ALL DAMPERS, ACCESSORIES AND VENTING. CUT DUCTWORK BACK THROUGH WALL AND ABANDON.
- 4 REMOVE EXISTING CONDENSATE TANK, PUMP AND ALL ASSOCIATED HANGERS, VALVES AND ACCESSORIES.
- 5 REMOVE ALL CONDENSATE AND STEAM PIPING AND ALL ASSOCIATED HANGERS, VALVES AND ACCESSORIES.
- 6 REMOVE EXISTING TRANSFER DUCT AND SLEEVE AND ANY GRILLES.
- 7 REMOVE EXISTING GRAVITY INTAKE HOOD ON ROOF TO SUIT INSTALLATION OF NEW GOOSENECK.
- 8 REMOVE EXISTING SINK. CAP ALL PIPING IN WALL.
- 9 REMOVE EXISTING DIFFUSER AND GRILLE AND ASSOCIATED DUCTWORK. CAP DUCTWORK AT WALL.

## **GENERAL DEMOLITION NOTES:**

1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
3. SCAN FLOOR PRIOR TO FLOOR CUTS.
4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

The logo for CIMA+ features the letters 'CIMA' in a large, bold, dark grey sans-serif font. To the right of 'MA' is a green plus sign composed of two intersecting diagonal lines. Below the logo, the text 'T 905 697-4464' and '415 Baseline Road West, Bowmanville' are displayed in a smaller, black, sans-serif font.

The logo for DDSB Ignite Learning. It features a stylized flame icon on the left, composed of three overlapping curved bands in red, orange, and yellow. To the right of the flame, the letters "DDSB" are written in a large, bold, red sans-serif font. Below "DDSB", the words "Ignite Learning" are written in a smaller, italicized, red sans-serif font.

# DUNBARTON HS STEAM DECOMMISSIONING PHASE 1

# MECHANICAL ROOMS 139A AND 457 DEMOLITION LAYOUT

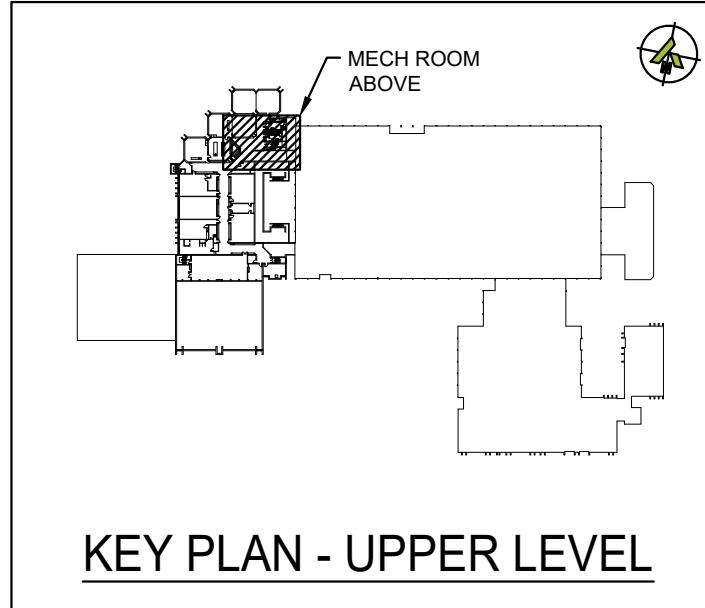
## MECHANICAL

SCALE:  
AS NOTED

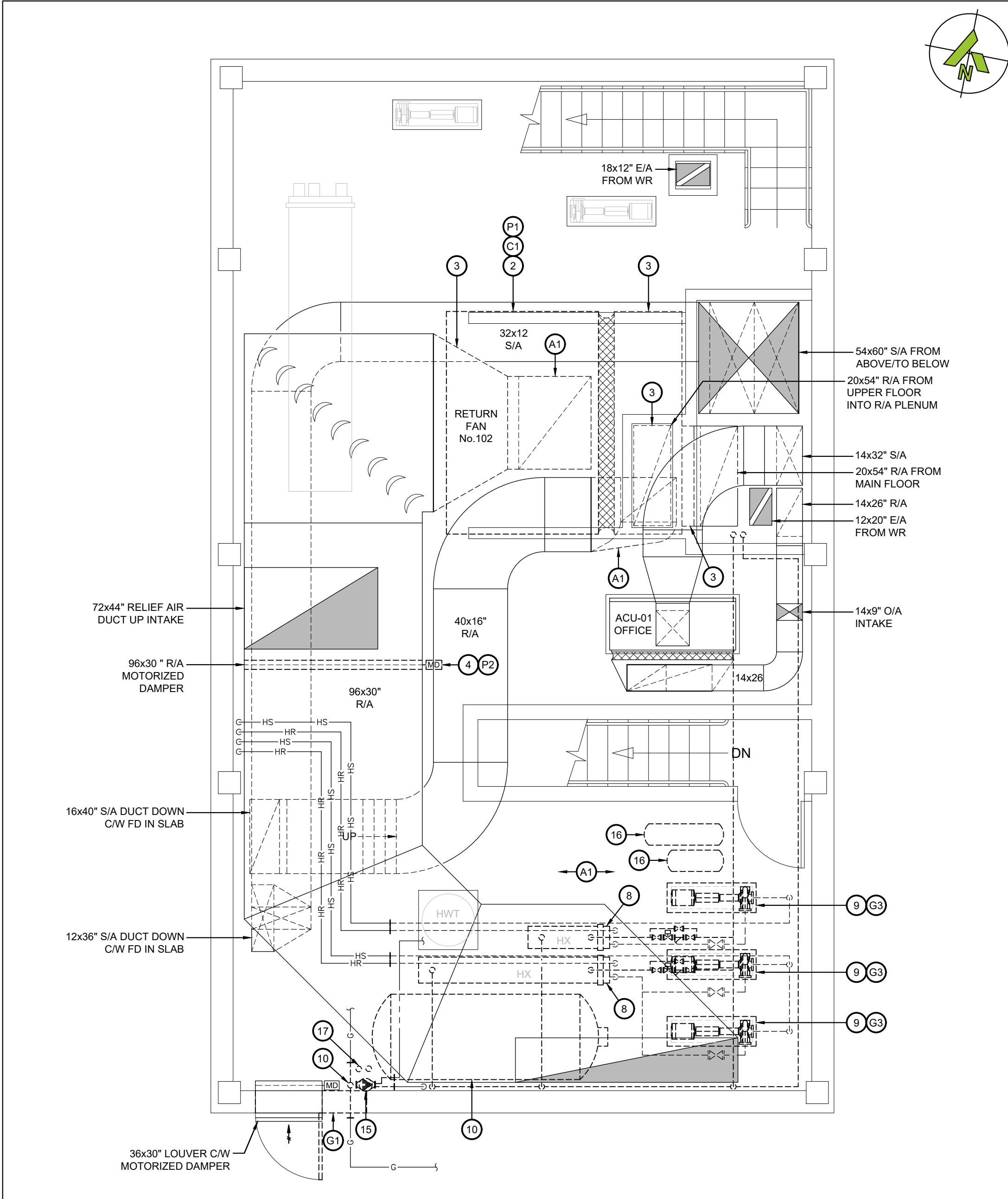
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2026-01-07

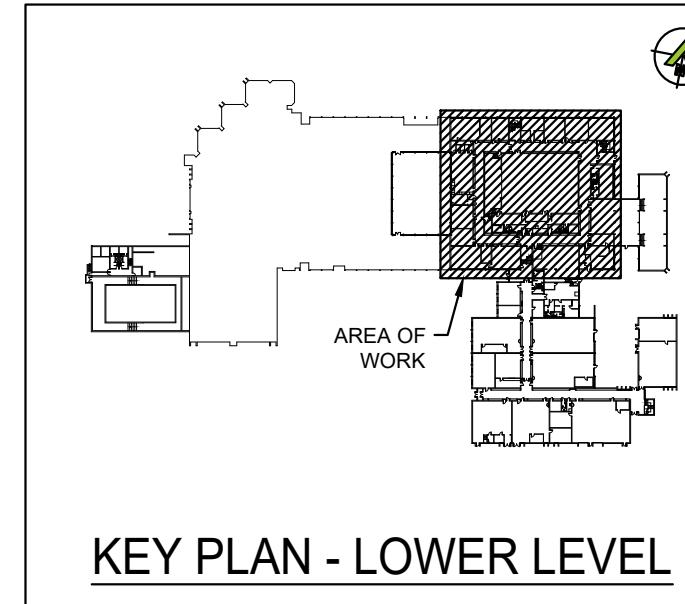
DRAWING No:

MD1



KEY PLAN - UPPER LEVEL





KEY PLAN - LOWER LEVEL

## GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
3. SCAN FLOOR PRIOR TO FLOOR CUTS.
4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

## DEMO WORKING NOTES:

- 1 REMOVE EXISTING STEAM PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 2 REMOVE EXISTING PUMPED CONDENSATE PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 3 REMOVE EXISTING CONDENSATE DRAIN PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 4 REMOVE EXISTING EXHAUST FAN C/W ALL DAMPERS AND ACCESSORIES. CUT BACK DUCTWORK AS NOTED.
- 5 CUT BACK EXISTING EXHAUST DUCT IN CORRIDOR AND ABANDON AT MAIN DUCT THROUGH WALL TO REMAIN.
- 6 REMOVE EXISTING E/A DUCT ELBOW IN CORRIDOR AND CAP AT FLOOR ABOVE. REMOVE EXHAUST FAN ON ROOF AND PROVIDE 4" INSULATED CURB CAP.

## DEMO WORKING NOTES - CONTROLS:

- C1 REMOVE EXISTING CONTROLS AND CONTROL WIRING FOR EXISTING EXHAUST FAN.

## DEMO WORKING NOTES - PNEUMATICS:

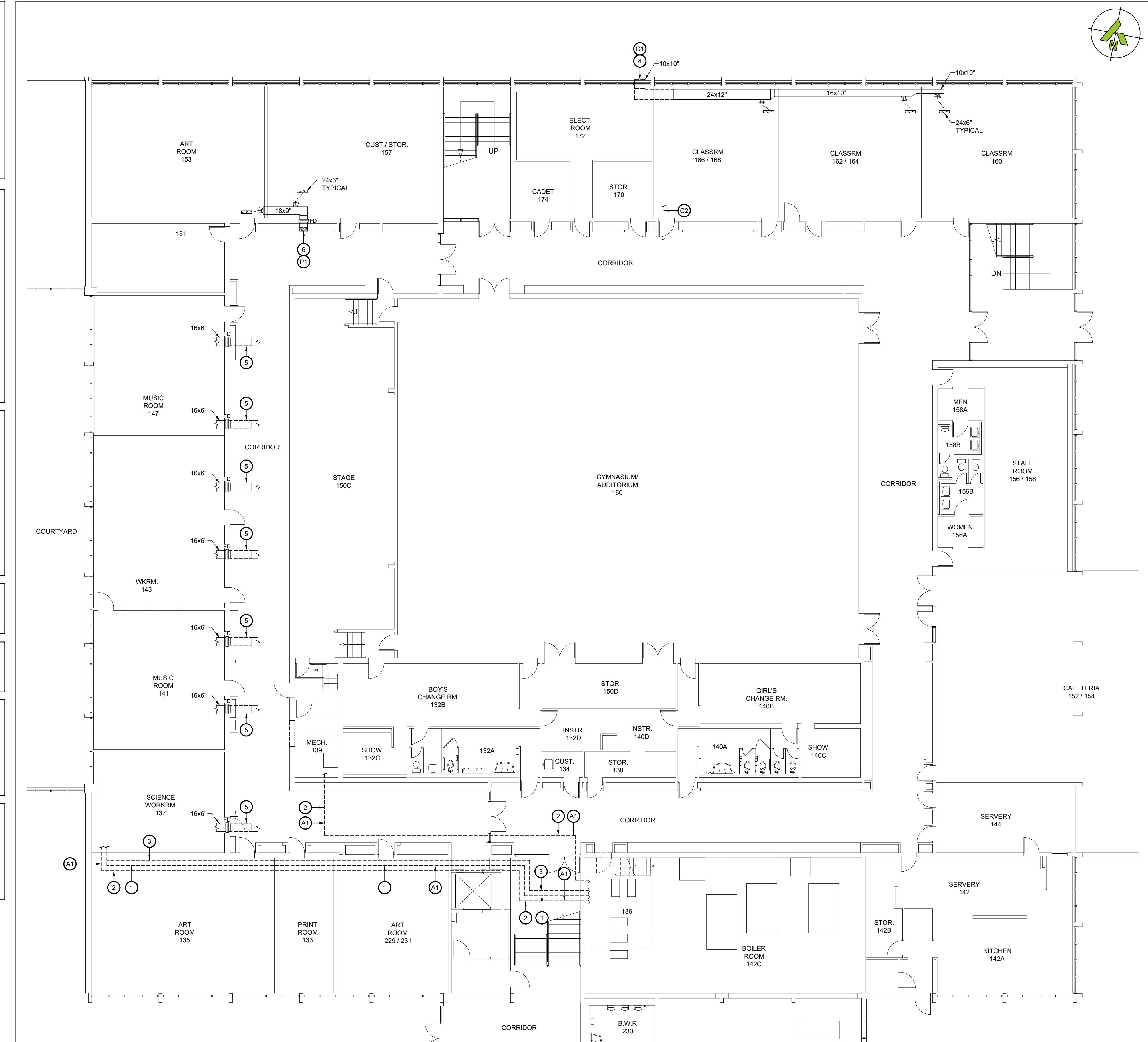
- C1 REMOVE EXISTING PNEUMATIC CONTROLS AND TUBING FOR EXISTING EXHAUST FAN.

## DEMO WORKING NOTES - GENERAL TRADES:

- G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.
- G2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.
- G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.

## ABATEMENT NOTES:

- G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.
- G2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.
- G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.



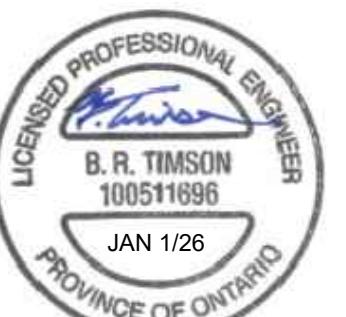
1 PARTIAL LOWER LEVEL - DEMOLITION LAYOUT

MD104

SCALE: 3/32"=1"

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No. Date Description Description By  
STAMPS:



**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

**DDSB**  
ignite Learning

PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL  
DEMOLITION LAYOUT

## DISCIPLINE: MECHANICAL

DRAFTER: MRC

SCALE: AS NOTED

DESIGNER: UZ

DATE: 2026-01-07

APPROVER: BRT

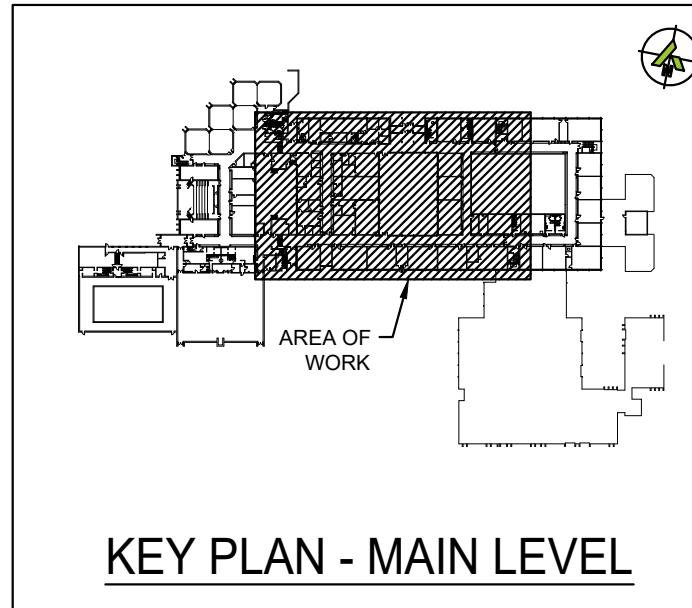
APPROVER:

PROJECT No: A0001060

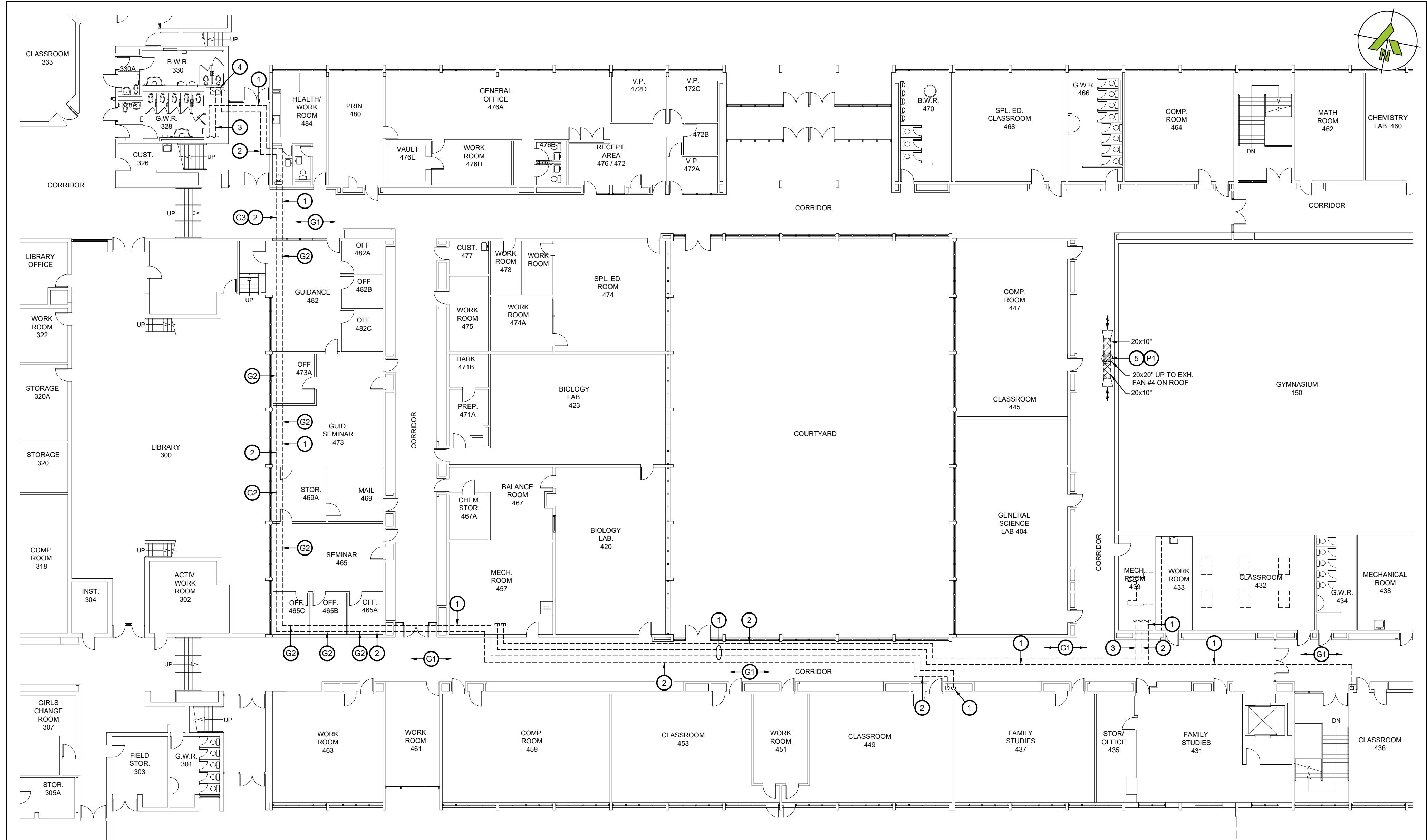
DRAWING No:

SHEET No:

MD104



KEY PLAN - MAIN LEVEL



1 PARTIAL MAIN LEVEL - DEMOLITION LAYOUT  
MD105  
SCALE: 1/16"=1'

**DEMO WORKING NOTES - PNEUMATICS:**  
P1 REMOVE EXISTING PNEUMATIC CONTROLS AND TUBING FOR EXISTING EXHAUST FAN.

**DEMO WORKING NOTES - GENERAL TRADES:**  
G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.  
G2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.  
G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.

**DEMO WORKING NOTES:**  
1 REMOVE EXISTING STEAM PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.  
2 REMOVE EXISTING PUMPED CONDENSATE PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.  
3 REMOVE EXISTING CONDENSATE DRAIN PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.  
4 REMOVE EXISTING CONDENSATE PUMP AND RECEIVER TANK C/W ALL ASSOCIATED PIPING, VALVES AND ACCESSORIES.  
5 REMOVE EXISTING EXHAUST FAN ON ROOF C/W ALL DAMPERS, DUCTWORK AND ACCESSORIES. PROVIDE 4" INSULATED CURB CAP ON EXISTING ROOF CURB.

**GENERAL DEMOLITION NOTES:**  
1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.  
2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.  
3. SCAN FLOOR PRIOR TO FLOOR CUTS.  
4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.  
5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.  
6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM, WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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1 2026-01-08 Issued for Tender BRT  
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STAMPS:

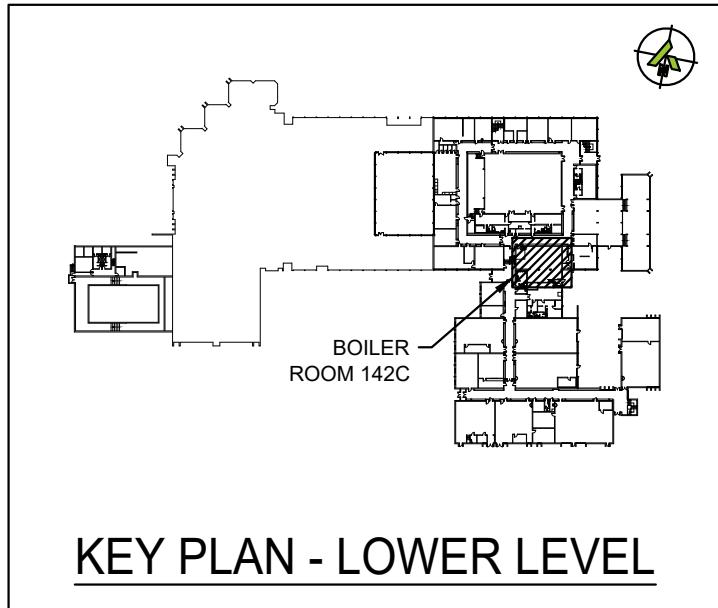


ENGINEER:  
**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

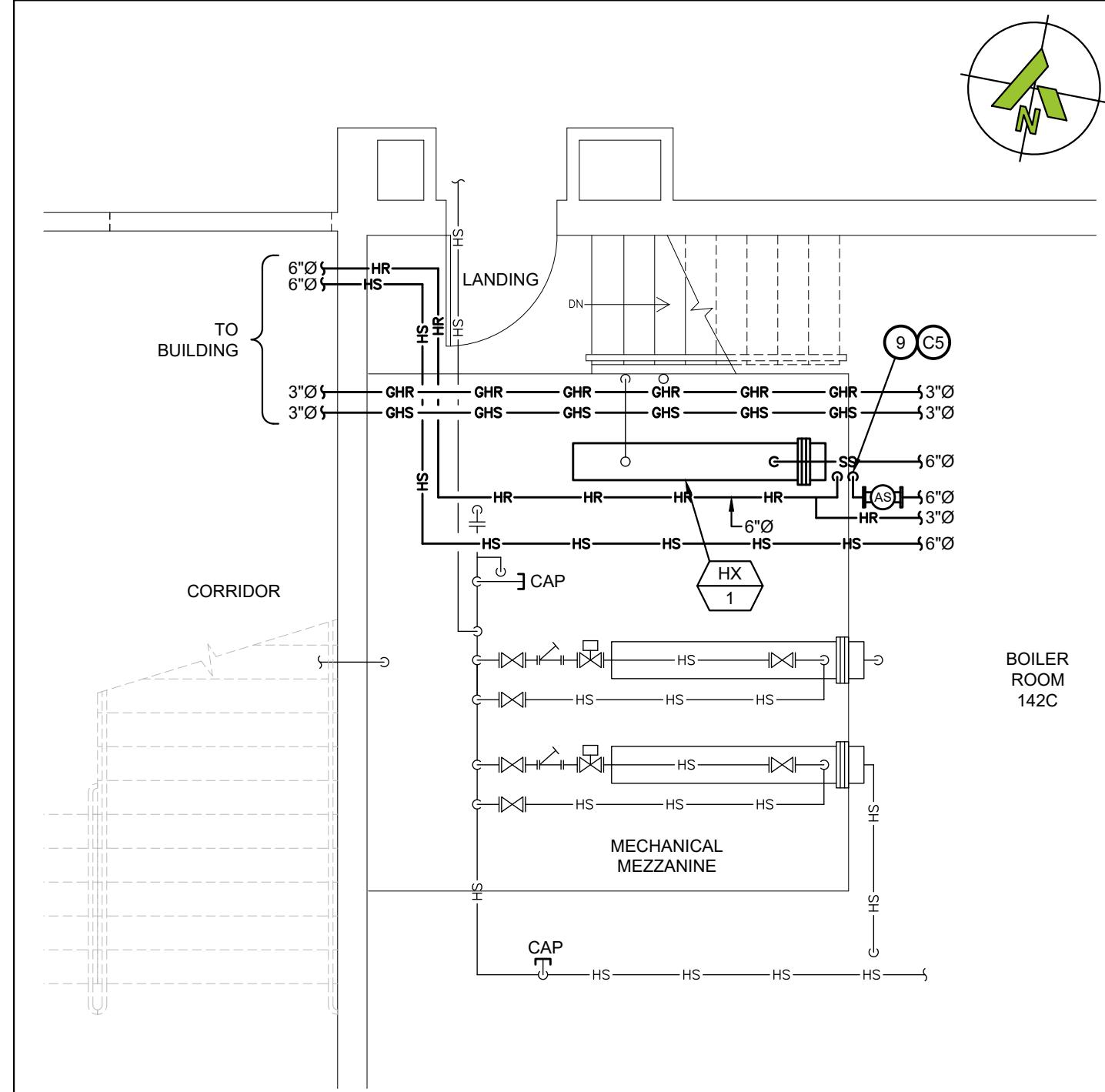
CLIENT:  
**DDSB**  
ignite Learning  
PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON  
SHEET TITLE:

PARTIAL MAIN LEVEL  
DEMOLITION LAYOUT

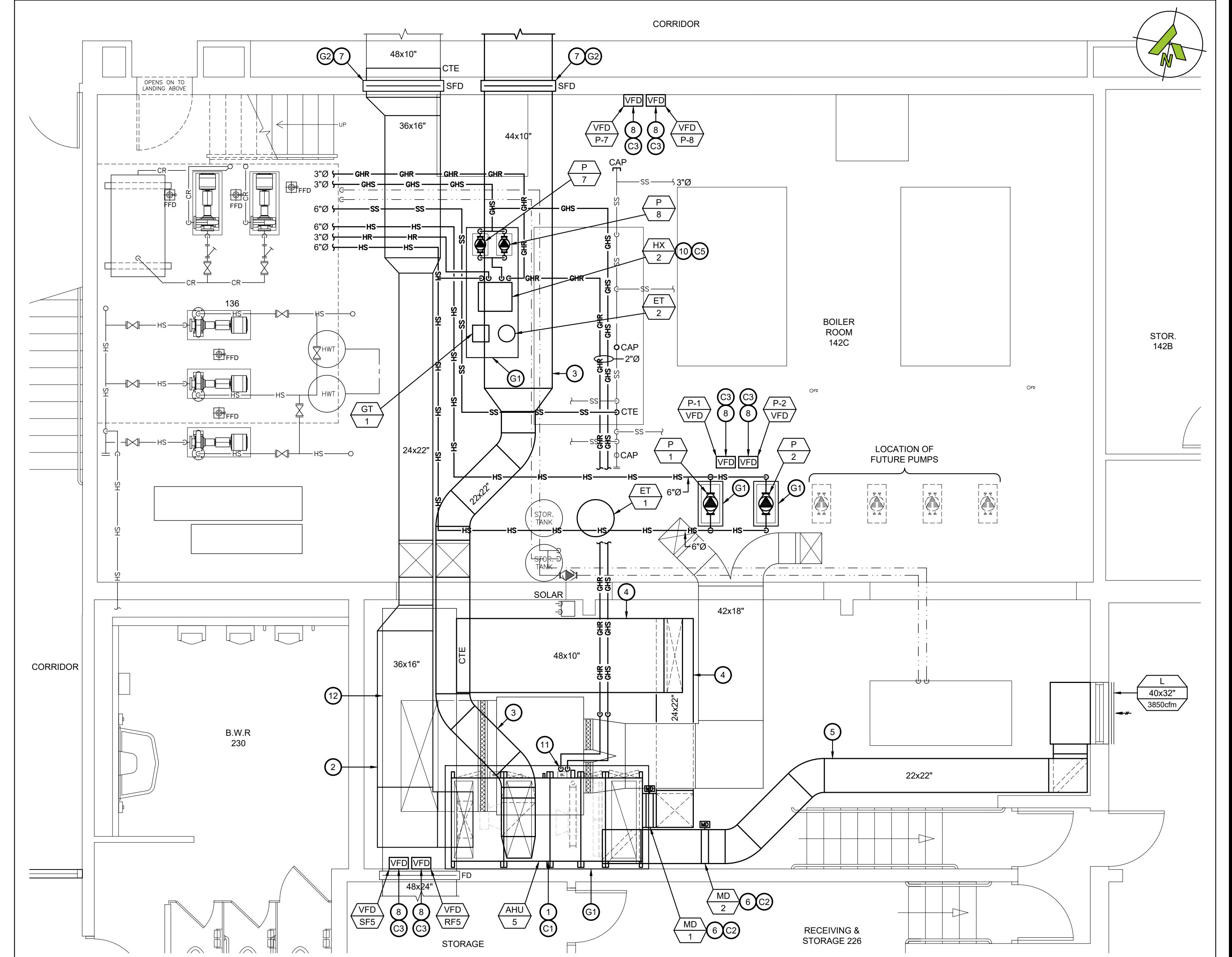
DISCIPLINE: MECHANICAL  
DRAFTER: MRC  
DESIGNER: UZ  
APPROVER: BRT  
PROJECT No: A0001060  
DRAWING No:  
SHEET No:  
MD105  
6 of 16



KEY PLAN - LOWER LEVEL

1 BOILER ROOM 142C - MEZZANINE - NEW LAYOUT  
M-101

SCALE: 1/4"=1'

2 BOILER ROOM 142C - NEW LAYOUT  
M-101

SCALE: 1/4"=1'

## OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.1 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW AIR HANDLING UNIT AHU-5 INCLUDING VFDs CONCRETE PADS, DUCTWORK, CONTROLS, AND ELECTRICAL. HEATING PIPING TO BE CAPPED ABOVE PROPOSED UNIT LOCATION FOR FUTURE.

## WORKING NOTES - GENERAL TRADES:

1. PROVIDE NEW 4" CONCRETE HOUSEKEEPING PAD UNDER NEW EQUIPMENT. PAINT CONCRETE PADS WITH YELLOW - ALL SIDES AND AROUND TOP EDGE (MINIMUM 12").
2. PROVIDE NEW LINTEL FOR DUCT PENETRATION. REFER TO STRUCTURAL DRAWINGS.

## NEW WORKING NOTES - CONTROLS:

1. PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT.
2. PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR NEW MOTORIZED DAMPER.
3. PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFDs.
4. PROVIDE NEW BAS CONTROL PANEL. INTEGRATE ALL CONTROL WIRING FROM EXISTING REMOVED BAS PANEL INTO NEW PANEL.
5. PROVIDE CONTROLS AND CONTROL WIRING FOR HEAT EXCHANGER AND CIRCULATION PUMPS.

## NEW WORKING NOTES:

1. SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
2. NEW 36x16" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. RUN AS TIGHT TO US OF EXISTING O/A DUCTWORK AS POSSIBLE. OFFSET AS REQUIRED TO SUIT BEAM AND COLUMN AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT.
3. NEW 2x22" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT. OFFSET AS REQUIRED TO SUIT BEAM AND EXISTING SERVICES WITHIN ROOM AND RUN TO NEW WALL PENETRATION THROUGH BOILER ROOM WALL.
4. NEW 24x22" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN TIGHT UNDER EXISTING MAU DUCTWORK AND UP INTO 48x10" DUCT ABOVE. CONNECT TO SIDE OF EXISTING O/A PLENUM.
5. NEW 2x22" THERMALLY INSULATED E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN TO EXISTING WINDOW LOCATION. RUN DOWN BELOW EXISTING SOLAR HEAT DISCHARGE AIR UNIT DUCTWORK AND STUB INTO SIDE OF NEW PLENUM OFF BACK OF NEW LOUVER.

PROVIDE NEW MOTORIZED DAMPER. INSTALL O/A MOTORIZED DAMPERS DIRECTLY ON UNIT OPENING. CONFIRM EXACT SIZE OF MOTORIZED DAMPER TO SUIT UNIT OPENING.

PROVIDE NEW COMBINATION SMOKE FIRE DAMPER AT WALL PENETRATION.

PROVIDE NEW VFD AND MOUNT ON WALL. COORDINATE WIRING OF VFD WITH ELECTRICAL AND CONTROLS CONTRACTORS. PROVIDE NEW UNISTRUT STAND FOR MOUNTING OF P-1 & P-2 VFDs.

NEW 6" STEAM DOWN TO AND 6" HS & HR UP FROM HEAT EXCHANGER HX-1 AND CIRCULATION PUMPS. REFER TO SCHEMATIC DETAILS. MOUNT PUMPS, HEAT EXCHANGER AND GLYCOL TANK ON NEW PAD. RUN CONDENSATE DRAIN TO EXISTING RECEIVER BELOW.

NEW 3" HS & HR DOWN TO AND 3" GHS & GHR UP FROM HEAT EXCHANGER HX-1 AND CIRCULATION PUMPS. REFER TO SCHEMATIC DETAILS. MOUNT PUMPS, HEAT EXCHANGER AND GLYCOL TANK ON NEW PAD.

NEW 2" GHS & GHR DOWN TO AHU COIL C/W NEW VALVES AND ACCESSORIES. REFER TO DETAIL.

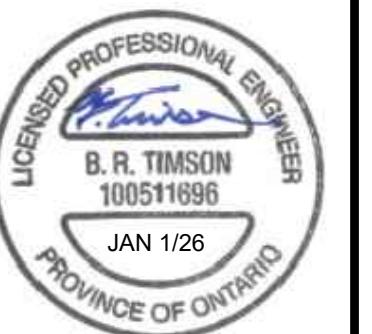
PATCH EXISTING O/A PLENUM WHERE DUCT WAS REMOVED. PROVIDE THERMAL INSULATION FOR ENTIRE PLENUM TO SUIT REMOVAL DURING ABATEMENT.

## GENERAL NEW [PLUMBING AND/OR HVAC] NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS.
  - .1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICES INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
  - .2 ANY WORK INSIDE OR OUTSIDE THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
  - .3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
3. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
4. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
5. COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
6. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
7. THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
8. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
9. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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STAMPS:



**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

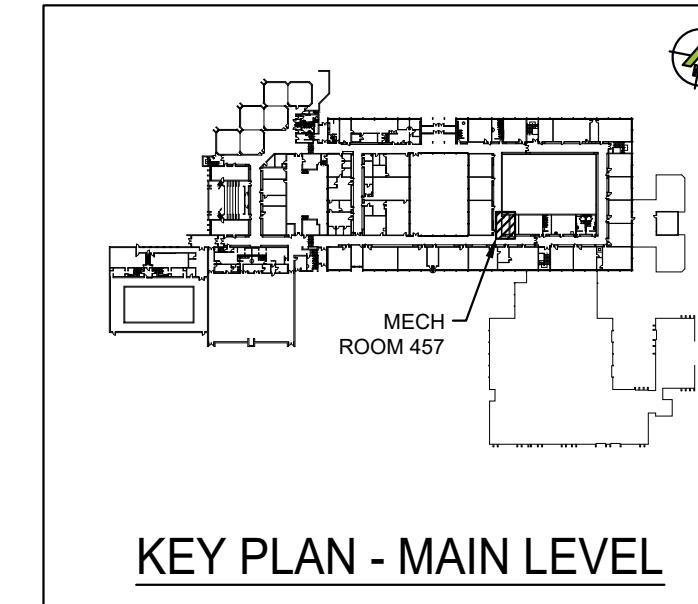
SheET TItLE:

BOILER ROOM 142C  
NEW LAYOUT

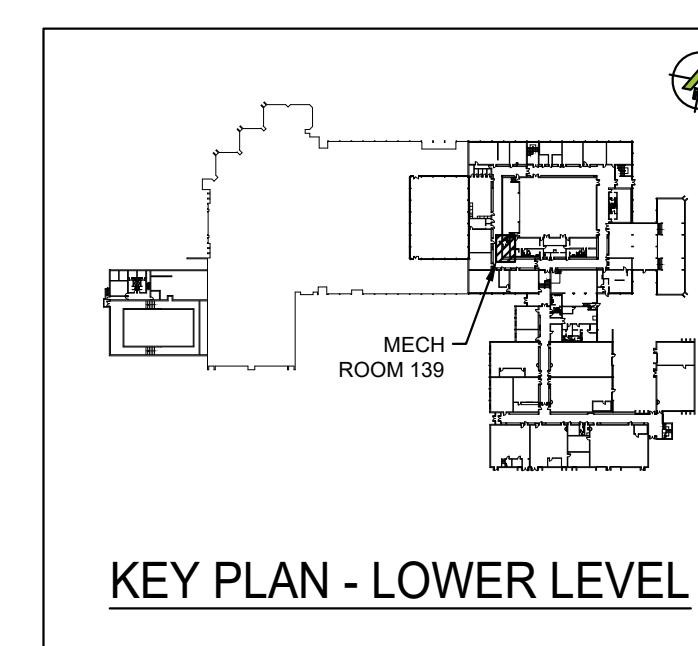
DISCIPLINE: MECHANICAL

DRAFTER: MRC	SCALE: AS NOTED
DESIGNER: UZ	DATE: 2026-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	M-101

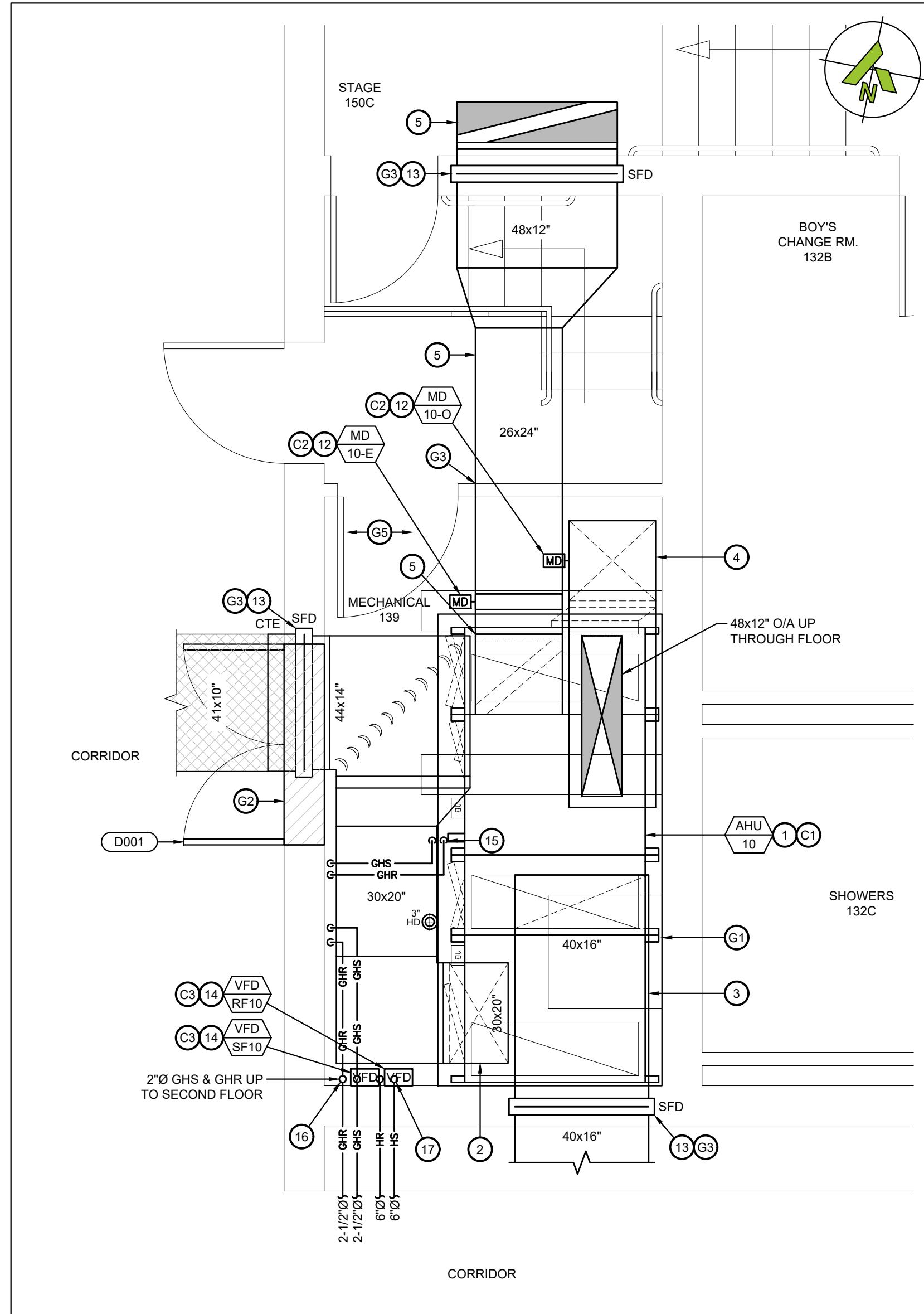
7 of 16



KEY PLAN - MAIN LEVEL



KEY PLAN - LOWER LEVEL



## 1 MECHANICAL ROOM 139 - NEW LAYOUT

M-102

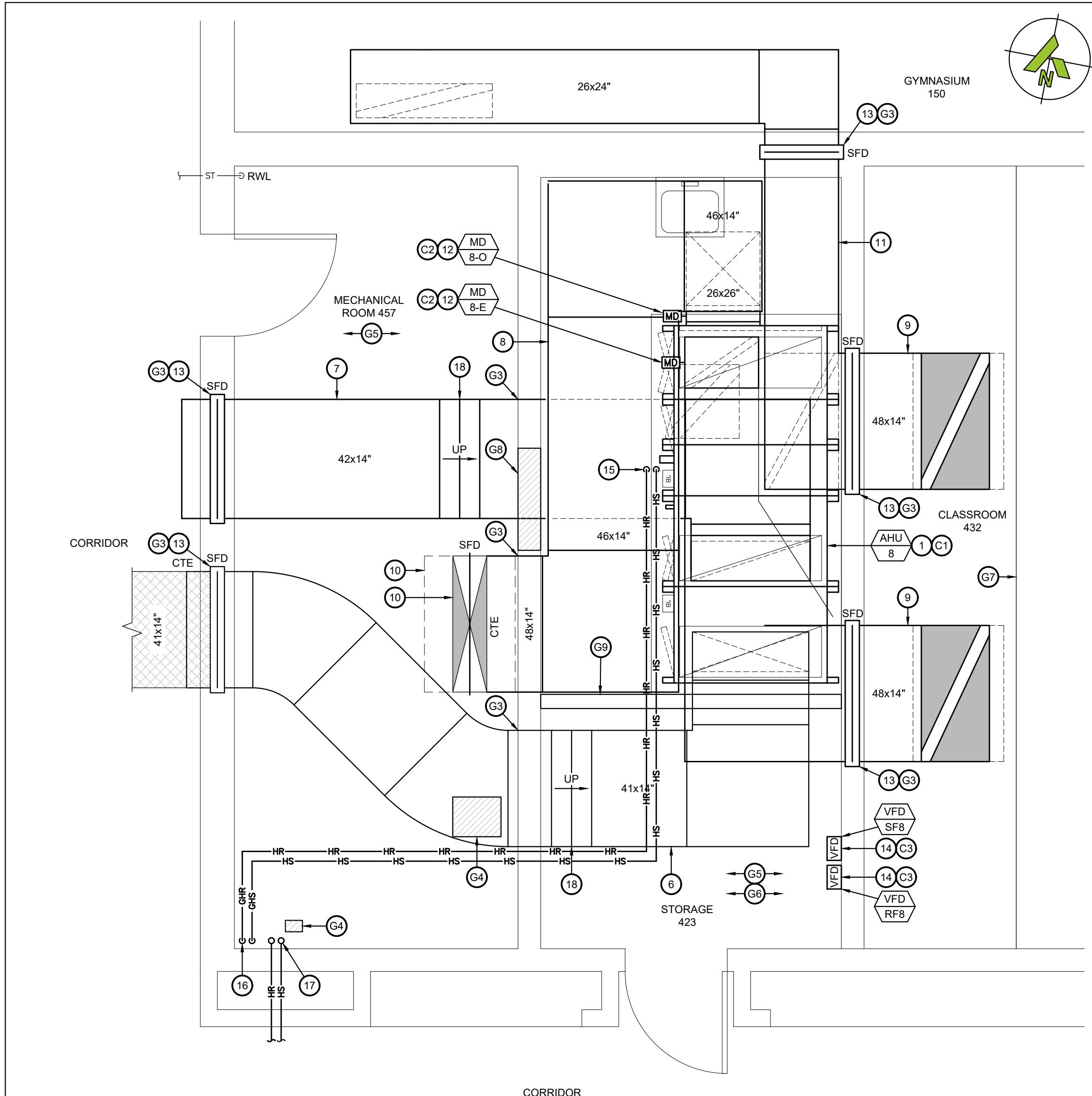
SCALE: 3/8"=1"

## NEW WORKING NOTES - GENERAL TRADES:

- (G1) PROVIDE NEW 4" CONCRETE HOUSEKEEPING PAD UNDER NEW EQUIPMENT. PAINT CONCRETE PADS WITH YELLOW - ALL SIDES AND AROUND TOP EDGE (MINIMUM 12").
- (G2) PROVIDE NEW DOOR AND FRAME. PROVIDE WALL OPENING AND LINTEL FOR NEW DOOR AS PER STRUCTURAL DRAWINGS. REPAIR AND PAINT BLOCK AROUND NEW DOOR OPENING TO MATCH EXISTING CONDITIONS.
- (G3) PROVIDE NEW WALL OPENING AND LINTEL FOR DUCTWORK. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- (G4) PATCH CONCRETE FLOOR AT EXISTING REDUNDANT FLOOR OPENING.
- (G5) PROVIDE NEW EPOXY FLOORING IN MECHANICAL ROOM. REFER TO SPECIFICATIONS.
- (G6) PATCH, PRIME AND PAINT ALL WALLS OF NEW MECHANICAL ROOM. PAINTING TO BE WITH TWO COATS OF WHITE.
- (G7) PROVIDE STUD AND DRYWALL BULKHEAD OVER NEW DUCTWORK UP THROUGH SKYLIGHTS. PRIME AND PAINT WITH TWO COATS OF WHITE. REPAIR EXISTING CLASSROOM T-BAR CEILING AND PROVIDE NEW PERIMETER GRID AT NEW BULKHEAD.
- (G8) PROVIDE LINTEL AND NEW 36" WIDE WALL OPENING BETWEEN MECHANICAL ROOMS. FINISH SIDES OF BLOCK SMOOTH AND PROVIDE FINISHING TRIM.
- (G9) PROVIDE NEW STUD AND DRYWALL PARTITION WALL. WALL TO BE CONSTRUCTED OF METAL STUDS WITH 1/2" PLYWOOD ON STORAGE ROOM SIDE AND 1/2" GYPSUM BOARD ON BOTH SIDES. PRIME AND PAINT WITH TWO COATS OF WHITE.

## NEW WORKING NOTES - CONTROLS:

- (C1) PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT.
- (C2) PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR NEW MOTORIZED DAMPER.
- (C3) PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFD.



## 2 MECHANICAL ROOM 457 - NEW LAYOUT

M-102

SCALE: 3/8"=1"

## NEW WORKING NOTES:

- (1) SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- (2) NEW 30x20" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. OFFSET UNDER NEW R/A DUCT WITH 45 DEGREE BENDS AS REQUIRED. TRANSITION TO 44x14" AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE ALL NEW DUCT OFF OF UNIT.
- (3) NEW 40x16" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. RUN TIGHT TO WALL AND OUT THROUGH NEW COMBINATION SMOKE/FIRE DAMPER. ACOUSTICALLY LINE ALL NEW DUCT OFF OF UNIT.
- (4) NEW 26x26" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS AND MOTORIZED DAMPER AT UNIT OPENING. RUN UP THROUGH EXISTING 48x12" FLOOR PENETRATION TO NEW GOOSENECK ON ROOF.
- (5) NEW 26x24" E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. TRANSITION TO 48x12" AND RUN UP TIGHT TO STAGE WALL TO SECOND FLOOR LEVEL WITH NEW COMBINATION SMOKE/FIRE DAMPER AT PENETRATION OF STAGE WALLS. ACOUSTICALLY LINE DUCTWORK FROM UNIT OPENING TO ELBOW ON STAGE.
- (6) NEW 41x14" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT.
- (7) NEW 38x14" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT. RUN AS TIGHT TO TOP OF UNIT AS POSSIBLE AND UNDERNEATH NEW O/A & E/A DUCTWORK.
- (8) NEW 26x26" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS AND MOTORIZED DAMPER AT UNIT OPENING. RUN UP INTO NEW 46x14" O/A DUCT ABOVE. RUN TIGHT TO S/D OF DECK ABOVE. FLOOR PENETRATION TO NEW GOOSENECK ON ROOF.

## GENERAL NEW [PLUMBING AND/OR HVAC] NOTES:

- 1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS.  
.1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.  
.2 ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.  
.3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
- 2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- 3. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- 4. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
- 5. COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
- 6. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
- 7. THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
- 8. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
- 9. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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STAMPS:



ENGINEER:  
**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

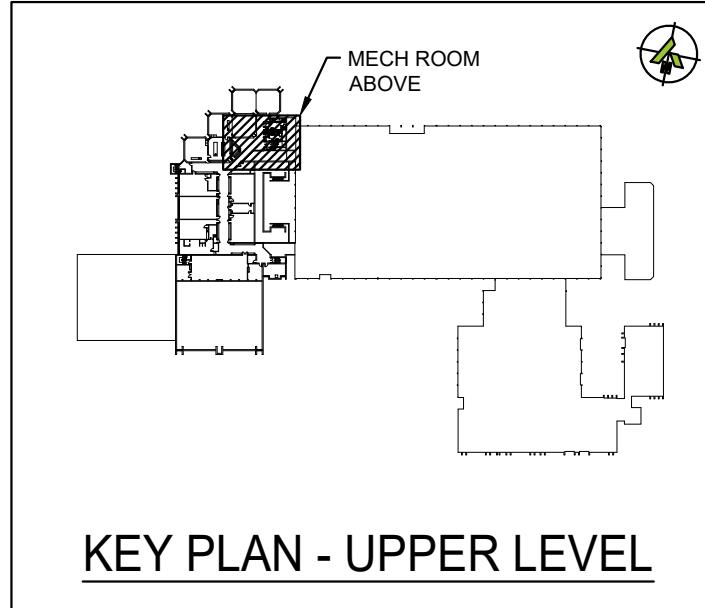
CLIENT:  
**DDSb**  
ignite Learning

PROJECT NAME:  
**DUNBARTON HS**  
**STEAM DECOMMISSIONING**  
**PHASE 1**  
655 SHEPPARD AVENUE, PICKERING, ON

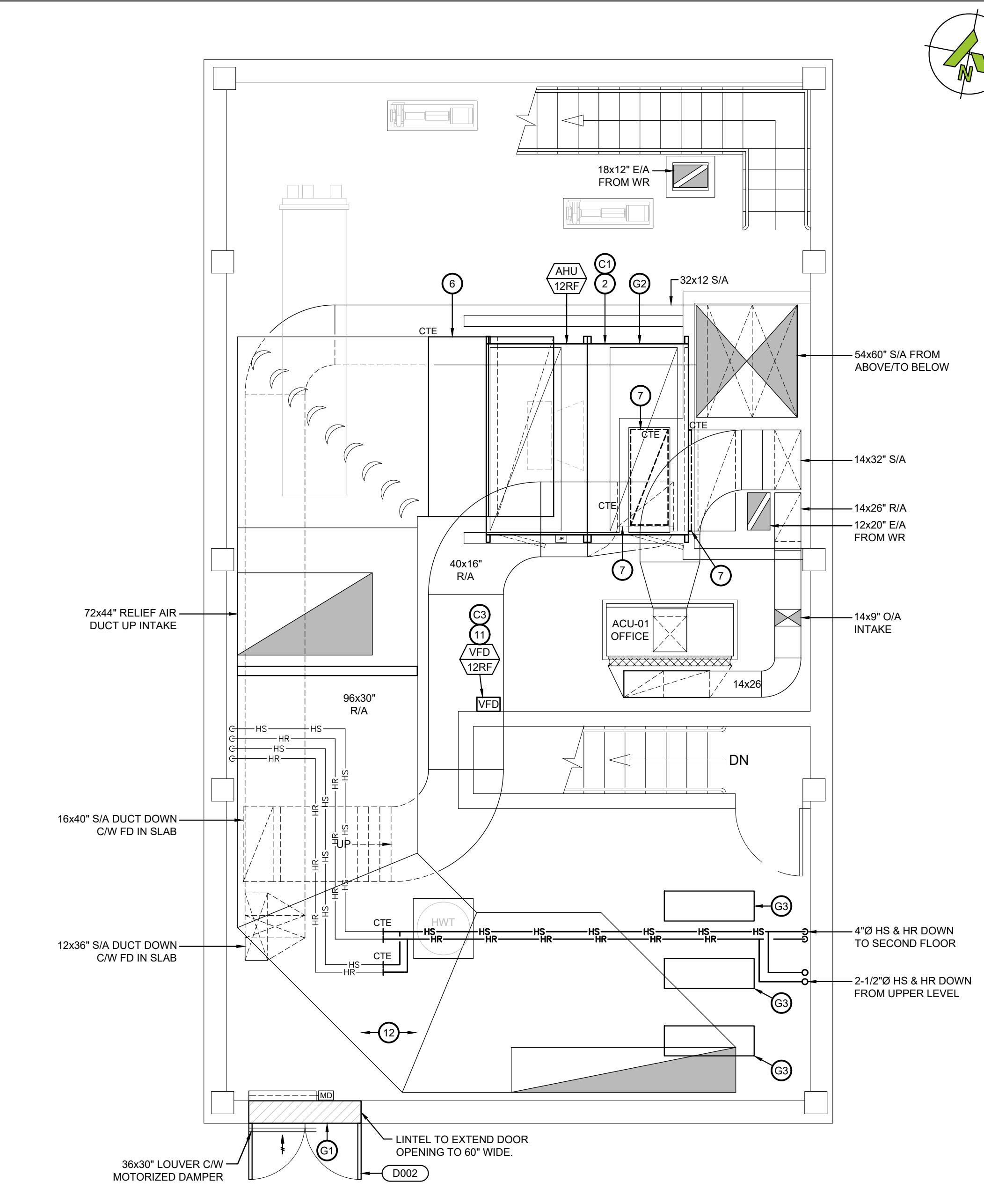
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**MECHANICAL ROOMS**  
**139A AND 457**  
**NEW LAYOUT**

DISCIPLINE:  
**MECHANICAL**

DRAFTER: MRC SCALE: AS NOTED  
DESIGNER: UZ DATE: 2026-01-07  
APPROVER: BRT APPROVER:  
PROJECT No: A0001060 DRAWING No:  
SHEET No: 8 of 16 M-102



KEY PLAN - UPPER LEVEL



1 UPPER MECHANICAL ROOM - LOW LEVEL - NEW LAYOUT

M-103

SCALE: 1/4"=1'

## NEW WORKING NOTES - GENERAL TRADES:

- (G1) PROVIDE NEW DOOR AND DOOR FRAME. PROVIDE NEW LINTEL ABOVE DOOR AND PATCH ALL EXTERIOR SIDING, VAPOUR BARRIER AND WEATHERPROOFING.
- (G2) PROVIDE NEW 4" CONCRETE PAD TO EXTEND EXISTING PAD TO SUIT INSTALLATION OF NEW UNIT.
- (G3) PROVIDE NEW OPENING FOR LOUVER AND LINTEL REFER TO STRUCTURAL DRAWINGS FOR DETAIL.

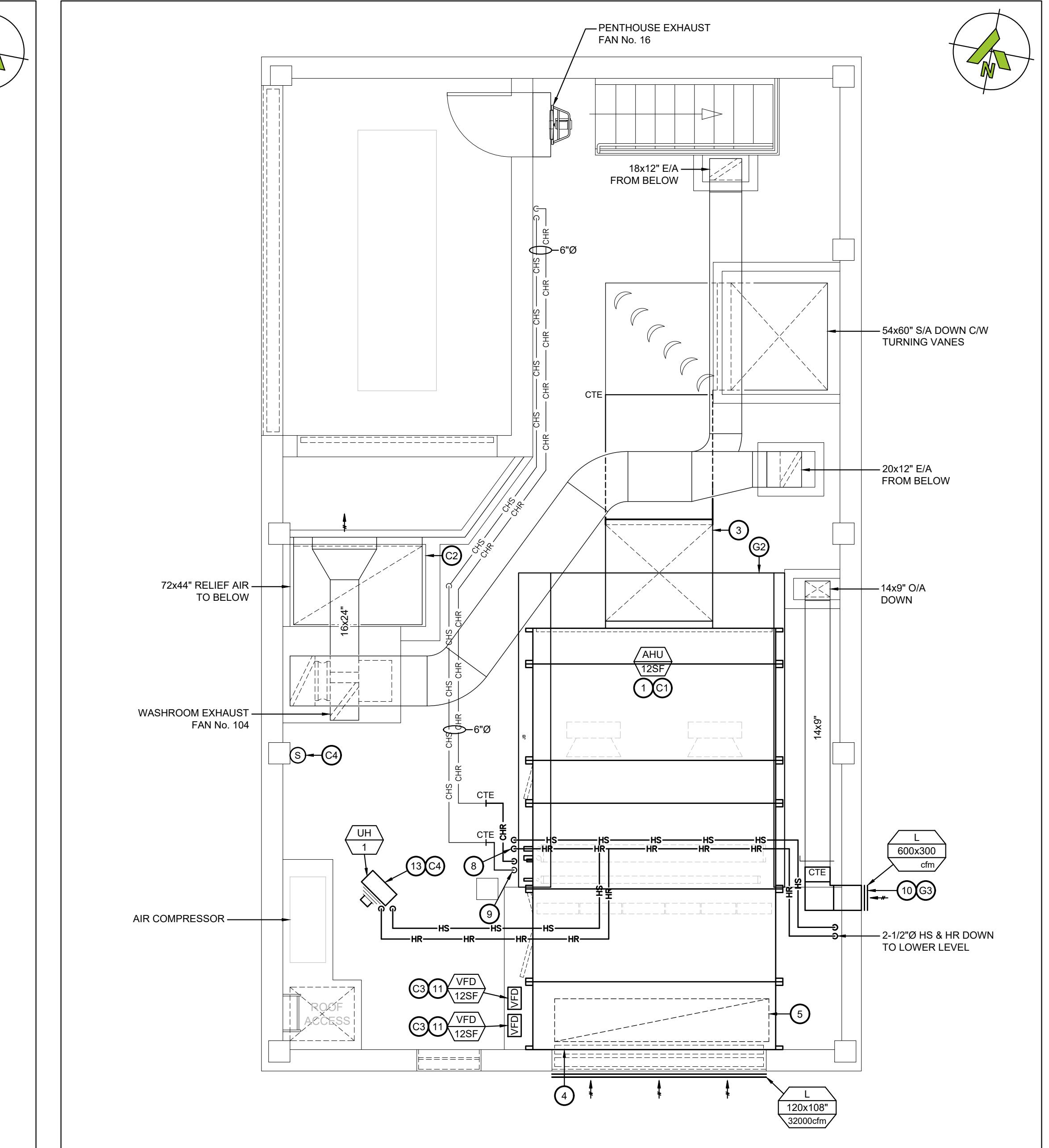
## NEW WORKING NOTES - CONTROLS:

- (C1) PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT SUPPLY AND RETURN FAN.
- (C2) PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR EXISTING MOTORIZED DAMPER.
- (C3) PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFDs.
- (C4) PROVIDE SPACE SENSOR, CONTROLS AND CONTROL WIRING FOR NEW UNIT HEATER.

## OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No. 2 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW RETURN FAN RF-12 INCLUDING VFD, CONCRETE PAD, DUCTWORK REVISIONS, CONTROLS, AND ELECTRICAL. OPTIONAL PRICE ALSO INCLUDES THE NEW DOUBLE DOORS TO THE EXTERIOR AND ASSOCIATED REWORK OF SERVICES TO SUIT NEW DOOR.



2 UPPER MECHANICAL ROOM - HIGH LEVEL - NEW LAYOUT

M-103

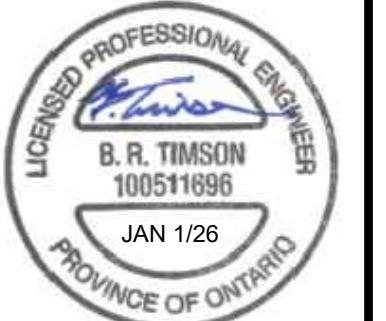
SCALE: 1/4"=1'

## GENERAL NEW [PLUMBING AND/OR HVAC] NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
  - 1. ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
  - 2. ANY WORK SIDE OR OUTSIDE, THAT CREATES RISKS TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
  - 3. ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
3. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
4. COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
5. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
6. THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
7. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
8. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM, WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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1 2026-01-08 Issued for Tender BRT  
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CLIENT:



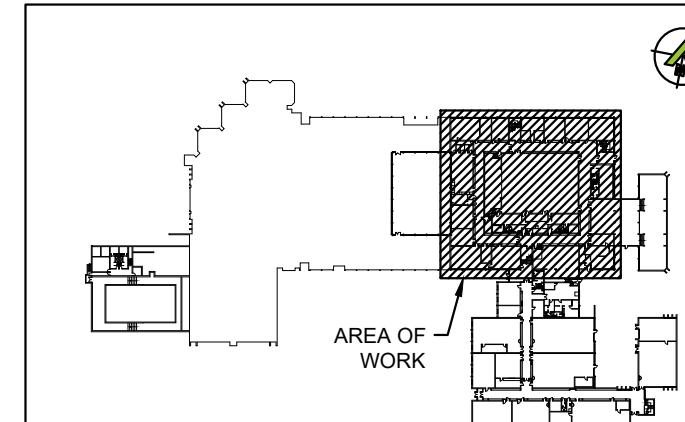
PROJECT NAME:  
**DUNBARTON HS**  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

UPPER MECHANICAL ROOM  
NEW LAYOUT

DISCIPLINE: MECHANICAL

DRAFTER: MRC	SCALE: AS NOTED
DESIGNER: UZ	DATE: 2026-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: 9 of 16	M-103



KEY PLAN - LOWER LEVEL

## GENERAL NEW MECHANICAL NOTES:

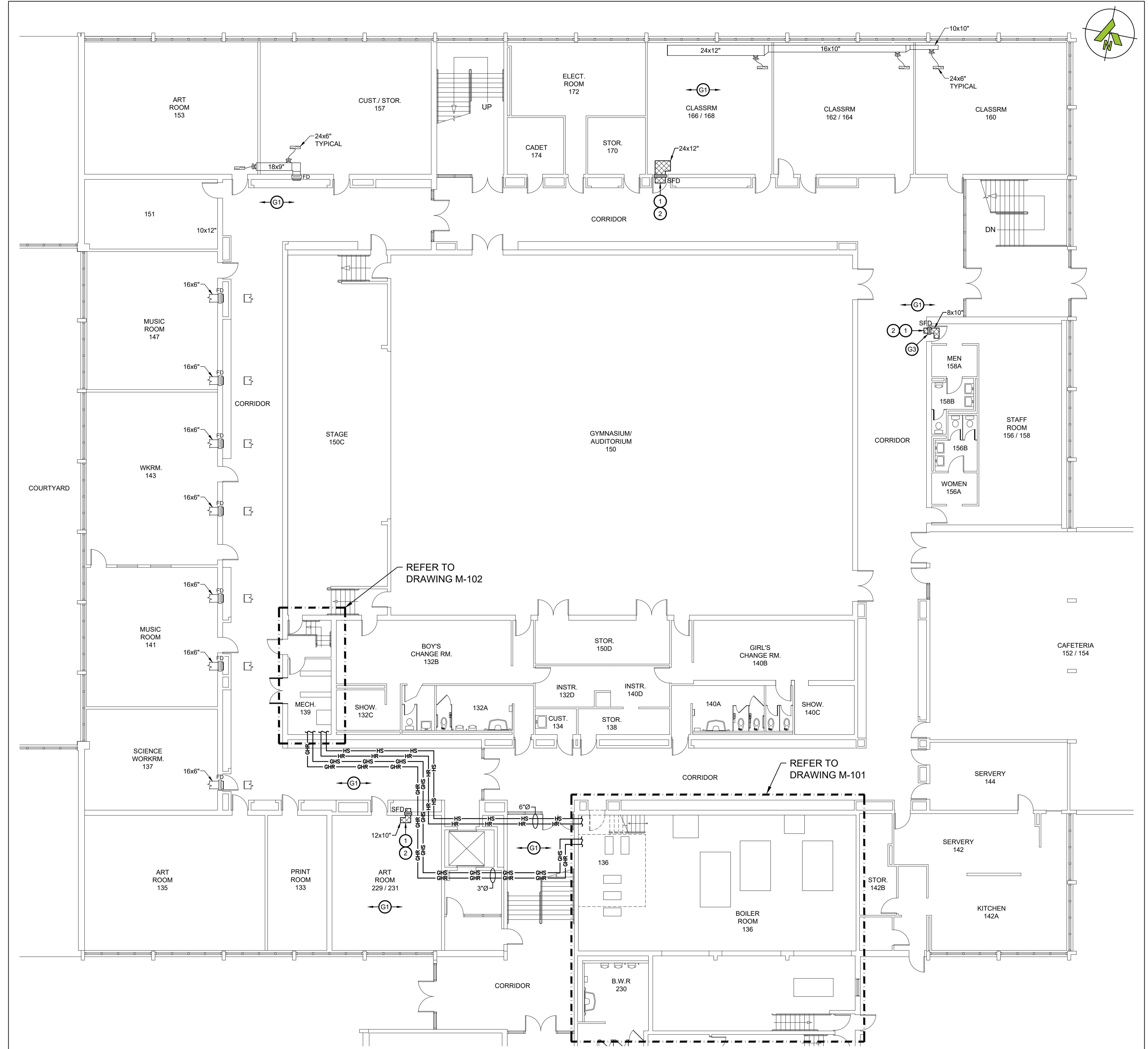
1. WORK TO BE COMPLETED OUTSIDE REGULAR SCHOOL HOURS:  
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2. ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
3. ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
4. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
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6. ENSURE ALL SERVICES ARE CONCEALED WITHIN AVAILABLE CEILING SPACE. RUN ALL NEW SERVICES UP IN JOIST SPACE AND BETWEEN LIGHTS AS NOTED OR AS REQUIRED.
7. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
8. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
9. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS AND FLOORS IN AREA OF WORK.
10. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

## NEW WORKING NOTES - MECHANICAL:

1. PROVIDE NEW ACOUSTICALLY LINED TRANSFER ELBOW. REFER TO DETAIL.
2. PROVIDE NEW COMBINATION SMOKE AND FIRE DAMPER IN NEW WALL PENETRATION. COORDINATE WIRING OF SMOKE DETECTOR WITH ELECTRICAL CONTRACTOR.

## NEW WORKING NOTES - GENERAL TRADES:

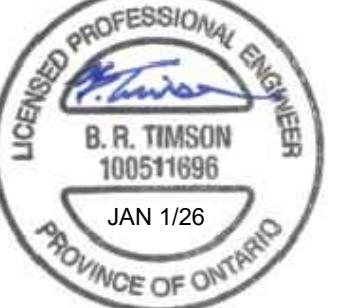
1. REINSTALL T-BAR CEILINGS TO NEAT AND LEVEL CONDITION AS PER EXISTING. PROVIDE NEW GRID AND TILES WHERE GRID WAS REMOVED FOR PIPING INSTALLATION. REUSE OF TILES IS AT THE DISCRETION OF THE DDSB. TILES MUST NOT BE STAINED OR DAMAGED.
2. PROVIDE NEW WALL OPENING AND LINTEL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.
3. PATCH DRYWALL AROUND NEW COMBINATION SMOKE/FIRE DAMPER TO RESTORE 1 HOUR RESISTANCE RATING.

1 PARTIAL LOWER LEVEL - NEW LAYOUT  
M-104 SCALE: 3/32"=1"

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No. Date Description By

STAMPS:



**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

**DDSB**  
ignite Learning

PROJECT NAME:  
DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL  
NEW LAYOUT

DISCIPLINE:

MECHANICAL

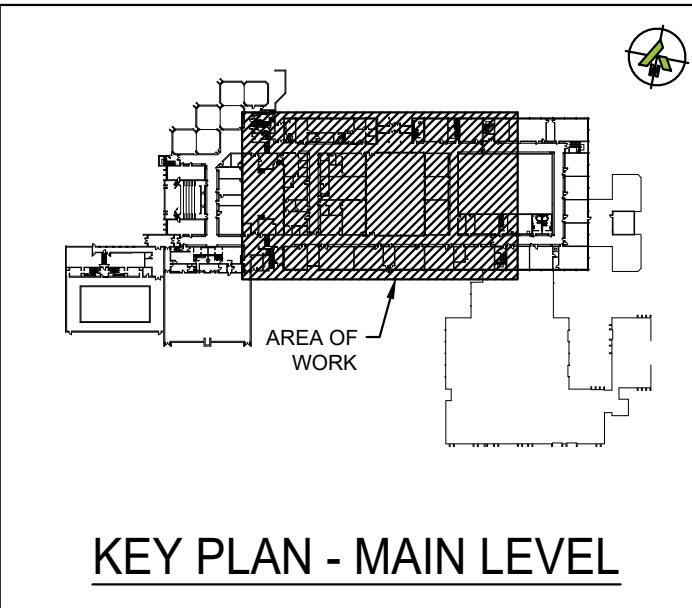
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DESIGNER: UZ DATE: 2026-01-07

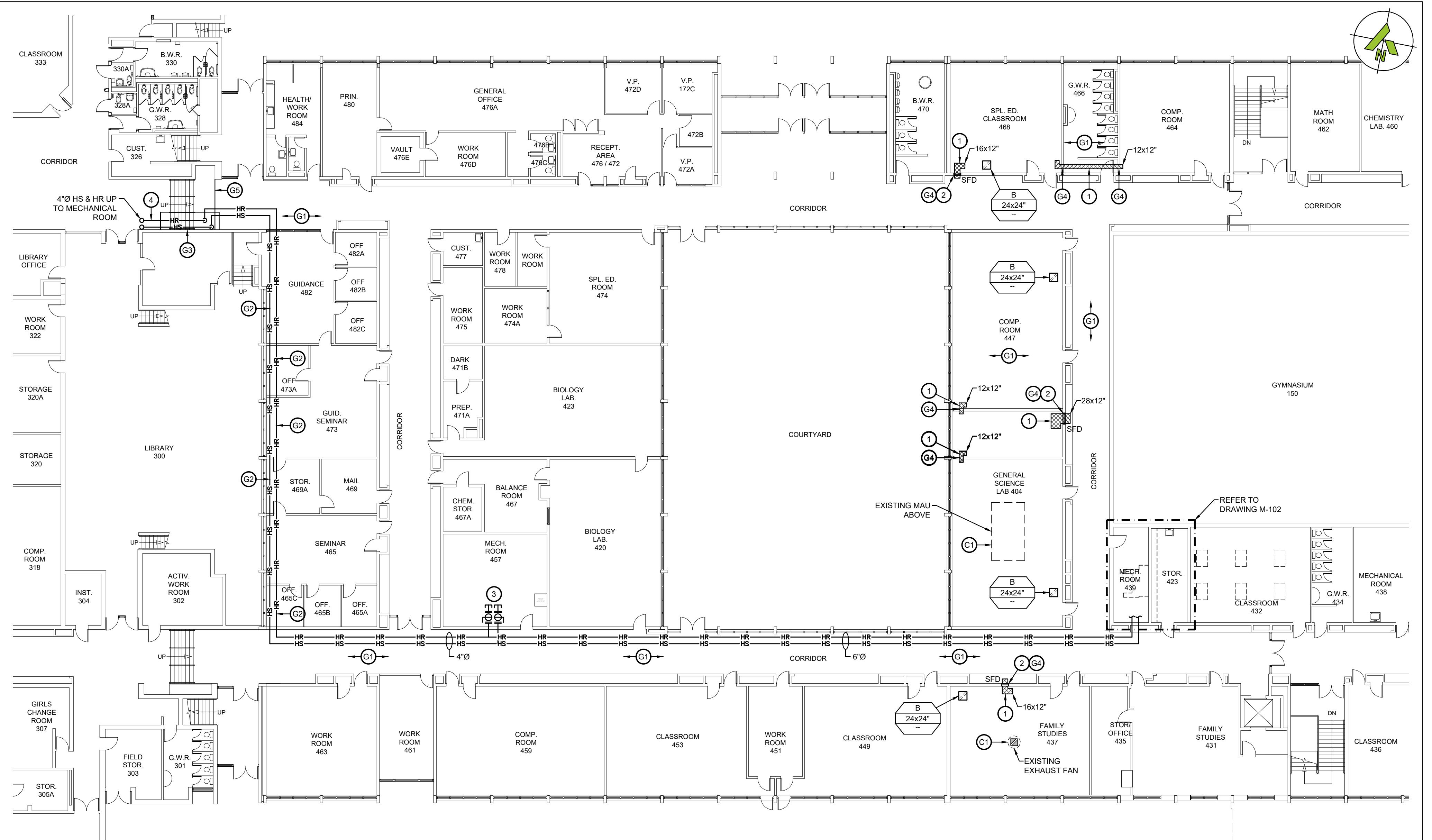
APPROVER: BRT APPROVER:

PROJECT No: A0001060 DRAWING No:

SHEET No: 10 of 16 M-104



## KEY PLAN - MAIN LEVEL



1 PARTIAL MAIN LEVEL - NEW LAYOUT  
M-105 SCALE: 1/16"=1'

SCALE: 1/16" = 1'

## NEW WORKING NOTES - MECHANICAL :

- PROVIDE NEW ACOUSTICALLY LINED TRANSFER ELBOW. REFER TO DETAIL.
- PROVIDE NEW COMBINATION SMOKE AND FIRE DAMPER IN NEW WALL PENETRATION. COORDINATE WIRING OF SMOKE DETECTOR WITH ELECTRICAL CONTRACTOR.
- PROVIDE 4"Ø TAKEOFF FROM NEW HEATING MAINS INTO MECHANICAL ROOM 457. PROVIDE BUTTERFLY VALVES AND CAP FOR FUTURE USE.
- RUN HEATING PIPING UP ALONG WALL TO HIGH LEVEL AT AN ANGLE TO SUIT CEILING SLOPE. PIPING TO BE ENCLOSED BY DRYWALL CHASE. RUN UP THROUGH FLOOR ABOVE TO MECHANICAL ROOM.

## NEW WORKING NOTES - GENERAL TRADES:

- REINSTALL T-BAR CEILINGS TO NEAT AND LEVEL CONDITION AS PER EXISTING. PROVIDE NEW GRID AND TILES WHERE GRID WAS REMOVED FOR PIPING INSTALLATION. REUSE OF TILES IS AT THE DISCRETION OF THE DDSB. TILES MUST NOT BE STAINED OR DAMAGED.
- RESTORE STUD AND DRYWALL BULKHEAD TO FINISHED CONDITION FOLLOWING INSTALLATION OF NEW PIPING. PRIME AND PAINT WITH TWO COATS OF WHITE.
- PROVIDE NEW FINISHED STUD AND DRYWALL BULKHEAD TO CONCEAL HEATING PIPING ALONG WALL. PRIME AND PAINT WITH TWO COATS OF WHITE.
- PROVIDE NEW WALL OPENING AND LINTEL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.

## NEW WORKING NOTES - CONTROLS:

- PROVIDE STATUS FOR EXISTING EXHAUST FAN TO SLOW DOWN AHU-8 RETURN FAN.

## GENERAL NEW MECHANICAL NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
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Date	Description	By

The logo for CIMA+ features the letters 'CIMA' in a large, bold, dark grey sans-serif font. A green diagonal line starts from the bottom left of the 'I' and extends to the top right of the 'A'. A green plus sign is positioned to the right of the 'A'. Below the logo, the text 'T 905 697-4464' is in a smaller black font, followed by the address '415 Baseline Road West, Bowmanville, ON L1C 5M2 CANADA' in a larger black font.



**DDSB**  
*Ignite Learning*

NAME: **DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1**

655 SHEPPARD AVENUE, PICKERING, ON

## PARTIAL MAIN LEVEL NEW LAYOUT

## MECHANICAL

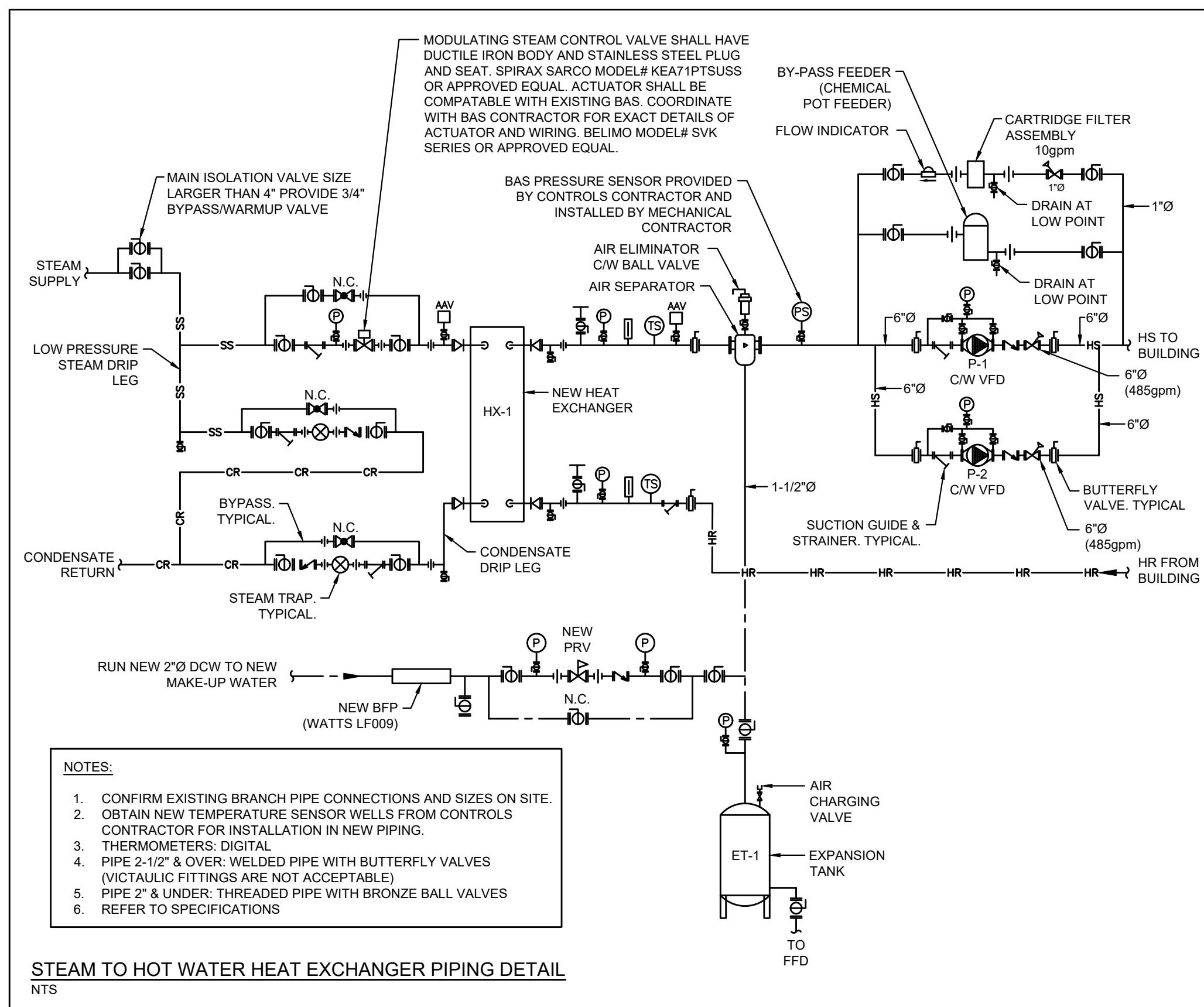
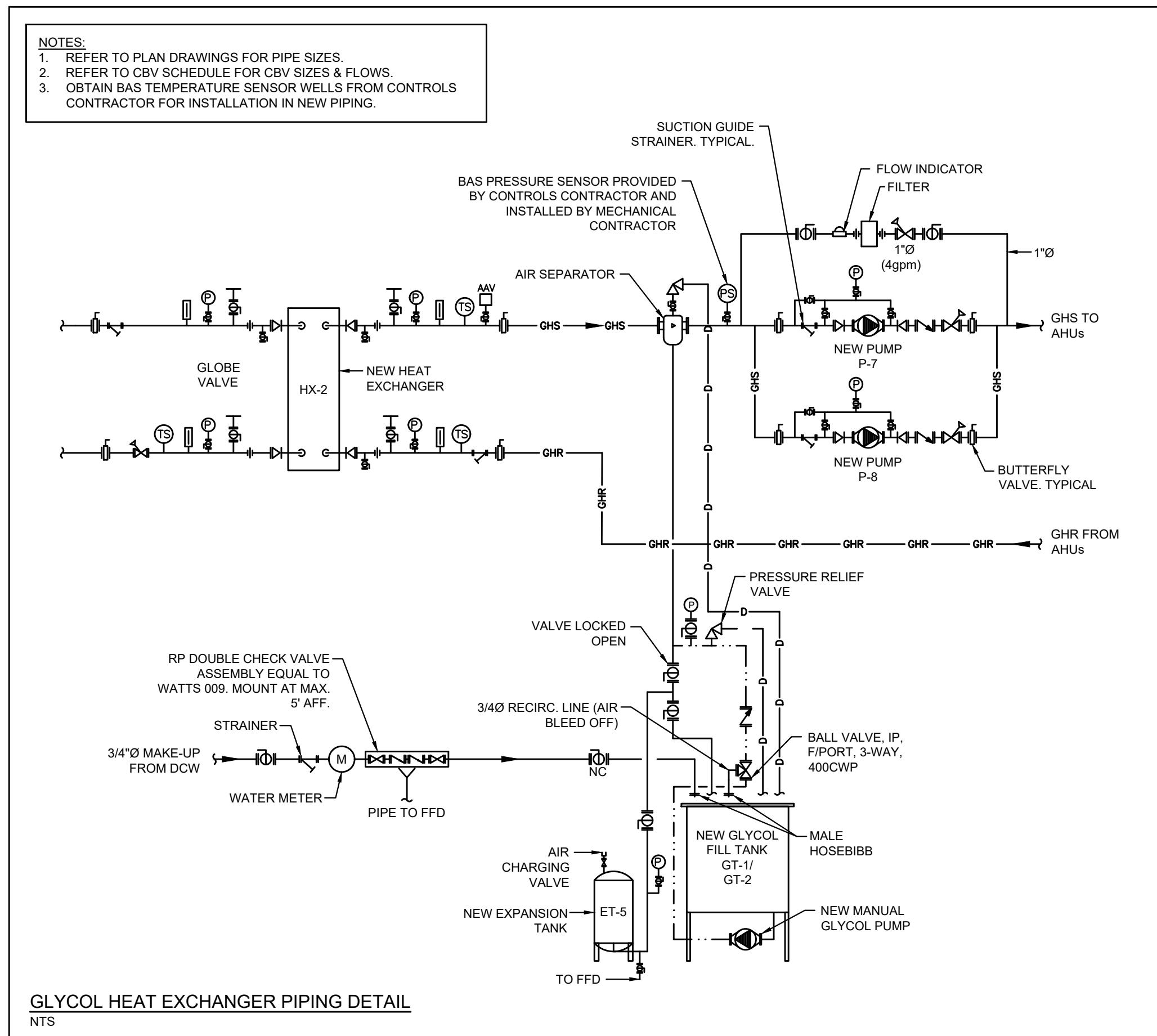
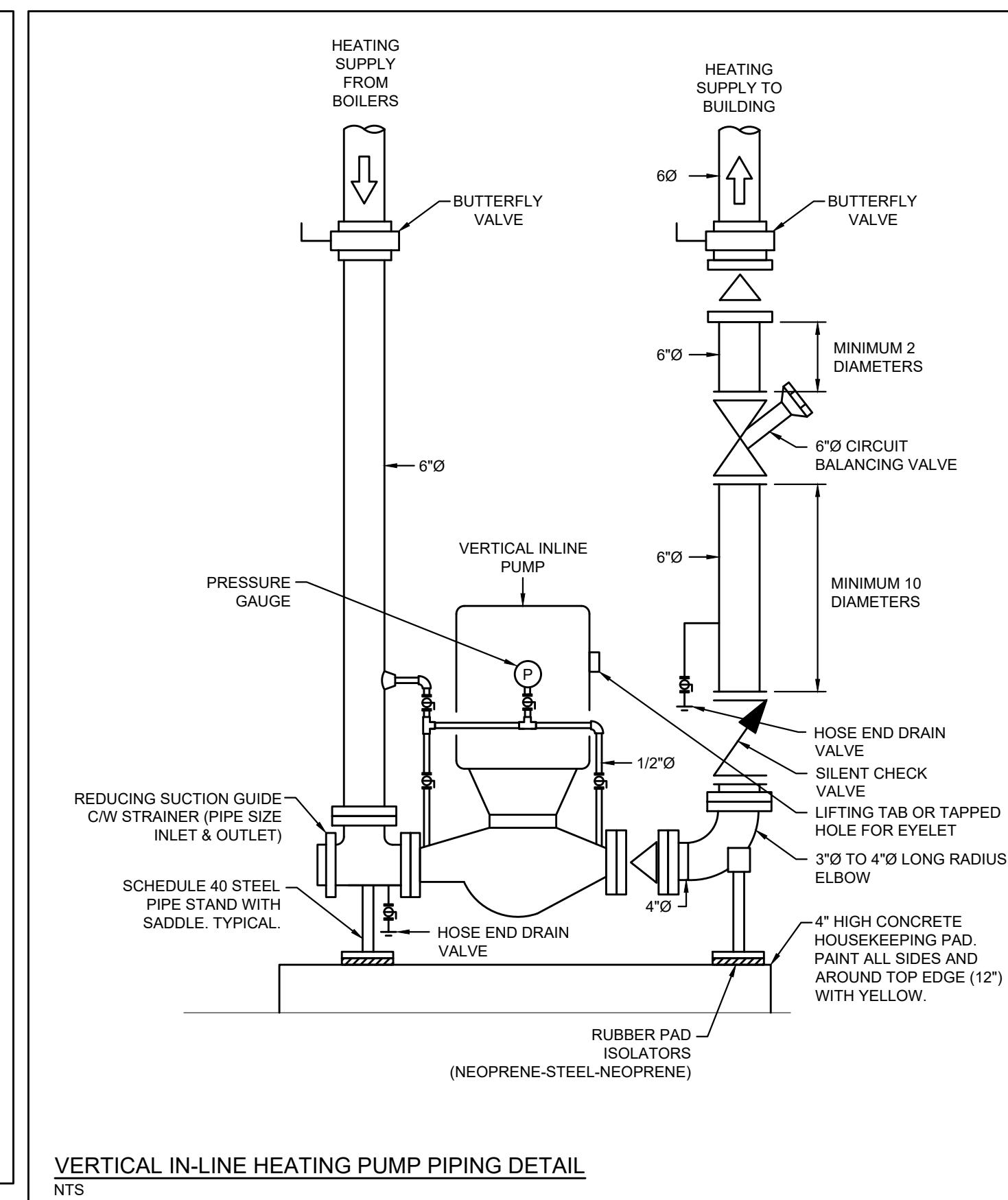
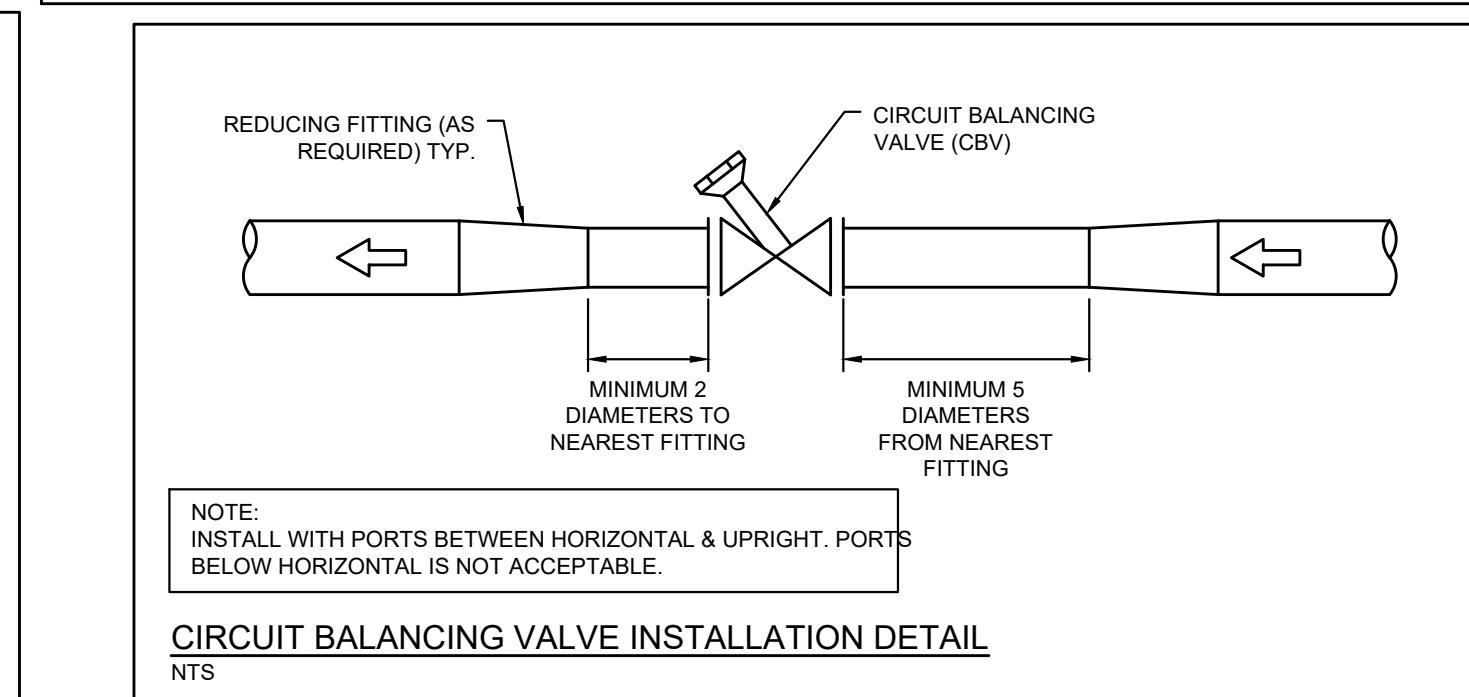
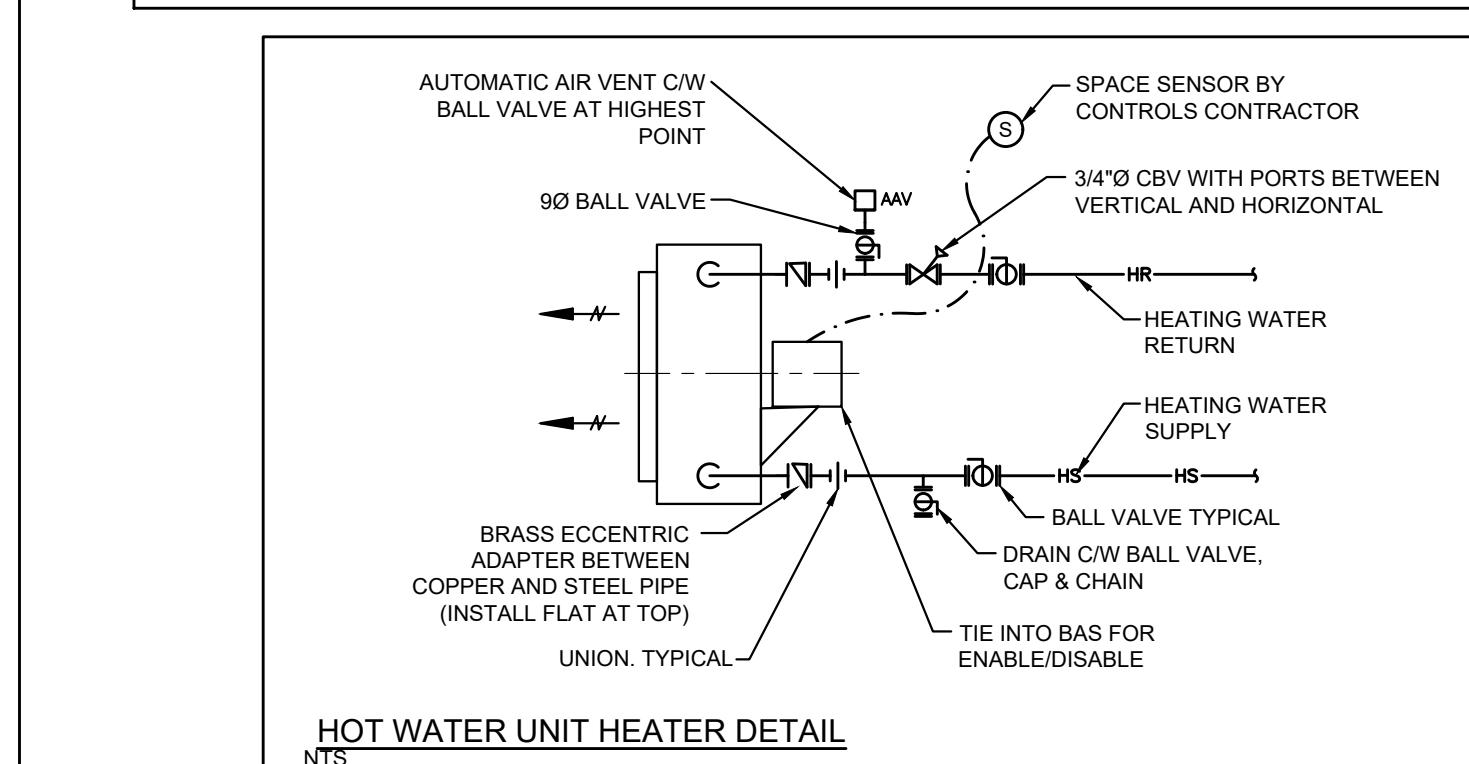
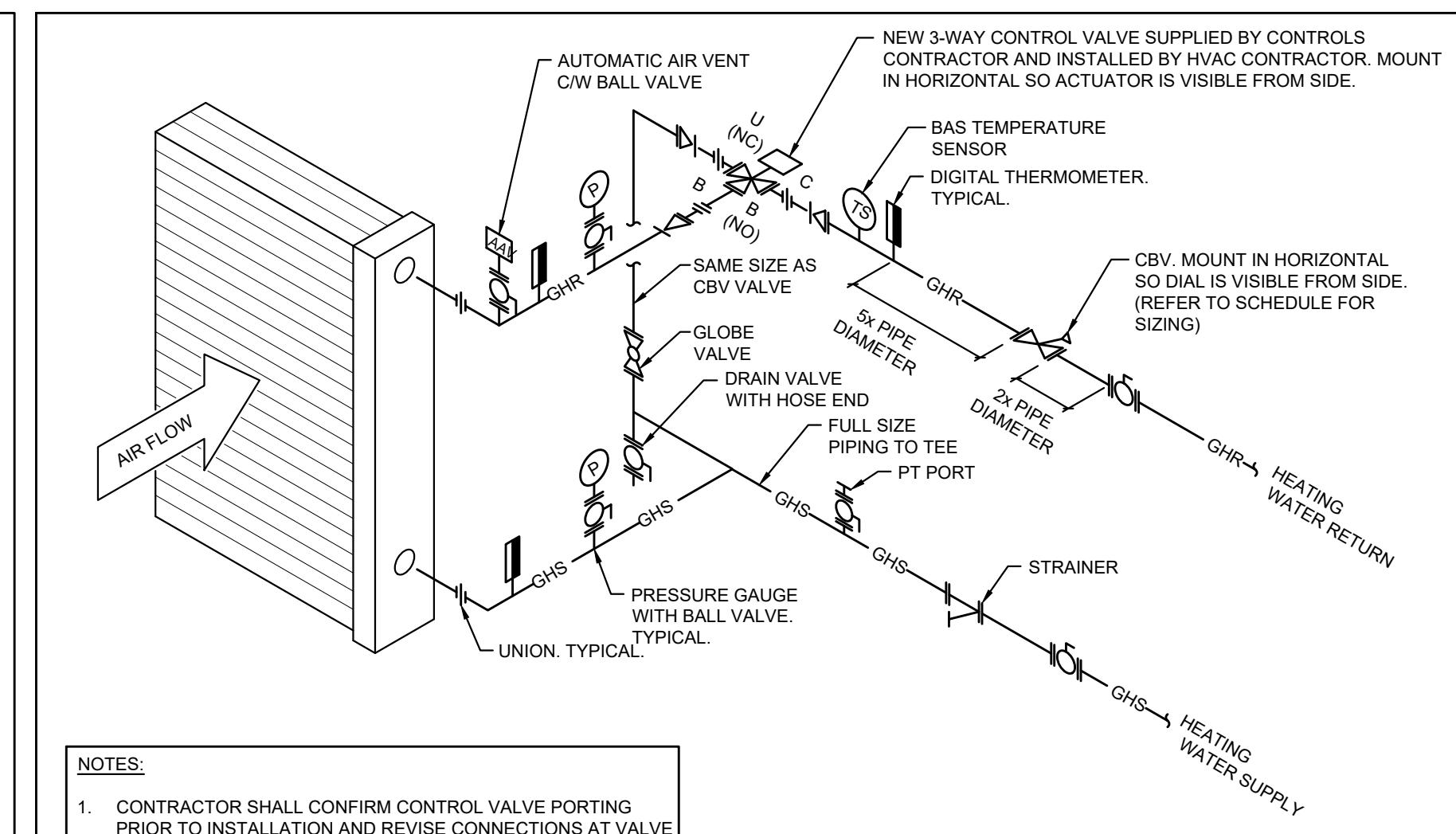
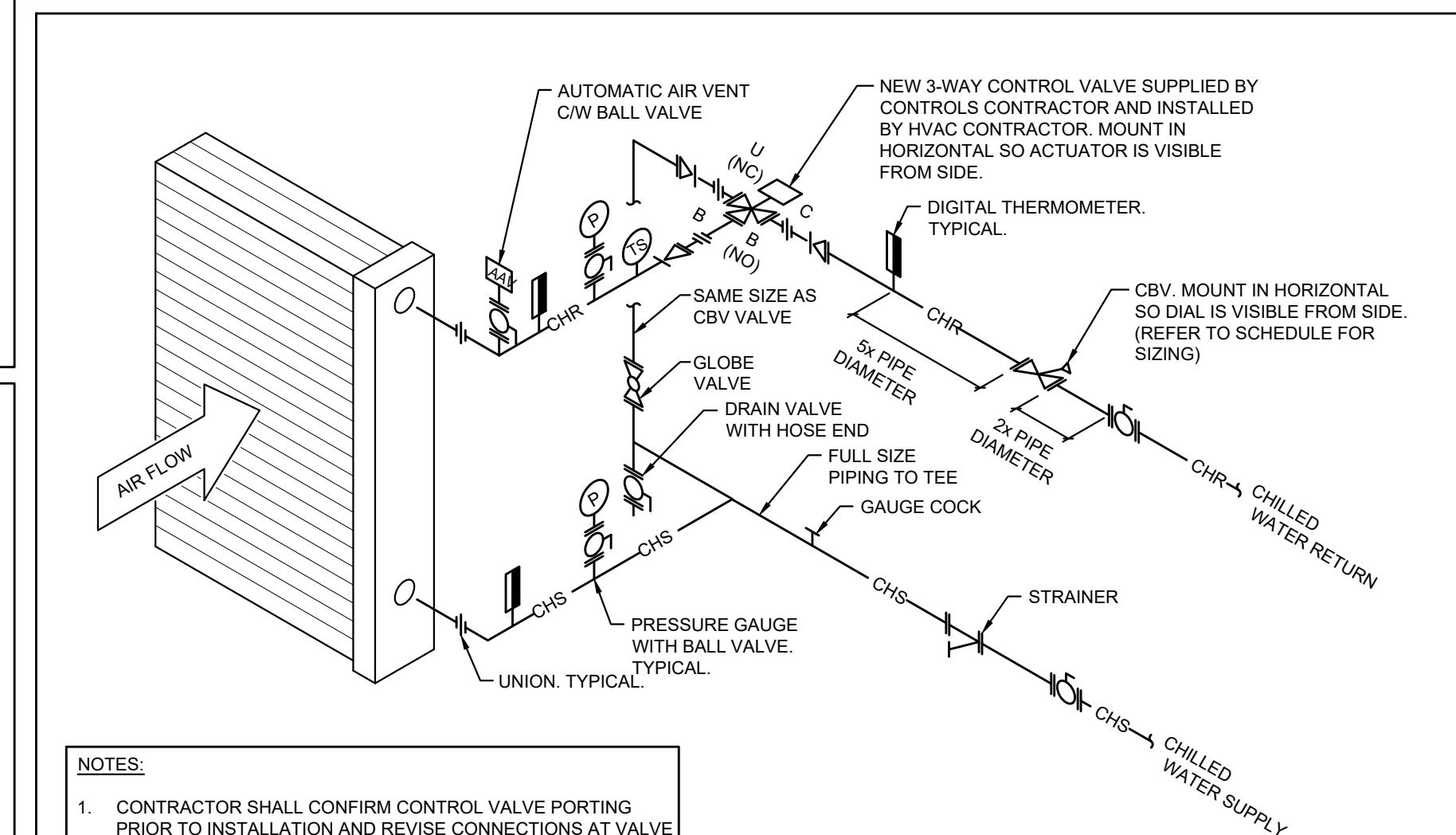
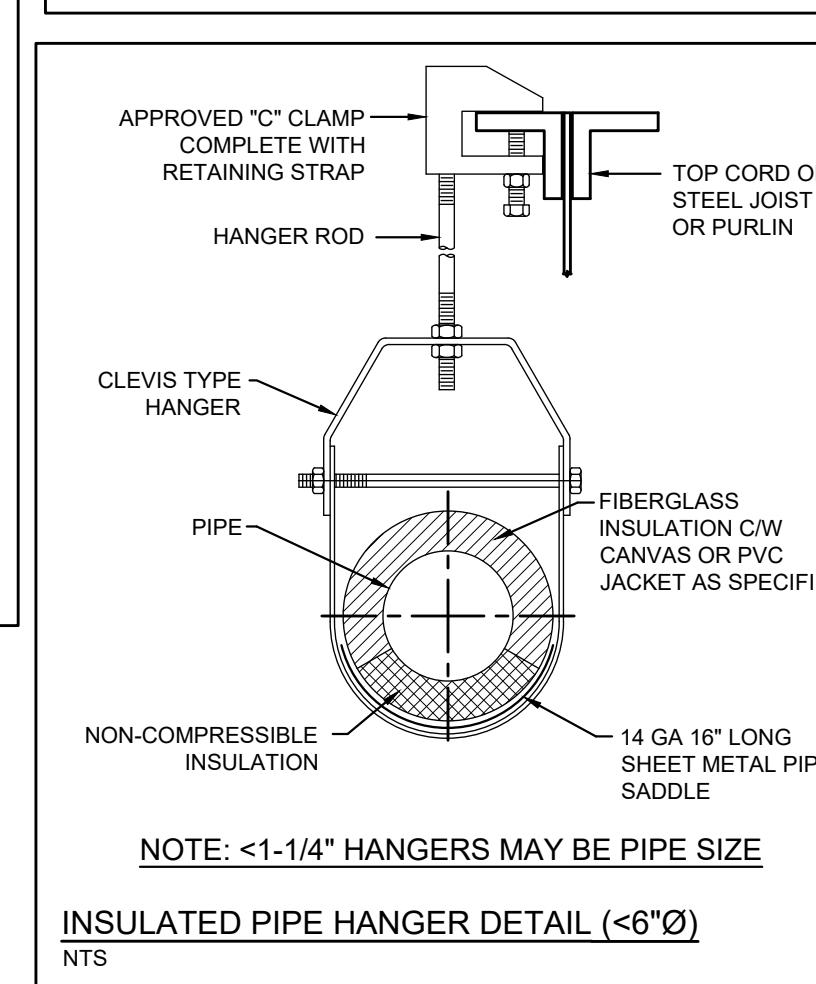
... **SCALE:**

AS NOTED

2026-01-07

ER: **APPROVER:**

**No:** **DRAWING No:**

STEAM TO HOT WATER HEAT EXCHANGER PIPING DETAIL  
NTSGLYCOL HEAT EXCHANGER PIPING DETAIL  
NTSVERTICAL IN-LINE HEATING PUMP PIPING DETAIL  
NTSCIRCUIT BALANCING VALVE INSTALLATION DETAIL  
NTSHOT WATER UNIT HEATER DETAIL  
NTSHEATING COIL DETAIL C/W 3-WAY VALVE (AHU-5, AHU-8, AHU-10 & AHU-12)  
NTSCHILLED WATER COIL DETAIL C/W 3-WAY VALVE (AHUs)  
NTSINSULATED PIPE HANGER DETAIL (6"Ø)  
NTS

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LICENSED PROFESSIONAL ENGINEER  
B. R. TIMSON  
100511696  
JAN 1/26  
PROVINCE OF ONTARIO

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T 905 697-4464  
415 Baseline Road West, Bowmanville,  
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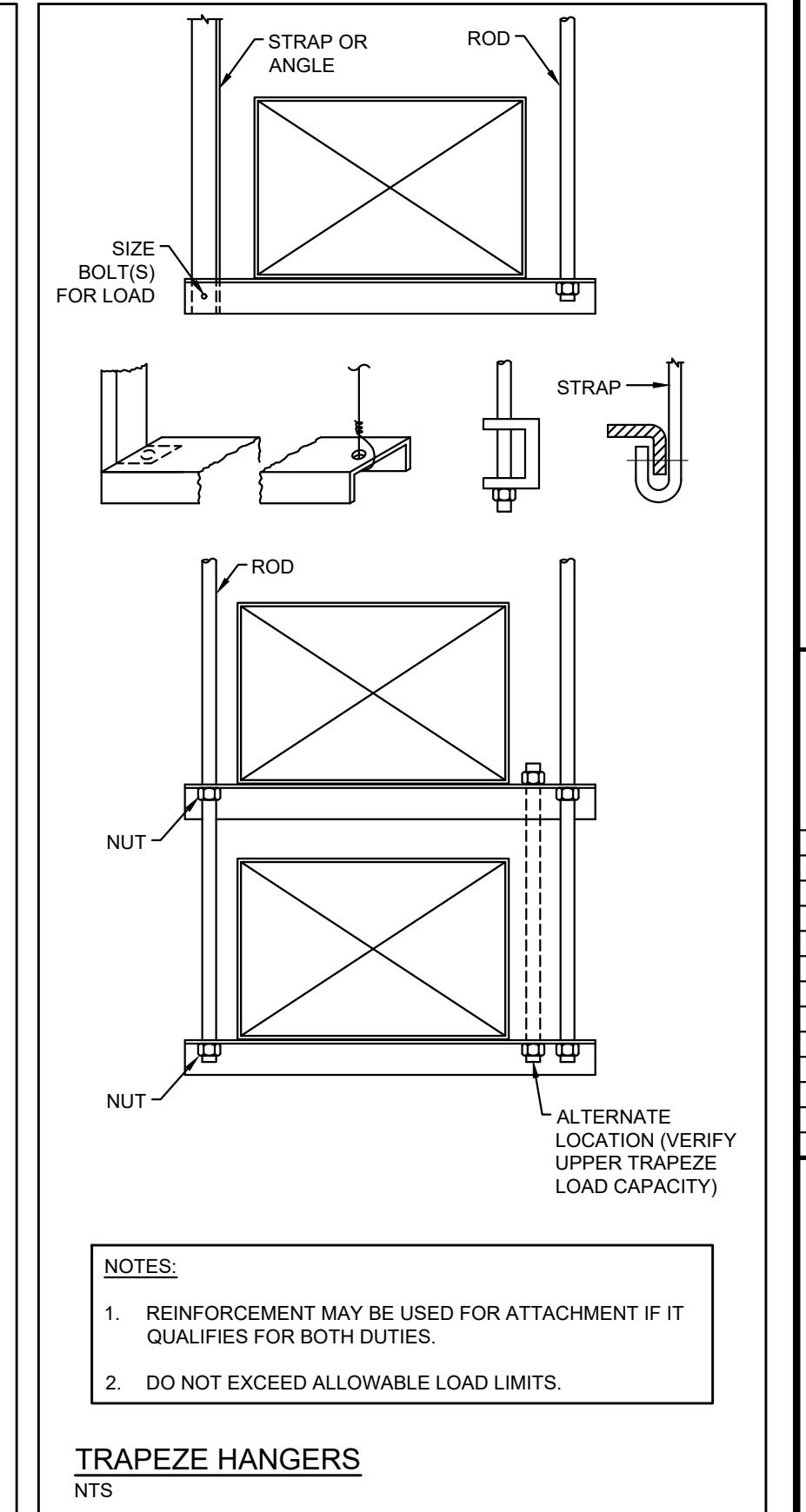
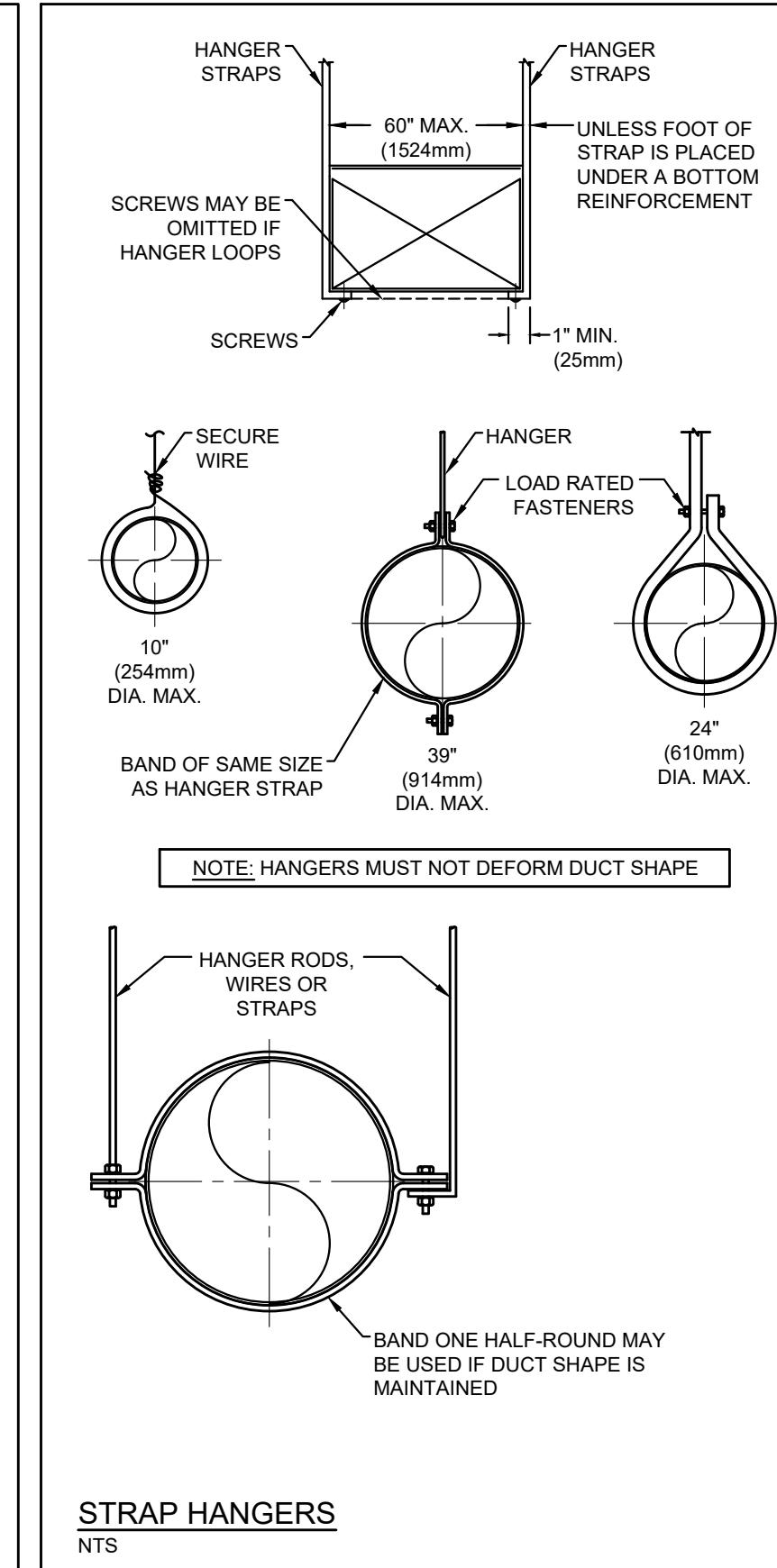
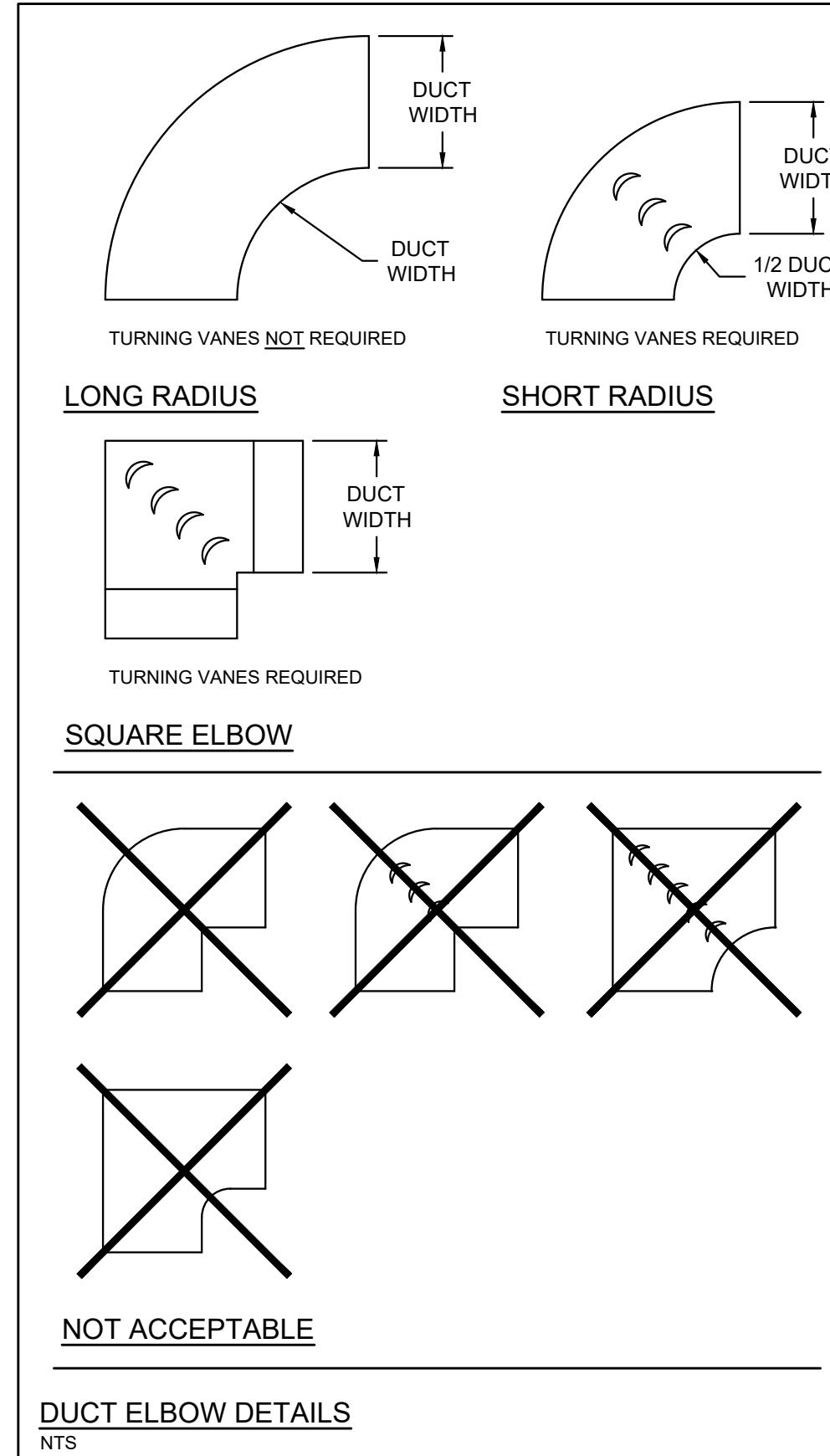
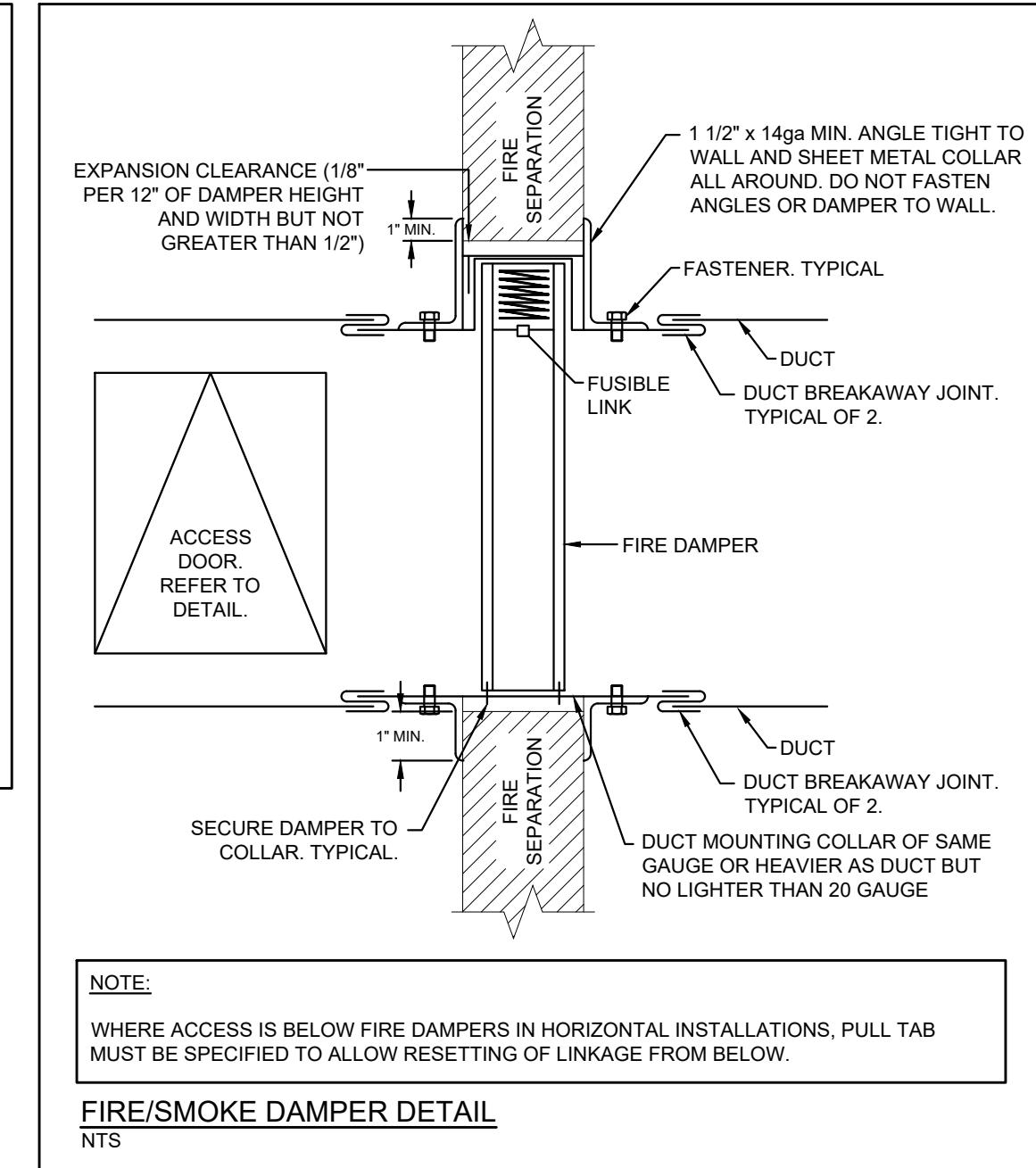
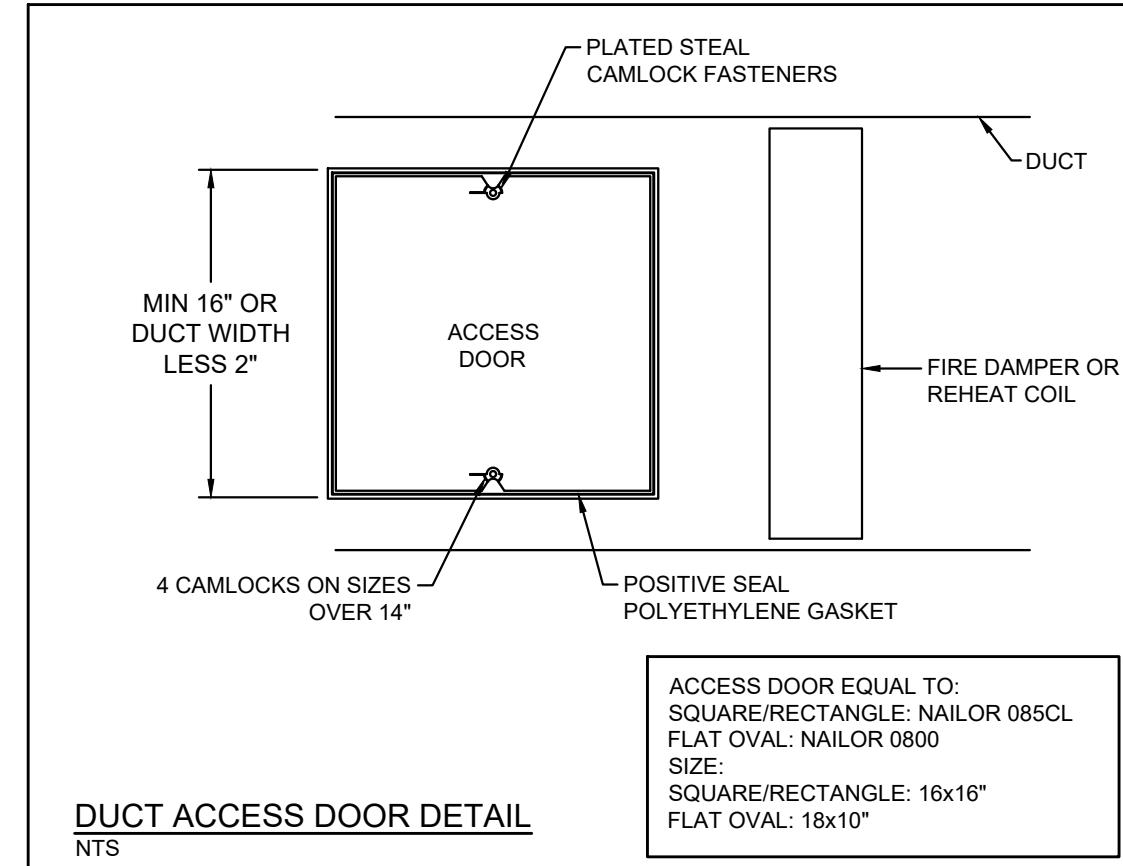
PROJECT NAME:  
DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PIPING DETAILS

MECHANICAL

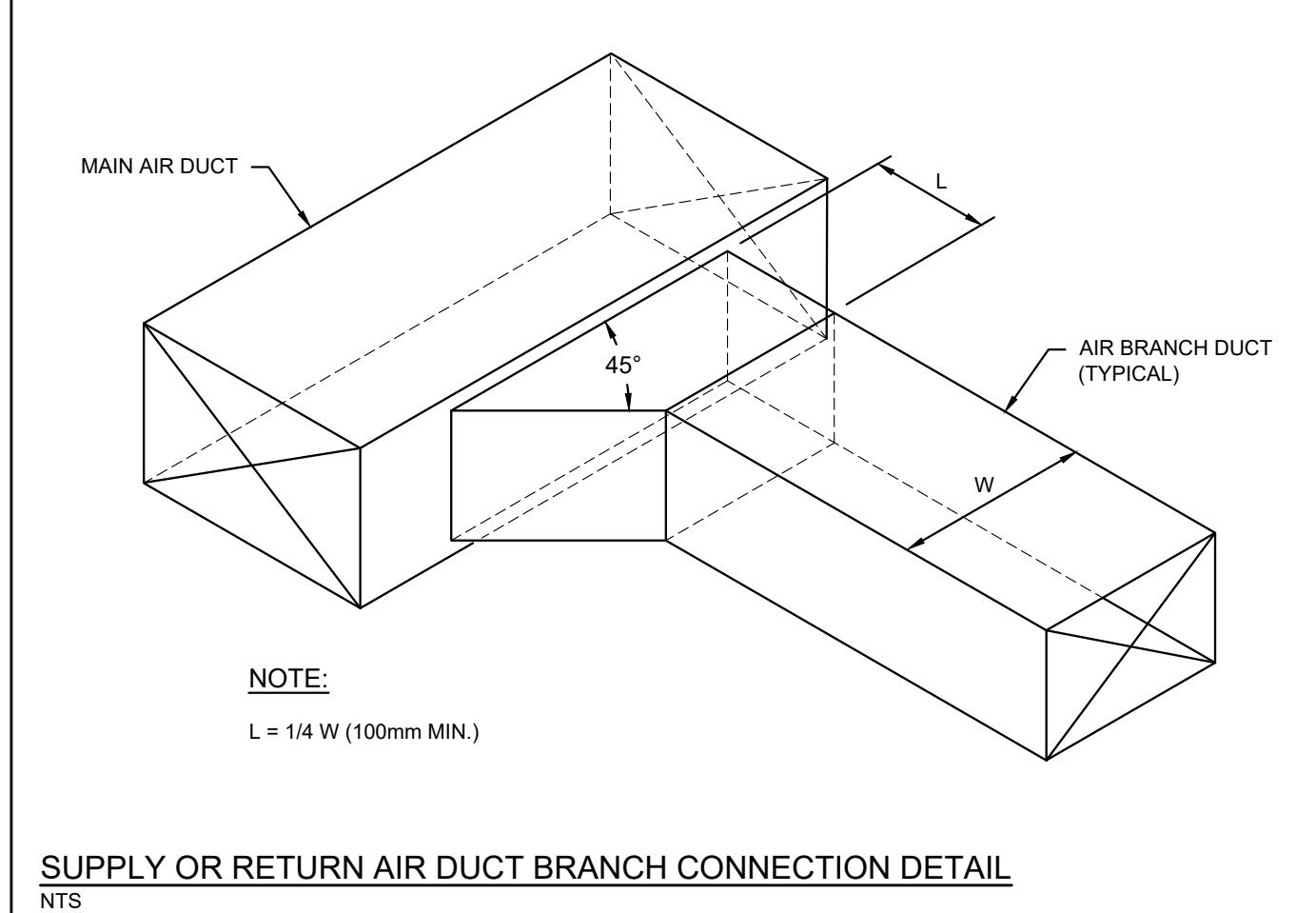
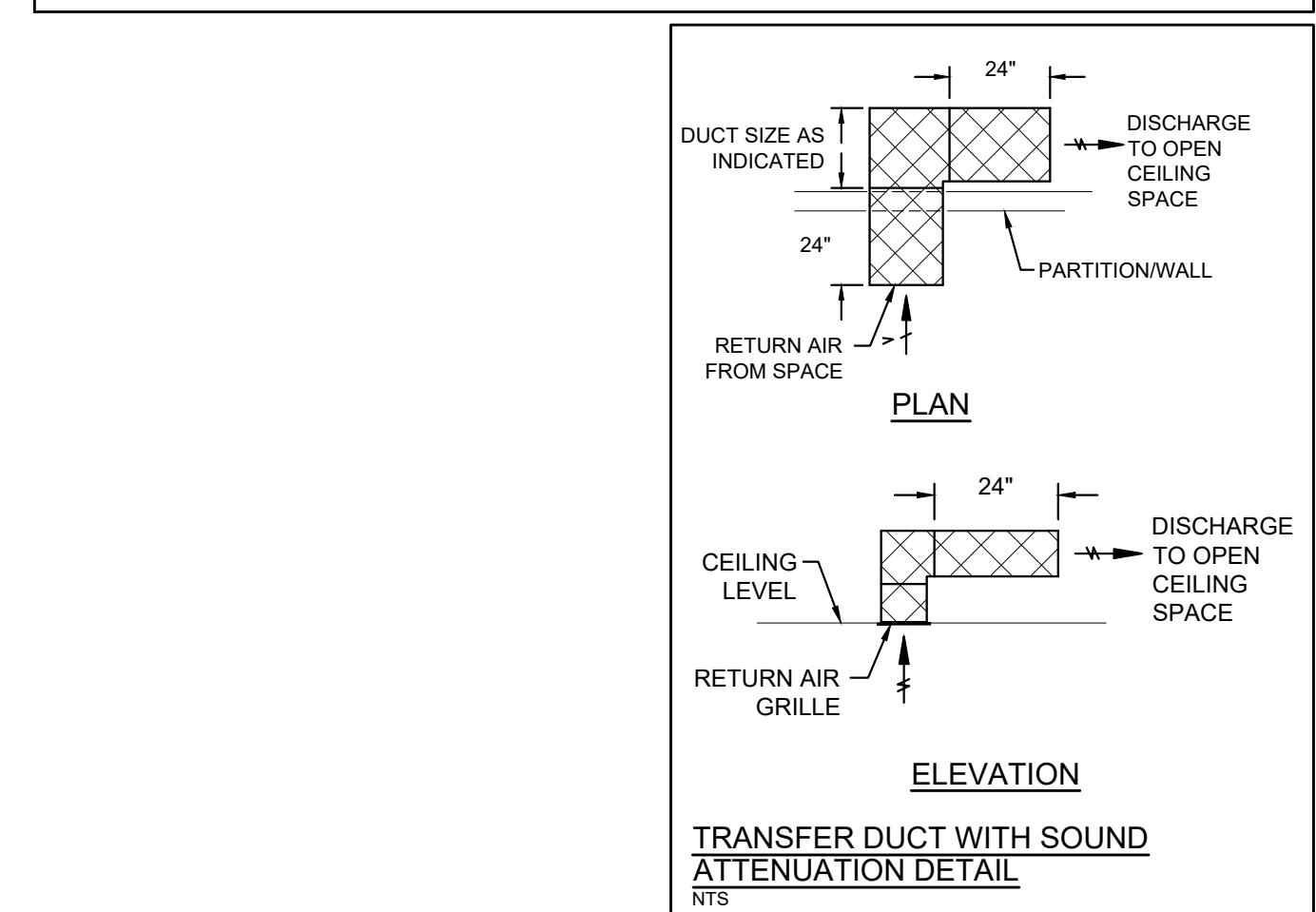
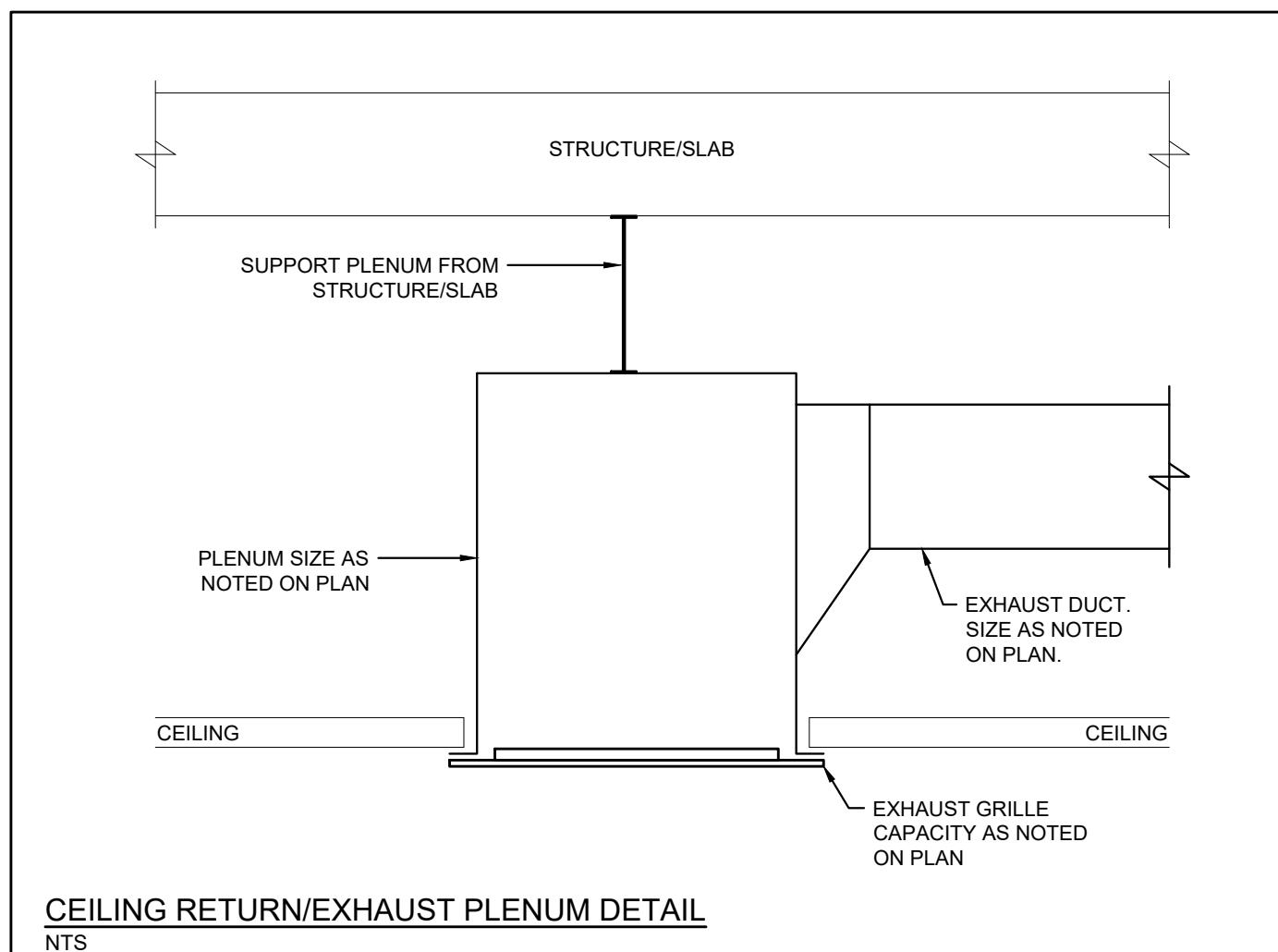
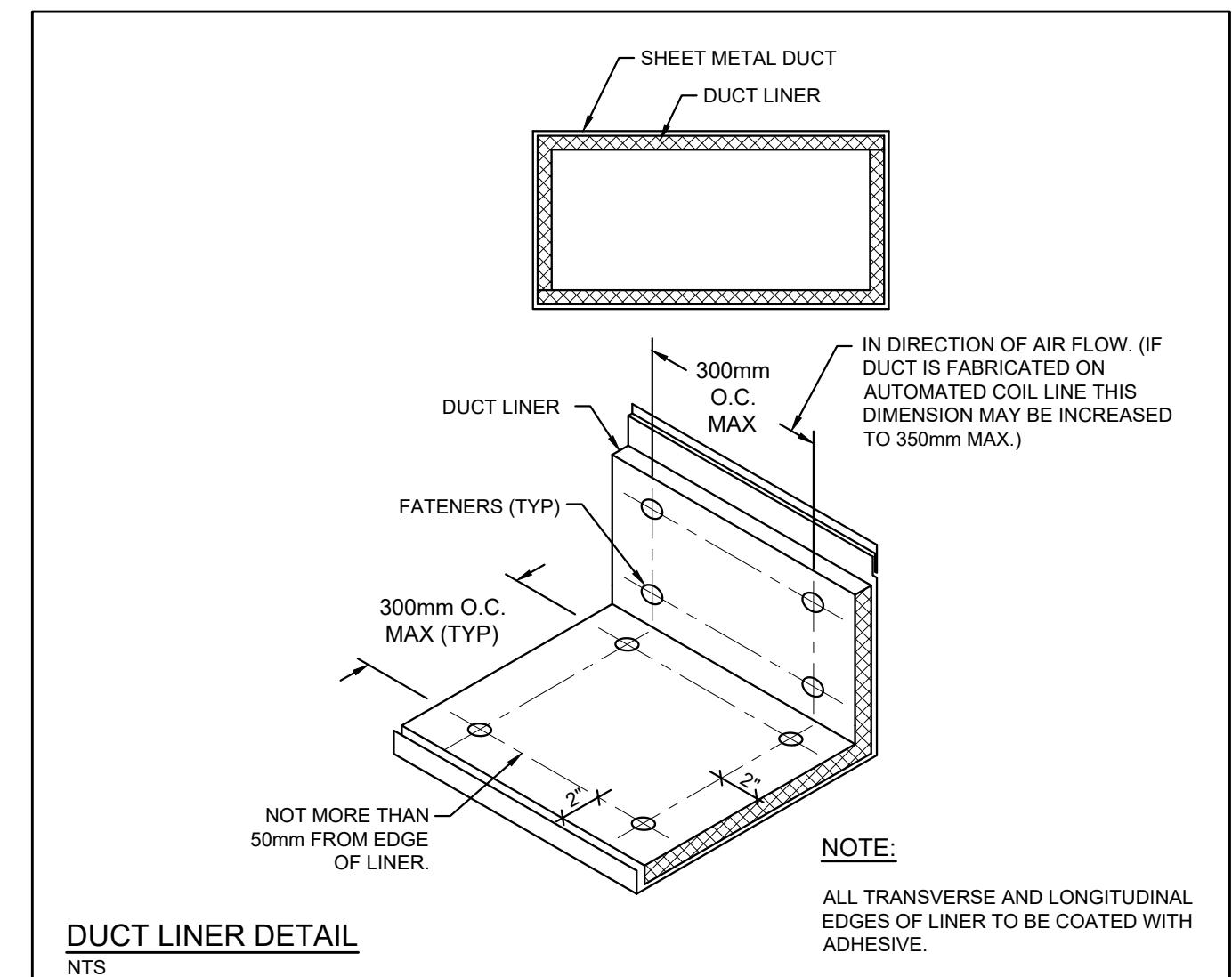
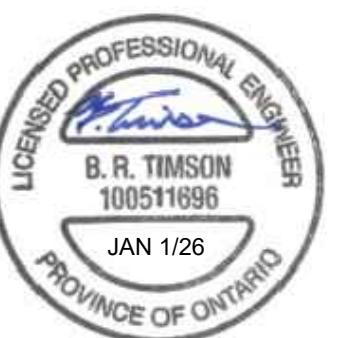
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DESIGNER:	UZ	DATE:	2026-01-07
APPROVER:	BRT	APPROVER:	
PROJECT No:	A0001060	DRAWING No:	



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415 Baseline Road West, Bowmanville,  
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CLIENT:  
**DDSB**  
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STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SheET TItLE:

DUCTWORK DETAILS

DISCIPLINE: MECHANICAL  
DRAFTER: MRC  
DESIGNER: UZ  
APPROVER: BRT  
PROJECT No: A0001060  
DRAWING No:  
SHEET No:  
13 of 16

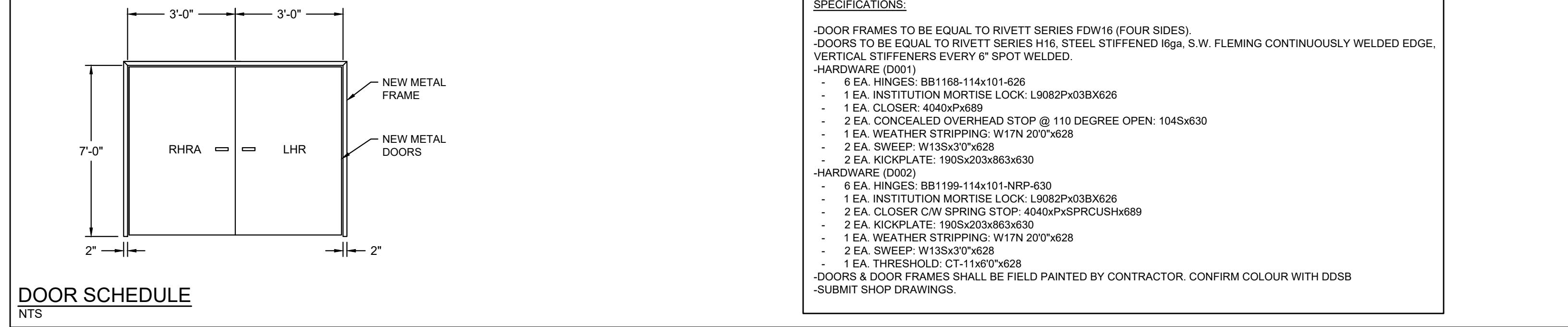
M-502

RETURN FAN SCHEDULE (SEPARATE PRICE NO. 1)											
TAG		RF-1									
SERVICE		WEST 1968 ADDITION									
LOCATION		MECHANICAL PENTHOUSE									
MANUFACTURER		DAIKIN									
MODEL		CAH031GVDM									
AIR FLOW	cfm	23,400									
EXTERNAL STATIC	in.w.c.	0.6									
FAN DRIVE		BELT DRIVE									
FAN SPEED	rpm	920									
FAN TYPE		CENTRIFUGAL SQUARE INLINE - SIDE DISCHARGE									
FAN MOTOR	hp	3 (2.46 bhp) - PREMIUM EFFICIENCY									
MOTOR RPM	rpm	1,750									
MOTOR ELECTRICAL	volt/ph	208/3									
MOTOR FLA	amps	23.3									
SOUND POWER	Hz	63	125	250	500	1000	2000	4000	8000		
SOUND POWER - OUTLET	dB	78	89	63	57	53	53	46	51		
SOUND POWER - INLET	dB	71	86	72	67	68	73	62	52		
DIMENSIONS	inches	122L x 98W x 60H									
APPROX. TOTAL WEIGHT	lbs	434									
MAXIMUM SECTION LENGTH	inches	54									
CONTROLS		REFER TO CONTROLS SCHEMATICS AND DETAILS									
RETURN FAN ACCESSORIES		-UNIT SHIPPED IN SECTIONS FOR FIELD ASSEMBLY (BY CONTRACTOR) IN MECHANICAL ROOM -R-13 INJECTED FOAM INSULATION WITH LINER -RETURN FAN C/W ODP PREMIUM EFFICIENCY INVERTER DUTY MOTORS WIRED TO JUNCTION BOX ON OUTSIDE OF UNIT C/W CONNECTION FOR REMOTE VFD -INTERNAL ISOLATION -WINDOW FOR FAN SECTIONS -MARINE LIGHT AND SWITCH KIT FOR FAN SECTIONS WIRED TO JUNCTION BOX ON OUTSIDE OF UNIT -HINGED ACCESS DOORS WITH LEVER HANDLES -4" BASE RAIL -SPARE SET OF BELTS									
ALTERNATE MANUFACTURERS		REFER TO SPECIFICATIONS									

AIR HANDLING UNIT SCHEDULE													
TAG		AHU-5			AHU-8			AHU-10			AHU-12		
SERVICE		ORIGINAL 1958 BUILDING - LOWER LEVEL			SOUTHWEST (1971 ADDITION) - GROUND FLOOR			CENTRAL EAST (1961 ADDITION) - LOWER LEVEL			WEST (1968 ADDITION)		
LOCATION		BOILER ROOM 142C			NEW MECHANICAL ROOM 423			MECHANICAL ROOM 139			MECHANICAL PENTHOUSE		
TYPE		HEATING			HEATING			HEATING			HEATING & COOLING		
CONFIGURATION		STACKED - OPPOSED AIRFLOWS			STACKED - OPPOSED AIRFLOWS			STACKED - OPPOSED AIRFLOWS			HORIZONTAL		
MANUFACTURER		DAIKIN			DAIKIN			DAIKIN			DAIKIN		
MODEL		CAH009GHD			CAH012GHD			CAH013GHD			CAH071GDGM		
AIR FLOW	cfm	1,600			2,050			2,050			5,800		
EXTERNAL STATIC	in.w.c.	0.75			0.65			0.65			2.0		
FAN DRIVE		BELT DRIVEN			BELT DRIVEN			BELT DRIVEN			BELT DRIVEN		
FAN SPEED	rpm	2,318			2,626			2,154			1,450		
FAN TYPE		CENTRIFUGAL - PLENUM			CENTRIFUGAL - PLENUM			CENTRIFUGAL - PLENUM			CENTRIFUGAL - PLENUM		
FAN MOTOR	hp	5.0 (43.56 bhp)			7.5 (47.8 bhp)			7.5 (6.51 bhp)			2@20HP		
MOTOR RPM	rpm	1,750			1,750			1,750			1,750		
MOTOR ELECTRICAL	volt/ph	208/3			208/3			208/3			208/3		
MOTOR FLA	amps	15.2			23.3			23.3			55.4		
RETURN FAN		UPPER			UPPER			UPPER			--		
AIR FLOW	cfm	2,500 CURRENT (3,800 FUTURE) - TBC			4,200 CURRENT (4,700 FUTURE)			4,625 CURRENT (7,000 FUTURE)			--		
EXTERNAL STATIC	in.w.c.	0.5			0.35			0.35			0.35		
FAN DRIVE		PREMIUM EFFICIENCY - ODP - BELT DRIVEN			PREMIUM EFFICIENCY - ODP - BELT DRIVEN			PREMIUM EFFICIENCY - ODP - BELT DRIVEN			--		
FAN SPEED	rpm	1,726			2,116			2,290			--		
FAN TYPE		CENTRIFUGAL - PLENUM			CENTRIFUGAL - PLENUM			CENTRIFUGAL - PLENUM			--		
FAN MOTOR	hp	2.0 (1.06 bhp)			3.0 (1.74 bhp)			3.0 (2.15 bhp)			--		
MOTOR RPM	rpm	1,750			1,750			1,750			--		
MOTOR ELECTRICAL	volt/ph	208/3			208/3			208/3			--		
MOTOR FLA	amps	6.5											

PLUMBING FIXTURE SCHEDULE											
EW-1 - EYEWASH STATION - WALL MOUNTED											
Haws Model 7360B wall mounted eye/face wash shall include a stainless steel 11" (27.9 cm) round bowl, an AXION MSR™ eye/face wash head shall feature inverted directional laminar flow which achieves zero vertical velocity supplied by an integral flow control, chrome-plated brass stay-open base, and a stainless steel base plate, stainless steel base plate, and chrome-plated brass in-line 50 x 50 mesh water strainer. Unit shall also include cast aluminum chrome protected wall bracket, yellow plastic pop-off dust cover for eyewash head, universal sight, 1/2" IPS inlet, and 1-1/2" IPS waste.											
EW-2 - EYEWASH STATION - WALL MOUNTED											
Guardian #G5046-BP - Wall Mounted - drench hose unit - two (2) side-by-side GS-Plus spray heads with flip top dust cover and filter - 3/8" (9.5 mm) NPT female inlet - in-line dual check backflow preventer installed on inlet of hose - 12 ft. Reinforced nylon retractable coiled hose - stainless steel lever handle activation - forged brass squeeze valve - bracket with spring clips to hold unit on wall - Unit is third party certified by IAPMO to meet ANSI Z358.1-2014, the Uniform Plumbing Code and the National Plumbing Code of Canada.											
TMV-1 - THERMOSTATIC MIXING VALVE - POINT OF USE - LOW TEMP											
Haws #9201EW Under-Counter mounted thermostatic mixing valve that mixes hot and cold water to supply tempered water to a single emergency eye/face wash fixture requiring flow up to 10 gpm (37.8 L). Unit employs a paraffin filled thermostatic mixing element. Cold Water Bypass flow rate of 3.8 gpm (14.4 L). The modular brass design with supplied check valves, oversized valve seats, and a funnel design to improve temperature control with better mixing at low flow rates. Lime and calcium resistant components are used throughout. The outlet temperature factory setting is 85° F (29° C). Maximum operating pressure: 125 psi (8.62 Bar). Temperature adjustment range 60° - 90° F (16° - 32° C). Min/max inlet water temperature: 120°/180° F (49°/82° C), with recommended inlet temperature: 140° F (60° C). Min/max inlet cold water temperature: 40°/65° F (4.4°/18.3° C). Inlets and outlet: 1/2" NPT(F).											

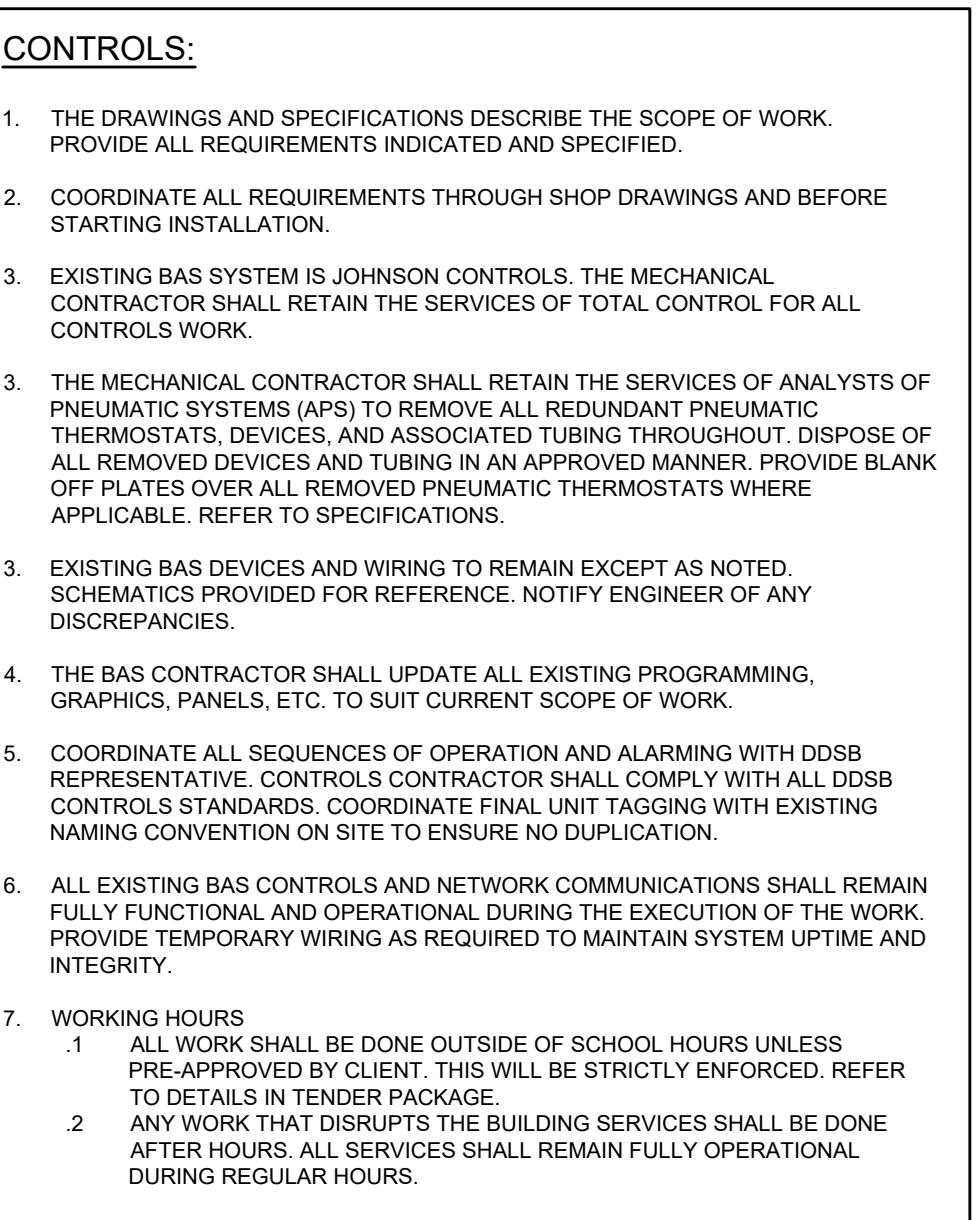
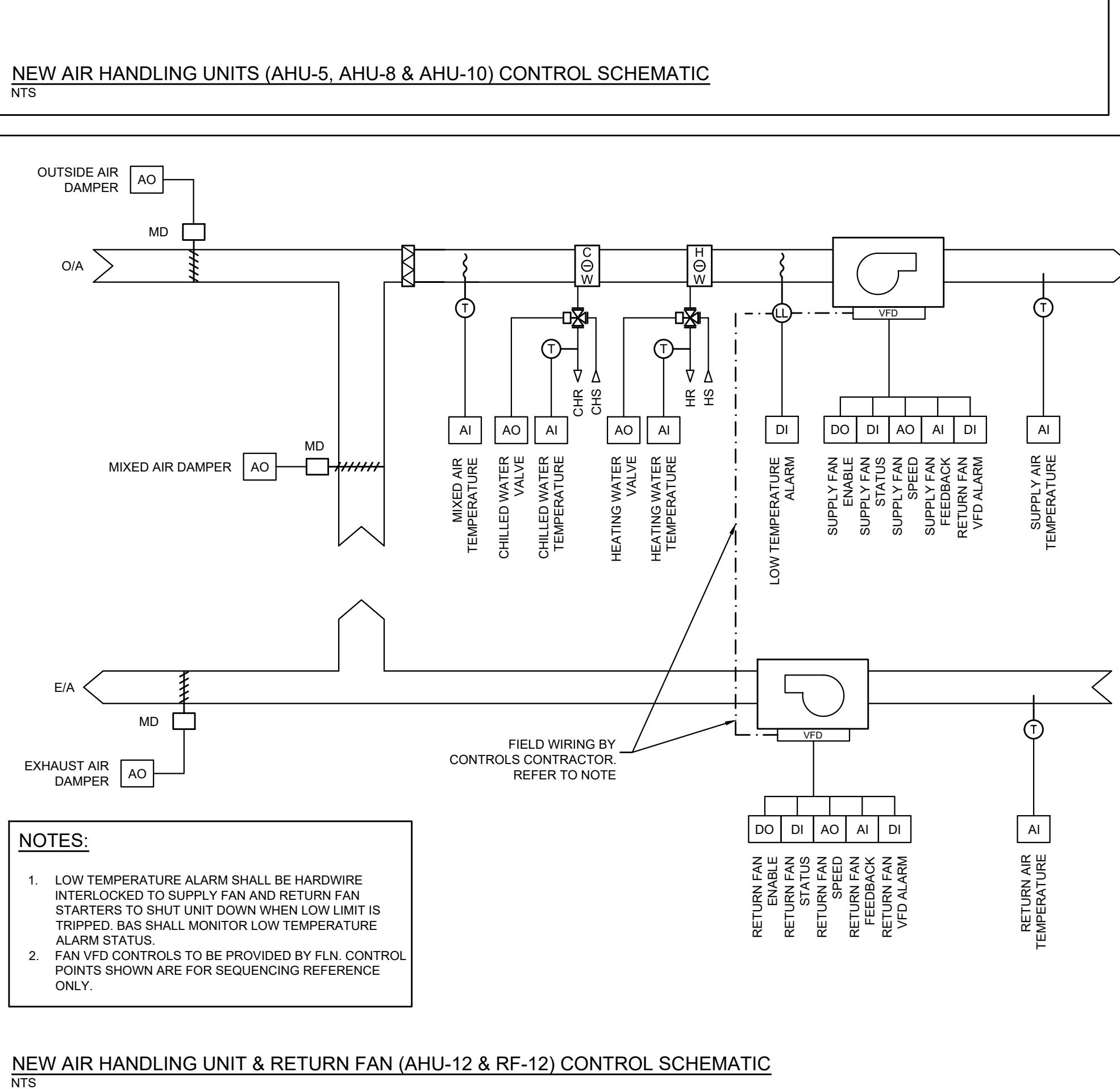
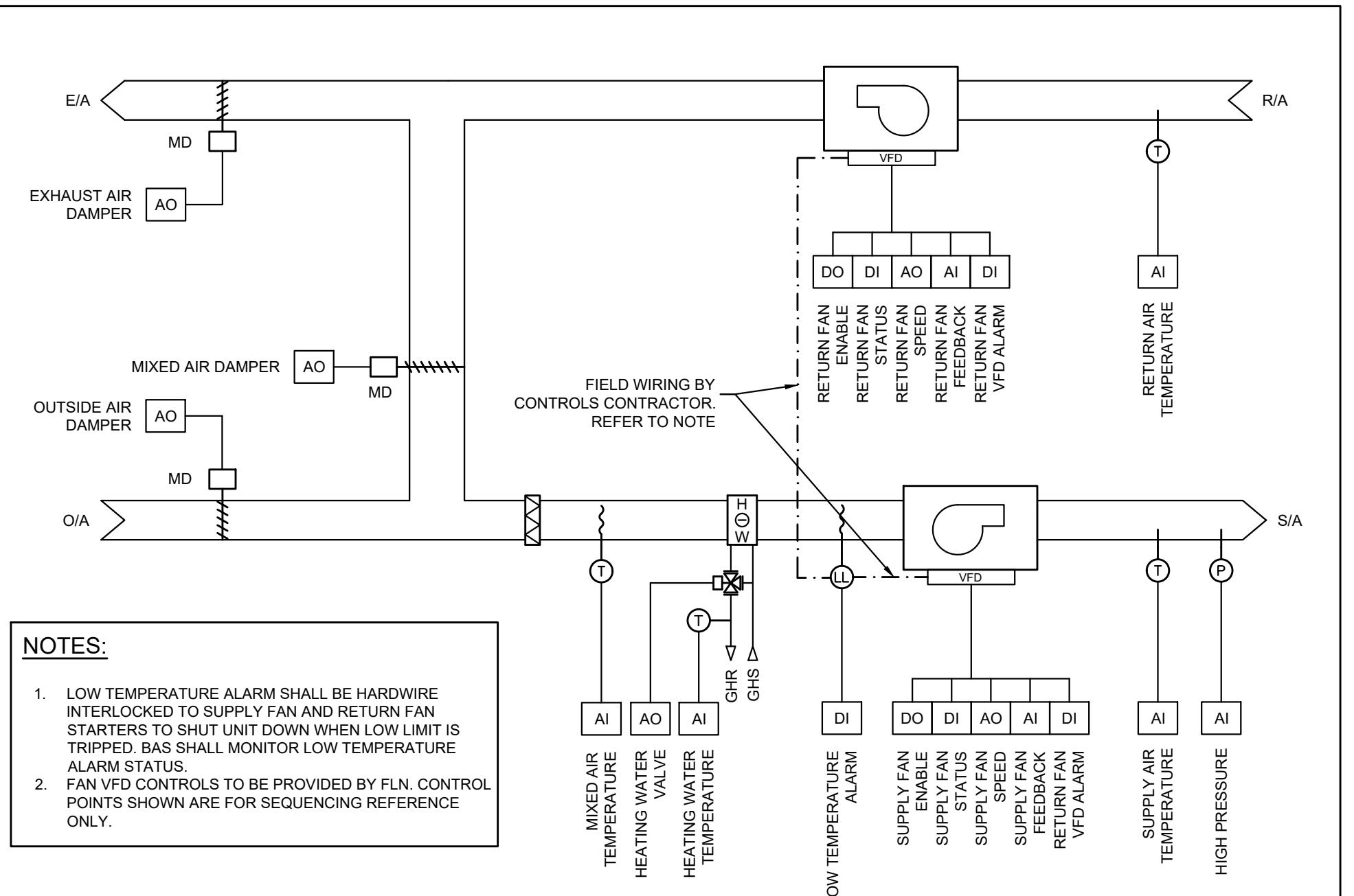
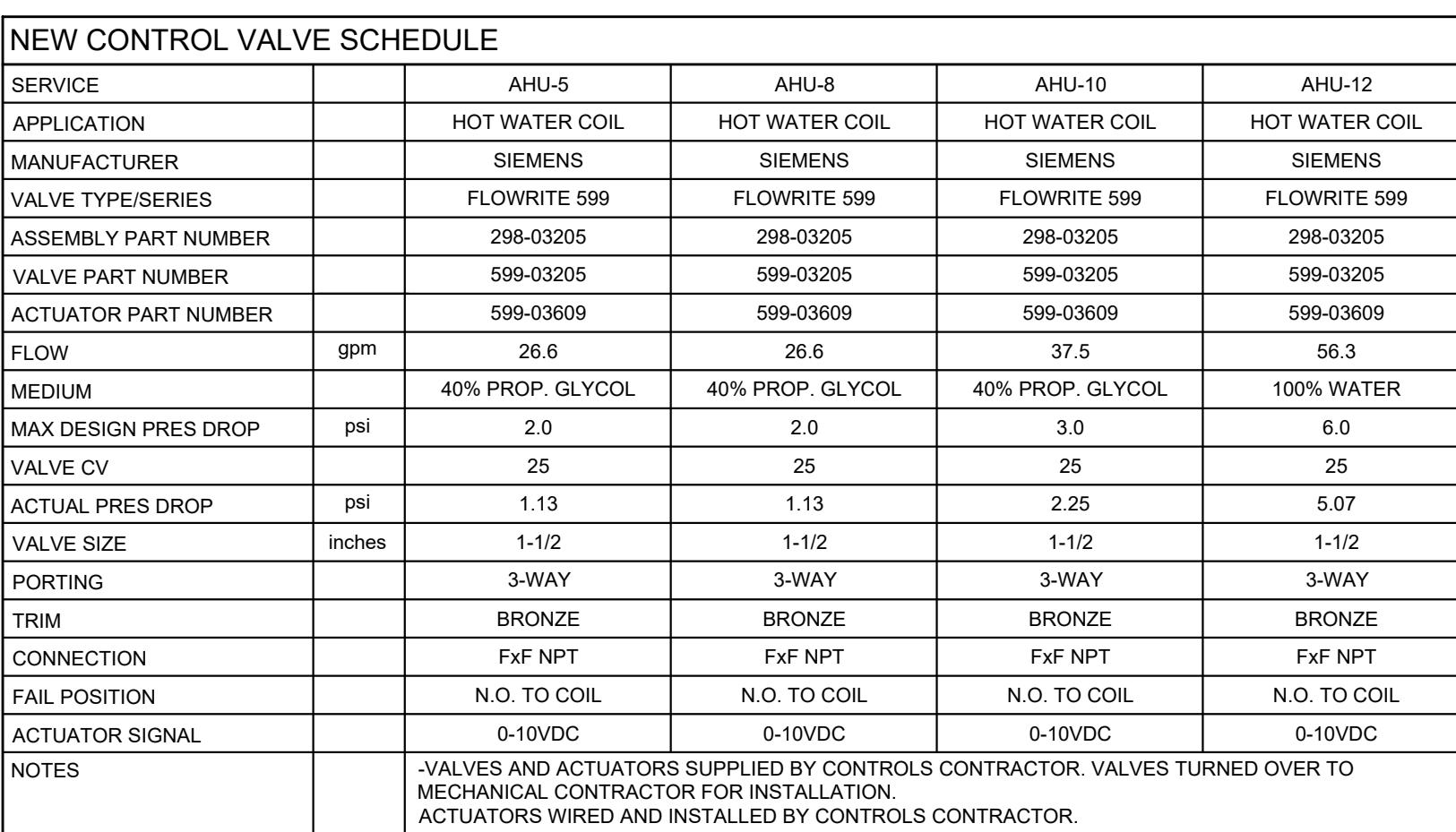
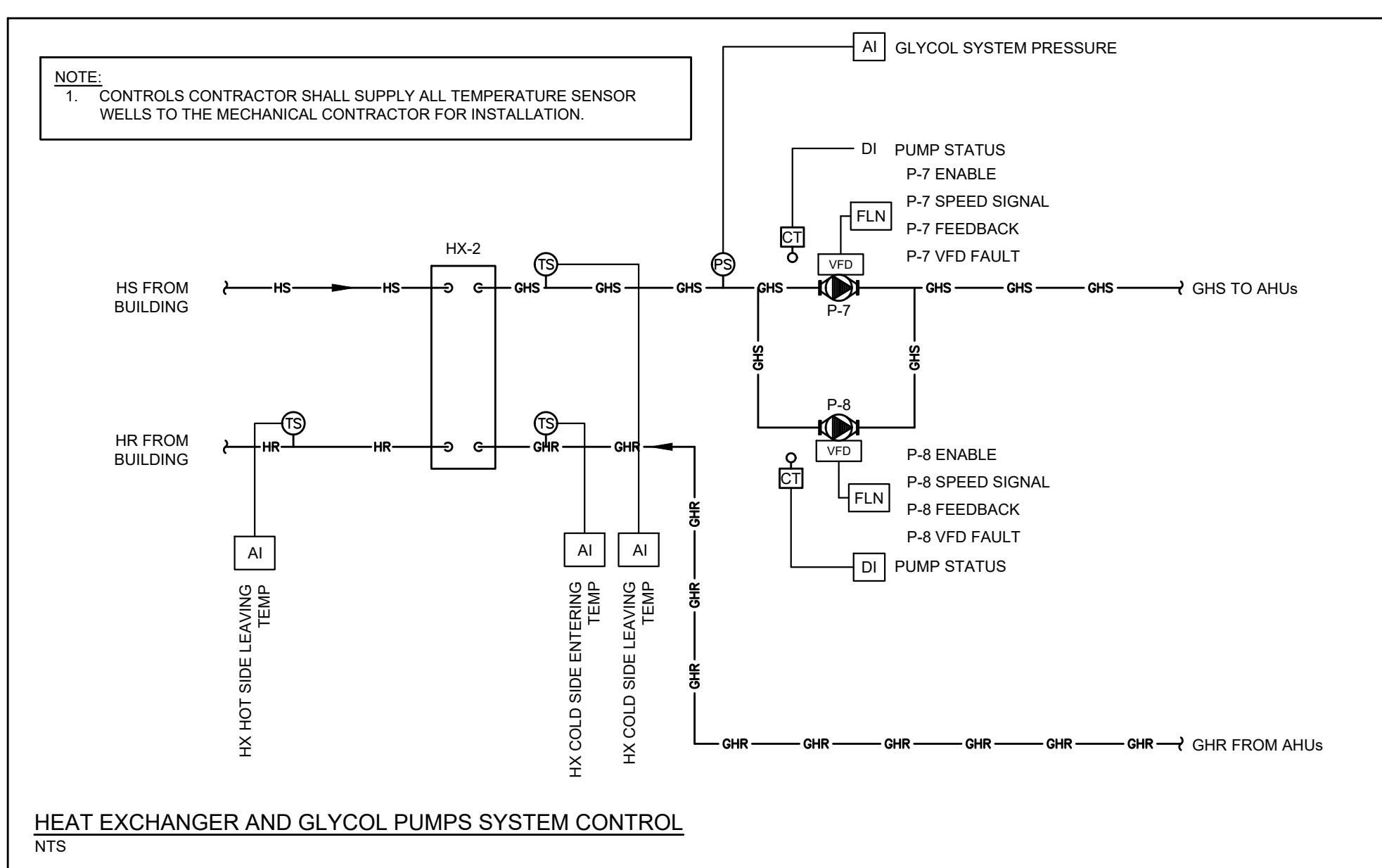
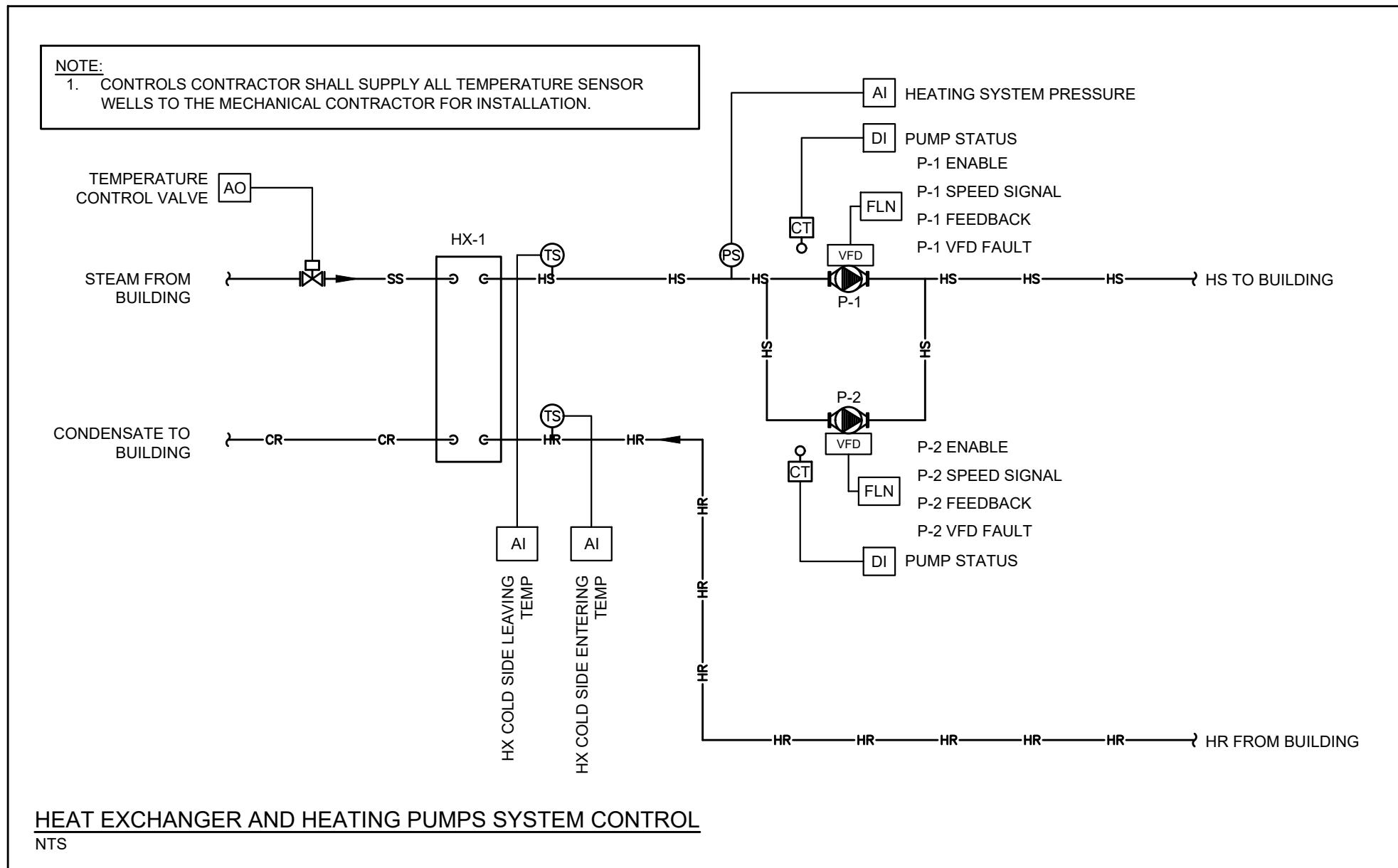
DOOR SCHEDULE																		
GENERAL				FRAME			DOOR				HARDWARE PREP				COMMENTS			
NUMBER	ROOM	TYPE	HAND	JAMB	REBATE	MATERIAL	RATING	MATERIAL	THICKNESS	HINGES	STOPS	KICKPLATE	FLOOR SWEEP	LOCK LATCH DEVICE PREP	STRIKE	CLOSER	RATING	
(D01)	MECH ROOM ???	A	RHRA/ LHR	TBC	6'x7'	METAL	45MIN	HM	1-3/4"	4-1/2" (QTY.6)	N/A	YES	YES	L9082Px03Bx626	ASA	CLOSER C/W CONCEALED STOP CLOSERS MOUNTED @ APPROX. 110 DEGREES OPEN (TBC ON SITE)	45MIN	-FOR INSTALLATION IN NEW MECHANICAL ROOM FROM CORRIDOR
(D02)	ROOF ACCESS ROOR	B	RHRA/ LHR	TBC	6'x7'	METAL	N/A	HM	1-3/4"	4-1/2" (QTY.6)	N/A	YES	YES	L9082Px03Bx626	N/A	CLOSER C/W SPRING STOP	N/A	-FOR INSTALLATION IN EXTERIOR WALL TO ROOF ACCESS



VFD SCHEDULE													
TAG	SF5(AHU-5)	RF5(AHU-5)	SF8(AHU-8)	RF10(AHU-8)	SF10(AHU-10)	RF10(AHU-10)	SF12(AHU-12)	SF12(AHU-12)	RF12(AHU-12)	P-1	P-2	P-7	P-8
MANUFACTURER	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS	DANFOSS
INPUT/OUTPUT POWER	volt/ph	208/3	208/3	208/3	208/3	208/3	208/3	208/3	208/3	208/3	208/3	208/3	208/3
MOTOR	hp	5.0	2.0	7.5	3.0	7.5	3.0	20	20	1.5	15.0	15.0	2.0
DISCONNECT	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)	YES (NON-FUSED)
BYPASS	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
HARMONIC FILTERING	INTEGRAL	INTEGRAL	INTEGRAL	INTEGRAL	INTEGRAL	INTEGRAL	INTEGRAL	EXTERNAL	EXTERNAL	INTEGRAL	INTEGRAL	INTEGRAL	INTEGRAL
NOTES	-STARTUP BY MANUFACTURER												
ALTERNATE MANUFACTURERS	REFER TO SPECIFICATIONS												

EXPANSION TANK SCHEDULE													
TAG	ET-1	ET-4											
SERVICE	HX-1 HYDRONIC SYSTEM			HX-2 GLYCOL SYSTEMS									
ORIENTATION	VERTICAL			VERTICAL									
MANUFACTURER	AMTROL-EXTROL L SERIES			AMTROL EXTROL AX SERIES									
MODEL	600-L			AX-20-DD									
TOTAL VOLUME	usgal	158	16.5										
MAX. ACCEPTANCE VOLUME	usgal	158	11.3										
DIAMETER	in.	30	15										
HEIGHT	in.	64	25										
SYSTEM CONNECTIONS	in.	1-1/2	3/4										
FACTORY PRE-CHARGE	psi	12	12										
WORKING PRESSURE	psi	150	150										
SHIPPING WEIGHT	lbs	510	46										
ALTERNATE MANUFACTURERS	REFER TO SPECIFICATIONS												

MOTORIZED DAMPER SCHEDULE													
TAG	MD-5	MD-5	MD-3	MD-4	MD-5	MD-6							
SERVICE	AHU-1 OUTSIDE AIR (O/A)	AHU-1 EXHAUST AIR (E/A)	AHU-8 OUTSIDE AIR (O/A)	AHU-8 EXHAUST AIR (E/A)	AHU-10 OUTSIDE AIR (O/A)	AHU-10 EXHAUST AIR (E/A)							
MANUFACTURER	TAMCO	TAMCO	TAMCO	TAMCO	TAMCO	TAMCO							
MODEL	9000 (INSULATED)	9000 (INSULATED)											
TYPE	FLANGED - PARALLEL	FLANGED - OPPOSED	FLANGED - PARALLEL	FLANGED - OPPOSED	FLANGED - PARALLEL	FLANGED - OPPOSED							
SIZE	24x22"	22x22"	26x26"	26x18"	26x24"	26x24"							
ACTUATOR	BY CONTROLS CONTRACTOR	BY CONTROLS CONTRACTOR											
ACTUATOR TYPE	MODULATING	MODULATING	MODULATING	MODULATING	MODULATING	MODULATING							



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1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT
No.	Date	Description	By

TAMPS: 

The logo for CIMA+ features the letters 'CIMA' in a large, bold, dark grey sans-serif font. The letter 'A' is stylized with a diagonal cut, and the 'I' has a vertical cut. To the right of 'CIMA' is a green graphic element consisting of a downward-pointing triangle above a right-angled triangle, followed by a green plus sign.

The logo for DDSB (DÉPARTEMENT DES SÉCURITÉS SCOLAIRES) features a stylized flame icon on the left, composed of three overlapping curved shapes in red, orange, and yellow. To the right of the icon, the letters 'DDSB' are written in a large, bold, red sans-serif font. Below 'DDSB', the French text 'DÉPARTEMENT DES SÉCURITÉS SCOLAIRES' is written in a smaller, red, italicized sans-serif font.

PROJECT NAME: **DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1**

655 SHEPPARD AVENUE, PICKERING, ON

MEET TITLE: \_\_\_\_\_

<b>MECHANICAL</b>	
DRAFTER: IRC	SCALE: NTS
DESIGNER: Z	DATE: 2026-01-07
PROVER: RT	APPROVER:
PROJECT No: 0001060	DRAWING No:
HEET No:	M-603
16 of 16	

M-603

**COMMUNICATIONS SCOPE OF WORK/SPECS:**

- ELECTRICAL CONTRACTOR RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED COMMUNICATION CONTRACTOR TO CARRY OUT ALL WORK ASSOCIATED WITH TELEPHONE AND DATA SYSTEMS INCLUDING BUT NOT LIMITED TO DEVICES, WIRING, TESTING AND VERIFICATION.
- ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING ALL INFRASTRUCTURE FOR COMMUNICATION CABLING INCLUDING BUT NOT LIMITED TO BACK BOXES, CONDUIT UP WALL WITH FULL STRING AND INSULATING BUSHINGS, AND CONDUIT INFRASTRUCTURE IN CEILING SPACE INCLUDING JUNCTION BOXES, CONDUIT STUBS AS REQUIRED.
- COMMUNICATION CONTRACTOR RESPONSIBLE FOR ALL DEMOLITION WORK. CONTRACTOR TO INVESTIGATE EXISTING SERVICES PRIOR TO DEMOLITION TO ENSURE DESIGN INTENT IS FEASIBLE. ADVISE CONSULTANT OF ANY ISSUES.
- ALL COMMUNICATION CABLING SHALL BE RUN USING J-HOOKS. SPACING AS PER MANUFACTURERS RECOMMENDATIONS. SUPPORT ALL J-HOOKS FROM BUILDING STRUCTURE. J-HOOKS SHALL BE SUPPORTED INDEPENDENT OF ALL OTHER SERVICES.
- EXISTING SYSTEM SHOULD BE BASED ON PANDUIT STRUCTURED CABLING SYSTEM. ALL NEW DEVICES AND CABLE SHALL BE PANDUIT. MAXIMUM HORIZONTAL CABLE RUN LENGTH TO NOT EXCEED 300'.
- ALL CABLING MUST BE PANDUIT 24AWG CAT6 4 PAIR FT4 RATED. CATEGORY MARKING SHALL BE PRINTED EVERY FOOT. JACKET SHALL BE PRINTED WITH TRU-MARK 1000' TO 0' MARKING SYSTEM WITH BLUE OUTER SHEATH FOR DATA AND GREY OUTER SHEATH FOR VOICE. MANUFACTURER SHALL BE PANDUIT.
- CONTRACTOR TO TEST ALL DATA AND PHONE DROPS AND SUBMIT REPORT TO CONSULTANT. REPORT SHALL BE INCLUDED IN MAINTENANCE MANUAL.
- COMMUNICATION CONTRACTOR TO PROVIDE ONE YEAR WARRANTY ON ALL MATERIAL AND LABOUR.
- APPROVED SUB-CONTRACTORS: ANY CERTIFIED PANDUIT COMMUNICATION CONTRACTOR

**SECURITY SYSTEMS**

- ELECTRICAL CONTRACTOR TO OBTAIN SERVICES OF APPROVED CONTRACTOR TO CARRY OUT ALL WORK ASSOCIATED WITH SECURITY SYSTEMS INCLUDING BUT NOT LIMITED TO DEVICES, CONDUIT, WIRING, TESTING AND VERIFICATION.
- ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING ALL INFRASTRUCTURE FOR SECURITY SYSTEM INCLUDING BUT NOT LIMITED TO BACK BOXES, CONDUIT UP WALL WITH FULL STRING AND INSULATING BUSHINGS, AND CONDUIT INFRASTRUCTURE IN CEILING SPACE INCLUDING JUNCTION BOXES, CONDUIT STUBS AS REQUIRED.
- ALL SECURITY CABLING SHALL BE RUN WITHIN EXISTING COMMUNICATIONS CONDUIT/REHAPS WHERE POSSIBLE. WHERE NOT POSSIBLE CABLING SHALL BE RUN USING J-HOOKS. SPACING AS PER MANUFACTURERS RECOMMENDATIONS.
- ALL WIRING TO RUN BACK TO MAIN CONTROL PANEL AS NOTED.
- PROVIDE AS-BUILT MARKUPS OF ANY NEW DEVICES AND ANY NEW JUNCTION BOXES PROVIDED TO SUIT.
- INSTALL ALL SECURITY SYSTEM DEVICES AND WIRING TO DDSB STANDARDS.
- CONTRACTOR MUST PROVIDE INSPECTION, INITIAL TEST, REQUIRED ADJUSTMENTS, COMMISSIONING, VERIFICATION AND CERTIFICATION OF ALL EXISTING CIRCUITS MODIFIED AND ALL NEW CIRCUITS.
- SUBMIT REPORT TO CONSULTANT AND INCLUDE IN MANUAL.
- APPROVED SUB-CONTRACTOR: ANY CERTIFIED DMP CONTRACTOR.

**ELECTRICAL NOTES:**

- ALL WORK SHALL CONFORM TO ESA REQUIREMENTS.
- PROVIDE CHAINS FOR ALL LIGHT FIXTURES. CHAINS SHALL BE PROVIDED AT ALL FOUR CORNERS.
- BOND ALL METALLIC WATER, DRAIN AND GAS PIPING AS PER ESA REQUIREMENTS.
- PROVIDE JUNCTION BOXES C/W COVERPLATES AS REQUIRED.
- COORDINATE INSTALLATION WITH ALL OTHER TRADES.
- REFER TO "EMT (ELECTRICAL METALLIC TUBING) vs. LIQUIDTIGHT vs. FLEXIBLE CABLE" FOR ACCEPTABLE USE OF EACH.
- EMT AND BOXES SHALL BE SIZED ACCORDING TO CODE REQUIREMENT BASED ON THE NUMBER OF CONDUCTORS.
- FOR EMT AND/OR CONDUITS BENDS GREATER THAN OR EQUAL TO 270°, A PULL BOX MUST BE PROVIDED.
- ALL EMT (ELECTRICAL METALLIC TUBING) SHALL BE FIRMLY FASTENED IN PLACE SO AS TO SUPPORT THE WEIGHT OF CONDUIT AND TO PREVENT ANY STRAIN OR STRESS AT TERMINATIONS ACCORDING TO ELECTRICAL CODE 12-1010.
- CONTRACTORS SHALL ATTEMPT TO FISH NEW FEEDS DOWN EXISTING WALLS WHERE THIS IS NOT POSSIBLE (OR), SURFACE INSTALLATION IS ACCEPTABLE ON EXISTING BLOCK WALLS IN FINISHED AREAS AS FOLLOWS:
  - BOXES SHALL BE SHALLOW WIRE MOLD BOX WITH NO KNOCKOUTS.
  - CONDUIT SHALL BE WIRE MOLD. COLOUR TO BE WHITE.
- CONCEAL ALL EMT (ELECTRICAL METALLIC TUBING) AND COMPONENTS IN CEILING SPACE OR WALLS. RUN TIGHT TO ROOF DECK OR FLOOR ABOVE WHERE CEILING IS EXPOSED. EXPOSED RUN TIGHT TO WALL OR COLUMN WHERE WALLS ARE EXPOSED.
- WHERE EMT RUNS HORIZONTALLY ACROSS WALL STUDS, NOTCHES SHOULD BE CUT AND PROTECTED BY STEEL PLATES.
- MOUNTING HEIGHTS
  - MOUNT NEW RECEPTACLES 16" (400mm) A.F.F. UNLESS OTHERWISE NOTED.
- DEVICE COVER PLATES SHALL BE STAINLESS STEEL IN ALL AREAS.
- BRANCH CIRCUIT BREAKER AMPERE INTERRUPTING CAPACITY TO MATCH BUS RATING. PROVIDE 10% SPARE FOR FUTURE.
- MAXIMUM VOLTAGE DROP IN BRANCH CIRCUITS TO BE 3%. CONDUCTORS SHALL BE OVERSIZED TO SUIT VOLTAGE DROP WHERE APPLICABLE.
- CONDUCTORS TO BE COPPER UNLESS OTHERWISE NOTED. CONDUCTORS IN RACEWAYS SHALL BE T25 NYLON T80 ACCEPTABLE IF DERATED AS PER OESO; ALL CONDUCTORS SHALL BE MINIMUM #10AWG FOR EMERGENCY BATTERY CIRCUITS AND EXTERIOR LIGHTING, #14AWG FOR CONTROL WIRING AND MINIMUM #12AWG FOR ALL OTHER APPLICATIONS.
- ALL WIRE SIZES INDICATED ON DRAWINGS ARE BASED ON A 75°C TERMINATION TEMPERATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE TERMINATION TEMPERATURE OF EACH DEVICE AND MODIFY THE WIRE SIZE TO SUIT OR NOTIFY ENGINEER FOR DIRECTION.
- IDENTIFY EACH WIRE AND CABLE AT EVERY TERMINATION POINT. IDENTIFY ALL EMT AND/OR CONDUITS WITH "NEAT" COLOUR BANDS AT NO MORE THAN 25'(7.5m) INTERVALS AND ON BOTH SIDES OF WALLS & FLOOR.
- NON-CURRENT CARRYING METAL PARTS FOR FIXED EQUIPMENT SHALL BE BONDED TO GROUND. INSTALL SEPARATE BONDING IN LIQUIDTIGHT CONDUITS.
- WHERE CEILING SPACE IS USED AS A RETURN AIR PLENUM, ALL WIRING SHALL CONFORM TO CODES FOR THIS APPLICATION.
- FIRE STOP ALL EXISTING AND NEW CONDUIT THROUGH FIRE SEPARATIONS.
- ARRANGE FOR ESA INSTALLATION PERMIT AND INSPECTION AND FORWARD A COPY OF THE ESA CERTIFICATE TO THE ENGINEER UPON ACCEPTANCE INCLUDING FIRE ALARM LISTED AS A SEPARATE ITEM. ARRANGE AND PAY FOR OCCUPANCY PERMIT IF FINAL INSPECTION CANNOT BE SCHEDULED BY COMPLETION DATE SET FORTH IN TENDER DOCUMENTS.

**FIRE ALARM SPECIFICATIONS:**

- THE CONTRACTOR SHALL RELOCATE OR FURNISH NEW LABOUR, SERVICES AND MATERIALS NECESSARY TO PROVIDE A COMPLETE, FUNCTIONAL LIFE SAFETY FIRE SYSTEM. THE SYSTEM SHALL COMPLY IN ALL RESPECTS WITH ALL PERTINENT CODES, RULES, REGULATIONS AND LAWS OF THE LOCAL JURISDICTION. THE SYSTEM SHALL COMPLY IN ALL RESPECTS WITH THE REQUIREMENTS OF THE SPECIFICATIONS, MANUFACTURER'S RECOMMENDATIONS AND UNDERWRITERS LABORATORIES OF CANADA (ULC) LISTINGS. ALL COMPONENTS SHALL BE ULC LISTED.
- THE EQUIPMENT AND INSTALLATION SHALL COMPLY WITH THE CURRENT PROVISIONS OF THE FOLLOWING CODES AND STANDARDS:
  - LOCAL AND PROVINCIAL BUILDING CODES
  - LOCAL AND PROVINCIAL FIRE CODES
  - LOCAL, PROVINCIAL AND CANADIAN ELECTRICAL CODES
  - NFPA 72 - NATIONAL FIRE ALARM CODE
  - NFPA 101 - LIFE SAFETY CODE
  - CANULC-S524 AND OTHER APPLICABLE ULC STANDARDS
  7. AUTHORITY HAVING JURISDICTION
- THE FIRE ALARM SYSTEM AS A WHOLE - INCLUDING BUT NOT LIMITED TO ALL INITIATING DEVICES, HORNS, STROBES AND ELECTRONICS, AND FIRE COMMUNICATOR WILL BE UNDER A FULL REPLACEMENT WARRANTY FOR A PERIOD OF TWO(2) YEARS REGARDLESS OF THE NUMBER OF FAILURES THAT ANY ONE DEVICE OR COMPONENT EXPERIENCES. THE WARRANTY WILL INCLUDE THE TOTAL COST OF SERVICE VISIT TO RETEST THE SYSTEM FOR NORMAL OPERATION. THE TOTAL COST WILL INCLUDE BUT NOT LIMITED TO LABOUR, PARTS, TRUCK TIME, ADMINISTRATION, ETC. THE FIRE ALARM MANUFACTURER/INSTALLER WILL GUARANTEE SAME DAY SERVICE TO ALL CALLS PLACED DURING WARRANTY PERIOD.

- CONTRACTORS SHALL ATTEMPT TO FISH NEW FEEDS DOWN EXISTING WALLS WHERE THIS IS NOT POSSIBLE (OR), SURFACE INSTALLATION IS ACCEPTABLE ON EXISTING BLOCK WALLS IN FINISHED AREAS AS FOLLOWS:
  - BOXES SHALL BE SHALLOW WIRE MOLD BOX WITH NO KNOCKOUTS.
  - CONDUIT SHALL BE WIRE MOLD. COLOUR TO BE WHITE.
- CONCEAL ALL EMT (ELECTRICAL METALLIC TUBING) AND COMPONENTS IN CEILING SPACE OR WALLS. RUN TIGHT TO ROOF DECK OR FLOOR ABOVE WHERE CEILING IS EXPOSED. EXPOSED RUN TIGHT TO WALL OR COLUMN WHERE WALLS ARE EXPOSED.
- WHERE EMT RUNS HORIZONTALLY ACROSS WALL STUDS, NOTCHES SHOULD BE CUT AND PROTECTED BY STEEL PLATES.
- MOUNTING HEIGHTS
  - MOUNT NEW RECEPTACLES 16" (400mm) A.F.F. UNLESS OTHERWISE NOTED.
- DEVICE COVER PLATES SHALL BE STAINLESS STEEL IN ALL AREAS.
- BRANCH CIRCUIT BREAKER AMPERE INTERRUPTING CAPACITY TO MATCH BUS RATING. PROVIDE 10% SPARE FOR FUTURE.
- MAXIMUM VOLTAGE DROP IN BRANCH CIRCUITS TO BE 3%. CONDUCTORS SHALL BE OVERSIZED TO SUIT VOLTAGE DROP WHERE APPLICABLE.
- CONDUCTORS TO BE COPPER UNLESS OTHERWISE NOTED. CONDUCTORS IN RACEWAYS SHALL BE T25 NYLON T80 ACCEPTABLE IF DERATED AS PER OESO; ALL CONDUCTORS SHALL BE MINIMUM #10AWG FOR EMERGENCY BATTERY CIRCUITS AND EXTERIOR LIGHTING, #14AWG FOR CONTROL WIRING AND MINIMUM #12AWG FOR ALL OTHER APPLICATIONS.
- ALL WIRE SIZES INDICATED ON DRAWINGS ARE BASED ON A 75°C TERMINATION TEMPERATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE TERMINATION TEMPERATURE OF EACH DEVICE AND MODIFY THE WIRE SIZE TO SUIT OR NOTIFY ENGINEER FOR DIRECTION.
- IDENTIFY EACH WIRE AND CABLE AT EVERY TERMINATION POINT. IDENTIFY ALL EMT AND/OR CONDUITS WITH "NEAT" COLOUR BANDS AT NO MORE THAN 25'(7.5m) INTERVALS AND ON BOTH SIDES OF WALLS & FLOOR.
- NON-CURRENT CARRYING METAL PARTS FOR FIXED EQUIPMENT SHALL BE BONDED TO GROUND. INSTALL SEPARATE BONDING IN LIQUIDTIGHT CONDUITS.
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- FIRE STOP ALL EXISTING AND NEW CONDUIT THROUGH FIRE SEPARATIONS.
- ARRANGE FOR ESA INSTALLATION PERMIT AND INSPECTION AND FORWARD A COPY OF THE ESA CERTIFICATE TO THE ENGINEER UPON ACCEPTANCE INCLUDING FIRE ALARM LISTED AS A SEPARATE ITEM. ARRANGE AND PAY FOR OCCUPANCY PERMIT IF FINAL INSPECTION CANNOT BE SCHEDULED BY COMPLETION DATE SET FORTH IN TENDER DOCUMENTS.

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- MOUNTING HEIGHTS
  - MOUNT NEW RECEPTACLES 16" (400mm) A.F.F. UNLESS OTHERWISE NOTED.
- DEVICE COVER PLATES SHALL BE STAINLESS STEEL IN ALL AREAS.
- BRANCH CIRCUIT BREAKER AMPERE INTERRUPTING CAPACITY TO MATCH BUS RATING. PROVIDE 10% SPARE FOR FUTURE.
- MAXIMUM VOLTAGE DROP IN BRANCH CIRCUITS TO BE 3%. CONDUCTORS SHALL BE OVERSIZED TO SUIT VOLTAGE DROP WHERE APPLICABLE.
- CONDUCTORS TO BE COPPER UNLESS OTHERWISE NOTED. CONDUCTORS IN RACEWAYS SHALL BE T25 NYLON T80 ACCEPTABLE IF DERATED AS PER OESO; ALL CONDUCTORS SHALL BE MINIMUM #10AWG FOR EMERGENCY BATTERY CIRCUITS AND EXTERIOR LIGHTING, #14AWG FOR CONTROL WIRING AND MINIMUM #12AWG FOR ALL OTHER APPLICATIONS.
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COMMUNICATIONS LEGEND		
TAG	DESCRIPTION	MAKE/MODEL
	EXISTING WALL MOUNTED TELEVISION VIDEO OUTLET	EXISTING
	SCHOOL BELL	EXISTING
	ACCESS POINT	EXISTING
	CEILING MOUNTED P.A. SPEAKER	EXISTING
	LED PRIMEX TIME LAPSE CLOCK	EXISTING
	BATTERY OPERATED CLOCK AT 7' ABOVE FLOOR	EXISTING
	SECURITY CAMERA WALL MOUNTED	EXISTING
	EXISTING MOTION SENSOR	EXISTING

ELECTRICAL ABBREVIATIONS	
EX	EXISTING TO REMAIN
D	EXISTING TO BE REMOVED C/W CONDUIT/WIRING BACK TO SOURCE
RR	EXISTING TO BE REMOVED & REINSTALLED IN SAME LOCATION.
x#	QUANTITY OF DEVICES
H/L	HIGH LEVEL
C/W	COMPLETE WITH

FIRE ALARM LEGEND	
	EXISTING FIRE ALARM BELL
	EXISTING STROBE
	SMOKE DETECTOR C/W INDICATION LIGHT
	FIRE ALARM PULL STATION WITH CLEAR, TAMPER-PROOF, POLYCARBONATE SHIELD THAT EMITS AN ALARM WHEN ACCESSED
	FIRE ALARM CONTROL PANEL
	HEAT DETECTOR FIXED TEMPERATURE [135°/200°]
	ANNUNC
	DUCT SMOKE DETECTOR

LIGHT FIXTURE SCHEDULE			
TAG	DESCRIPTION	MAKE / MODEL	ALTERNATE
	EXISTING 2x4 LUMINAIRE	EXISTING	N/A
\$	EXISTING LIGHT SWITCH	EXISTING	N/A
	EXISTING FREE HANGING 4' FLUORESCENT STRIP LIGHT, WRAP AROUND CAGE, CHAIN SET, SINGLE ELECTRONIC BALLAST, 2-14W LED TUBES, 120V	EXISTING	N/A
	EXISTING RECESSED DRYWALL MOUNTED 1x4 LUMINAIRE TO BE DEMOLISHED	EXISTING	N/A
	RECESSED TROFFER 2x4 LED LUMINAIRE, DIFFUSE LENS, 4200 LUMENS, 4000K, 120V 0-10V DIMMING	VISIONEERING LRTL2X4-LED-8040K050LUNV	LITHONIA PEERLESS-ELECTRIC COOPER (NO PET) CREE LIGHTING
	LAY-IN T-BAR 1x4 FLUORESCENT FIXTURE, STANDARD LENS, ELECTRONIC BALLAST, 2-T8 TUBES, 120V	CFI FLUORESCENT AA248120SOVA	
	RECESSED FLAT PANEL 2x4 LED LUMINAIRE, DIFFUSE LENS, 4000 LUMENS, 4000K, 120V 0-10V DIMMING	LITHONIA LIGHTING CPX2X4000LM80CR40KA12MIN10ZT120	PEERLESS-ELECTRIC COOPER (NO PET) CREE LIGHTING
	SURFACE MOUNTED 4' LED STRIP LIGHT, FROSTED LENS, DIMMABLE DRIVER, 3000 LUMENS, 4000K, 120V, C/W CAGE	PHILIPS FSS430L840-UNV-DIM C/W FSSWG4	LITHONIA PEERLESS-ELECTRIC VISIONEERING COOPER (NO PET) CREE LIGHTING
	SURFACE MOUNTED 4' LED STRIP LIGHT, FROSTED LENS, DIMMABLE DRIVER, 3000 LUMENS, 4000K, 120V, C/W CAGE & STEM MOUNT KIT	PHILIPS FSS430L840-UNV-DIM C/W FSSWG4	
\$DM	LIGHT SWITCH WITH SLIDE DIMMER, ON/OFF SWITCH, 0-10V LED RATED, 120V	LEVITON RF DECORA 25057-30Z (347V)	HUBBELL LEGRAND COOPER

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1 2026-01-08 Issued for Tender SS  
0 2026-01-07 Issued for Pre-Tender Review SS  
No. Date Description By



EMERGENCY LIGHTING SCHEDULE		
TAG	DESCRIPTION	MAKE / MODEL
	EXISTING RED LETTER EXIT SIGN	EXISTING
	EXISTING WALL MOUNTED REMOTE HEAD	EXISTING
	EXISTING CEILING MOUNTED EMERGENCY LIGHT	EQUAL TO LUMACELL MQM-LD7 (OR VOLTAGE TO MATCH EXISTING BATTERY UNITS)
	EXISTING CEILING MOUNTED REMOTE HEAD C/W VANDAL COVER	EXISTING
	EXISTING BATTERY UNIT WITH DUAL HEAD	EXISTING
	WALL MOUNTED REMOTE DUAL HEAD 12V 4W LED EMERGENCY LIGHT, INJECTION MOLDED IMPACT RESISTANT FLAME RETARDANT THERMOPLASTIC, ADJUSTABLE LENSES, SUITABLE FOR INSTALLATION ON 4" OCTAGON BOX, MOUNTED 2-13 (7") AFF, EXACT MOUNTING HEIGHT TO BE COORDINATED ON-SITE WITH FINAL CONDITIONS	EQUAL TO LUMACELL MOM2-LD7 (OR VOLTAGE TO MATCH EXISTING BATTERY UNITS)

APPROVED ALTERNATES: LUMACELL, BEGHELLI, UNIGLO, EMERGI-LITE

NOTE:

1. # DENOTES BATTERY UNIT
2. ALLOW 20% SAFETY ON BACK-UP BATTERY PACK SIZING.
3. ALL UNITS TO BE CSA CERTIFIED.

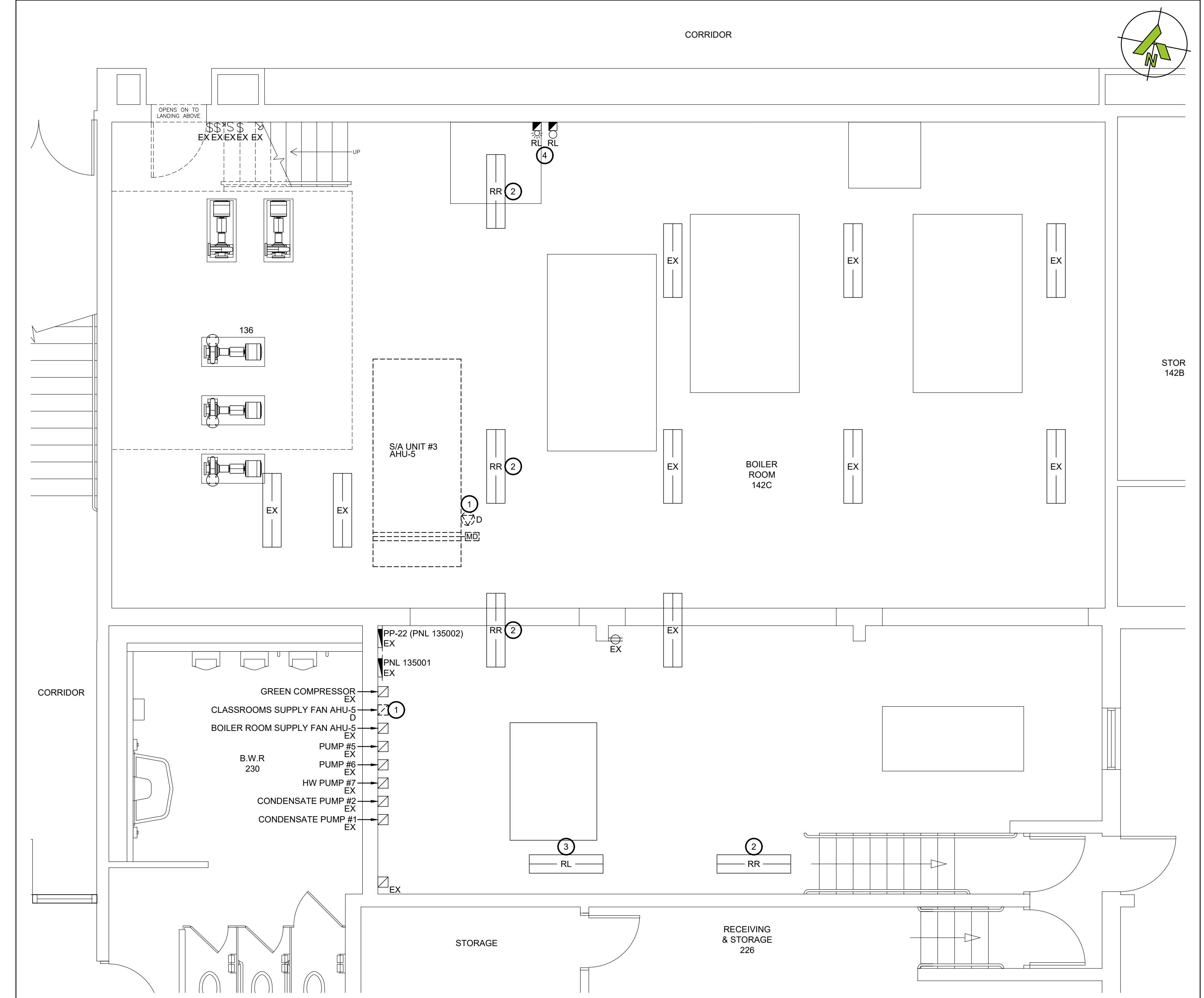
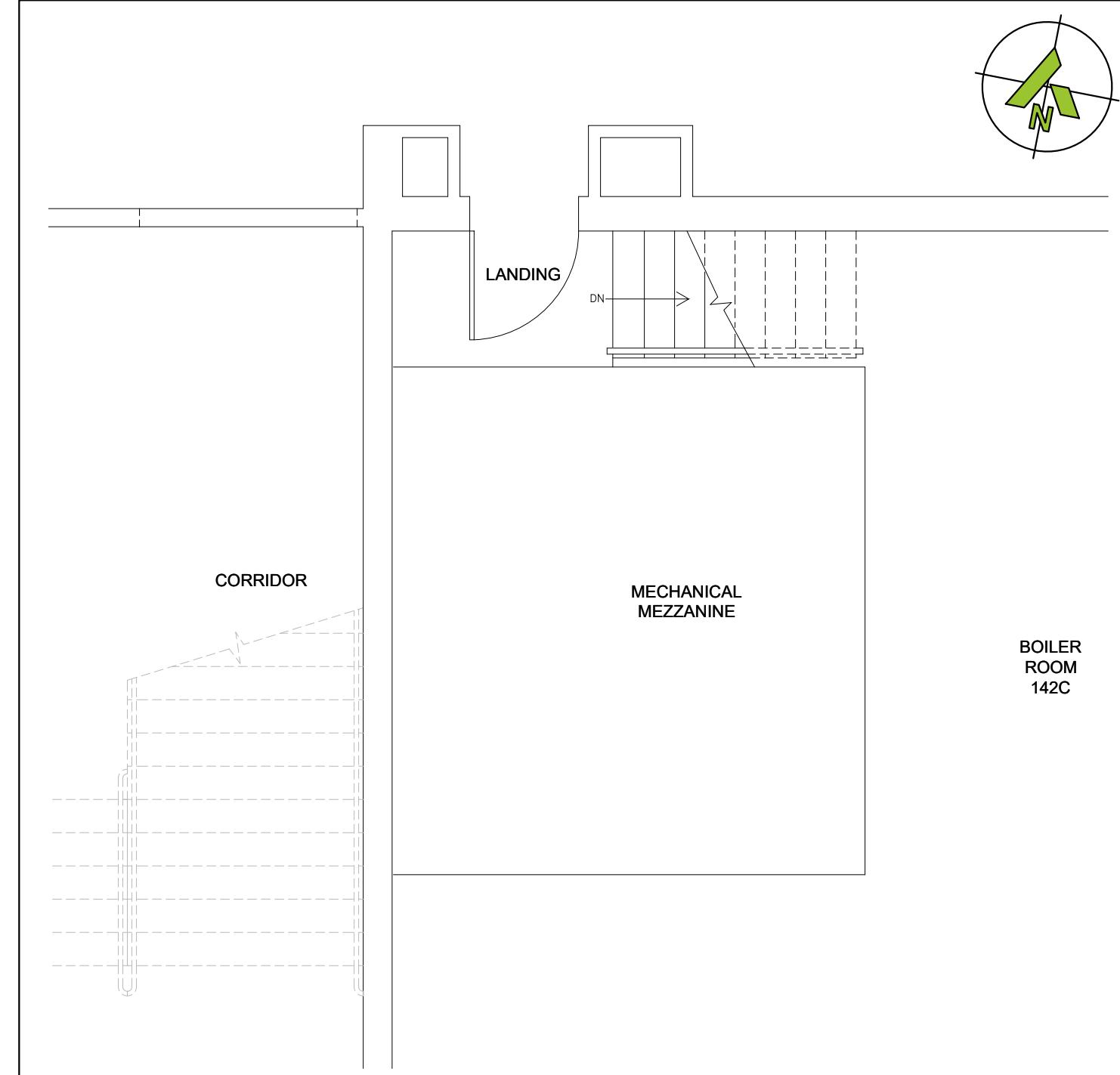
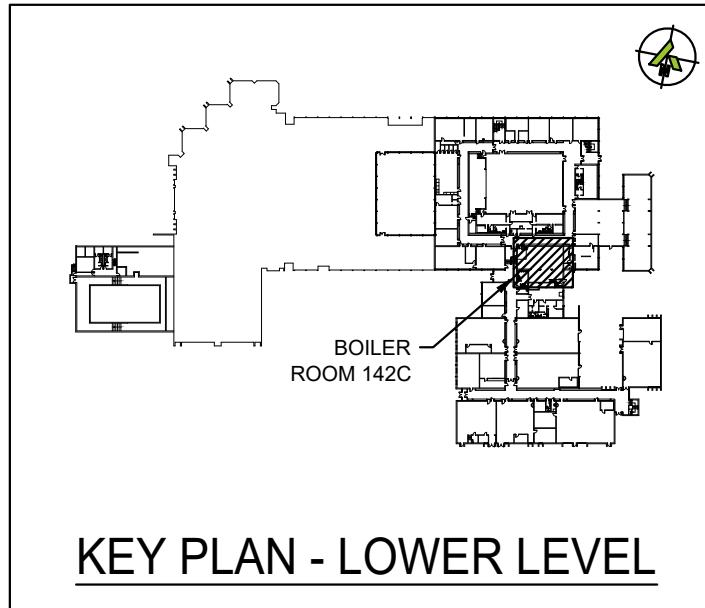
POWER LEGEND		
TAG	DESCRIPTION	MAKE/MODEL
	EXISTING RECEPTACLE	EXISTING
	EXISTING MANUAL MOTOR STARTER	EXISTING
	EXISTING JUNCTION BOX	EXISTING
	EXISTING PANEL	REFER TO SPECIFICATIONS
	120V 1PH GROUNDED DIRECT EQUIPMENT CONNECTION	EXISTING
	208V 3PH GROUNDED DIRECT EQUIPMENT CONNECTION	EXISTING
	EXISTING DISCONNECT SWITCH	EXISTING
	EXISTING TRANSFORMER	EXISTING
	EXISTING FAN SWITCH	EXISTING
	VFD SUPPLIED BY MECHANICAL INSTALLED BY ELECTRICAL	

ENGINEER:  
**CIM+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT:  
**DDSB**  
ignite Learning  
PROJECT NAME:  
**DUNBARTON HS**  
**STEAM DECOMMISSIONING**  
**PHASE 1**  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:  
LEGENDS

DISCIPLINE:  
**ELECTRICAL**  
DRAFTER:  
JB  
DESIGNER:  
SS  
DATE:  
2026-01-07  
APPROVER:  
LC  
PROJECT No:  
A0001060  
DRAWING No:  
E-002  
SHEET No:  
2 of 14



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STAMPS:



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415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

**DDSB**  
ignite Learning

PROJECT NAME: DUNBARTON HS  
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PHASE 1  
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CLIENT:

DISCIPLINE: ELECTRICAL

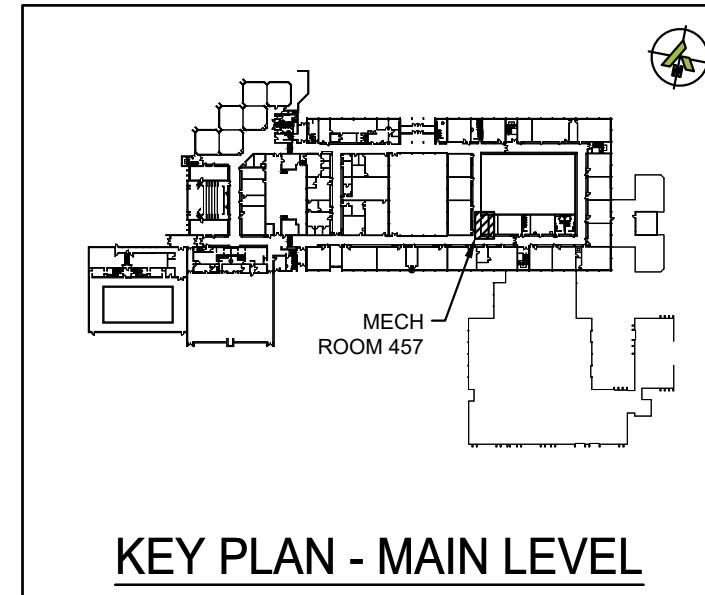
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SCALE: AS NOTED

DESIGNER: SS  
DATE: 2026-01-07

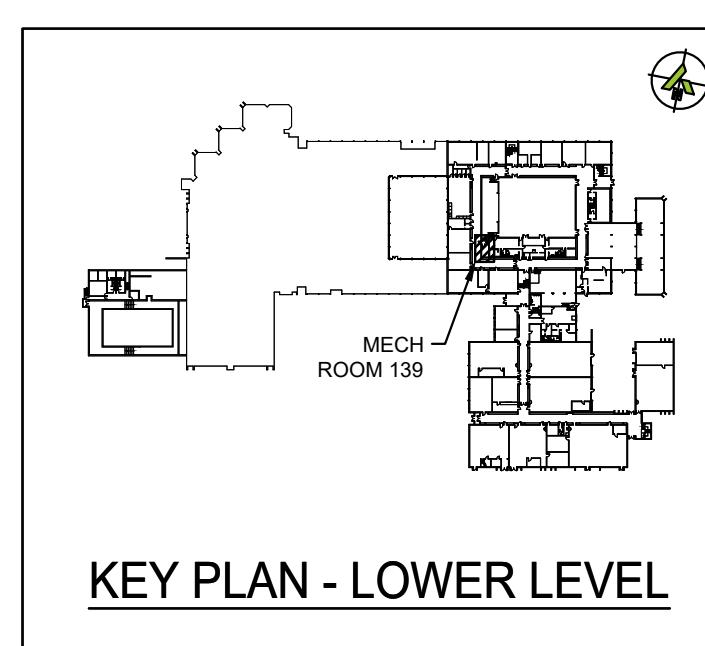
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APPROVER:

PROJECT No: A0001060  
DRAWING No:

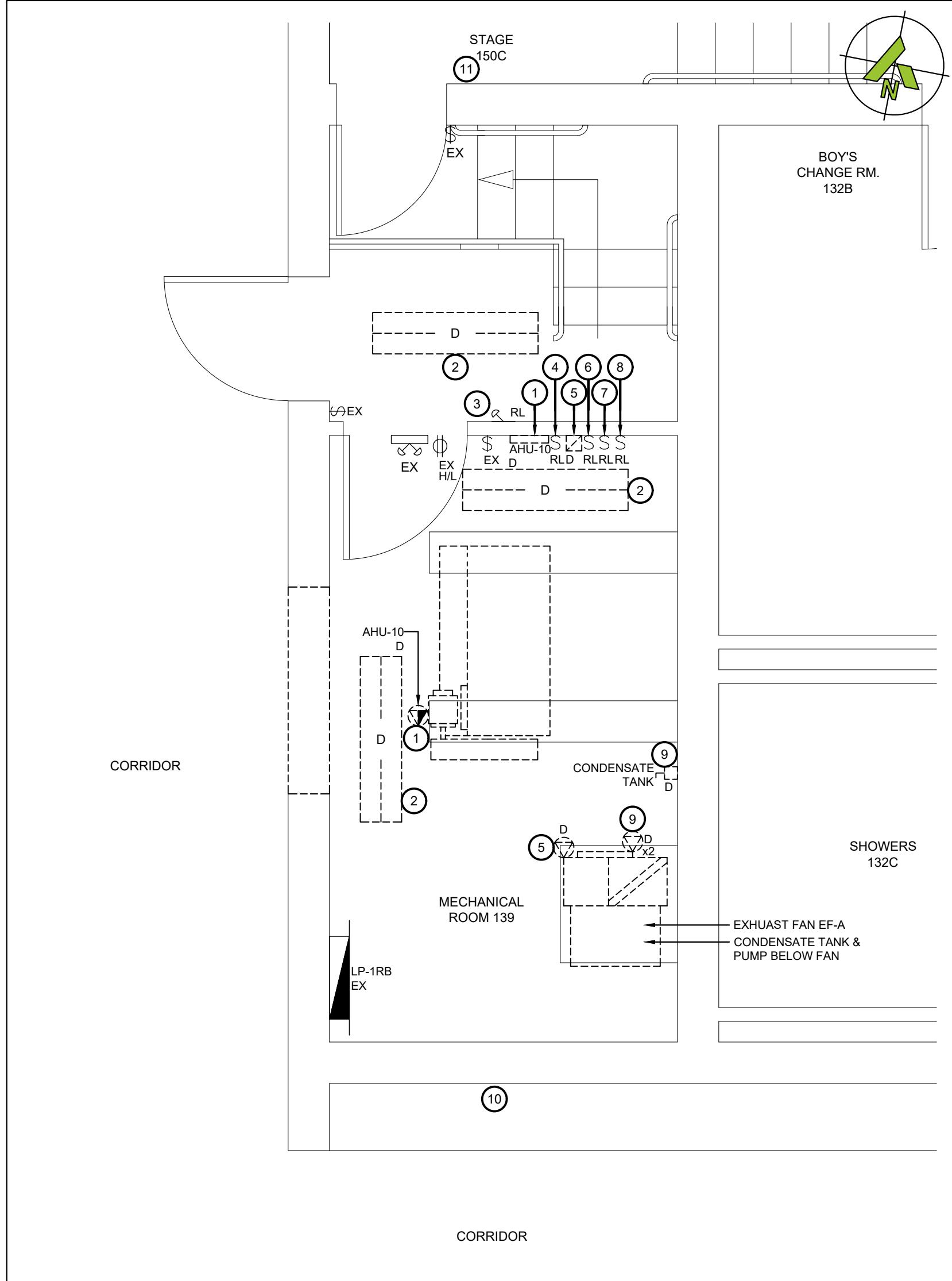
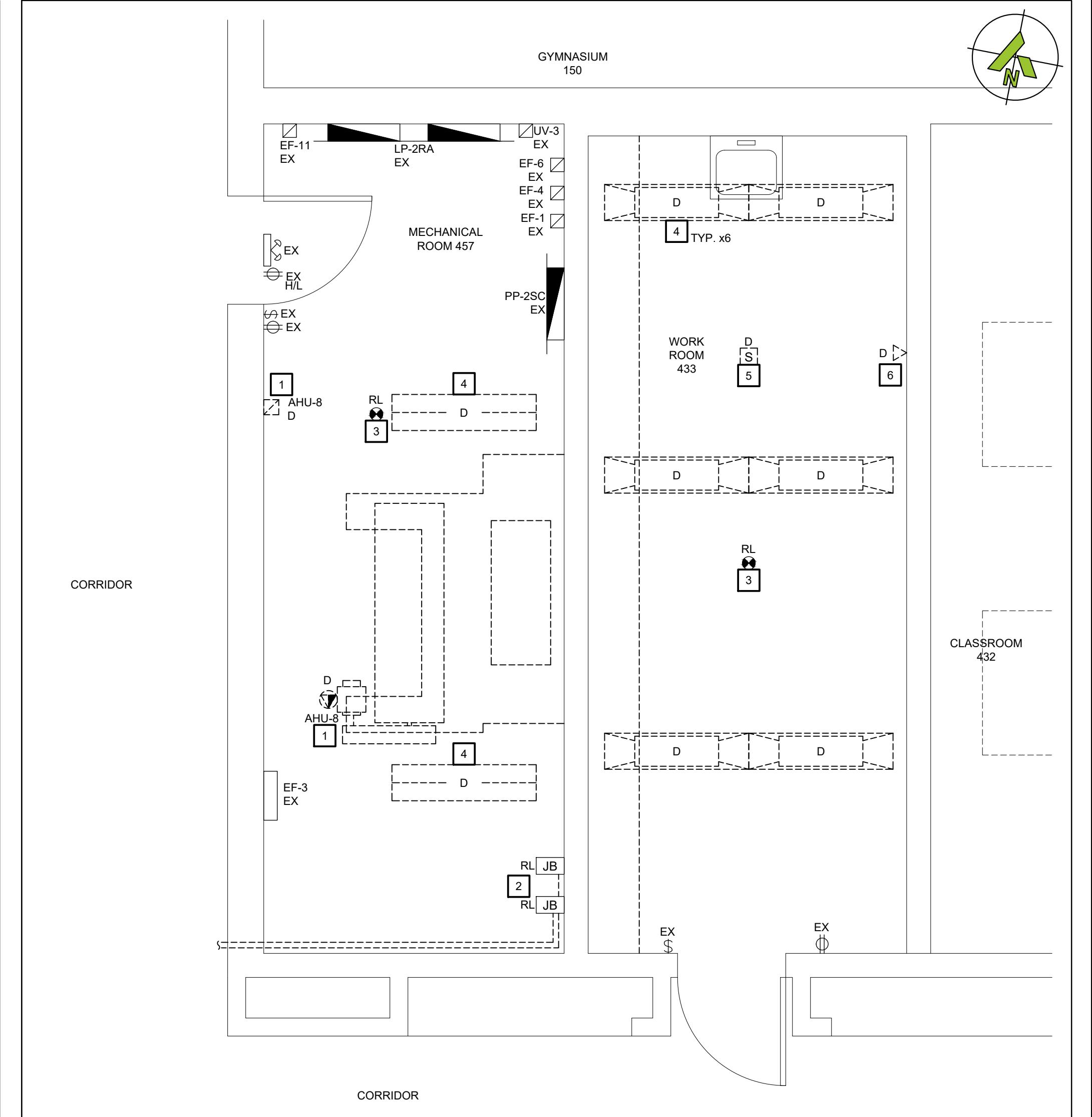
SHEET No: 3 of 14  
ED101



KEY PLAN - MAIN LEVEL



KEY PLAN - LOWER LEVEL

1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT  
ED102 SCALE: 3/8"=1"2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT  
ED102 SCALE: 3/8"=1"

**MECHANICAL ROOM 139 WORKING NOTES:**

- DEMOLISH AHU-10 CONTROLLER & POWER BACK TO PANEL LP-1J LOCATED IN CORRIDOR OUTSIDE OF MECHANICAL.
- DEMOLISH EXISTING LIGHTING BACK TO SOURCE.
- RELOCATE EXISTING REMOTE HEAD TO SUIT DUCT WORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
- RELOCATE EXISTING AHU-8 SUPPLY FAN SWITCH TO SUIT MECHANICAL WORK.
- DEMOLISH EXHAUST FAN 3A CONTROLS AND POWER BACK TO SOURCE.
- RELOCATE EXHAUST FAN 13 GIRLS WASHROOM TO SUIT MECHANICAL WORK.
- RELOCATE EXHAUST FAN CONTROL SWITCH FOR ROOM 445 TO SUIT MECHANICAL WORK.
- CONTRACTOR TO INVESTIGATE AND TRACE EXISTING CONTROL SWITCH. ALLOW FOR RE-TAGGING AND RELOCATION TO SUIT MECHANICAL.
- DEMOLISH CONDENSATE TANK AND PUMP POWER AND DISCONNECT BACK TO SOURCE.
- REWORK FIRE ALARM CONDUIT INTERFERING WITH NEW DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
- RELOCATE SECURITY CONDUIT FEED INTERFERING WITH DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.

**MECHANICAL ROOM 457 WORKING NOTES:**

- DEMOLISH AHU-8 CONTROLLER & POWER BACK TO PANEL LP-2G LOCATED IN CORRIDOR OUTSIDE OF MECHANICAL ROOM.
- PULL BACK AND RELOCATE EXISTING COMMUNICATIONS, PA CONDUIT AND WIRE TO SUIT NEW MECHANICAL UNIT.
- DISCONNECT AND REMOVE CEILING DEVICES AS REQUIRED TO ALLOW CEILING REMOVAL TO SUIT MECHANICAL WORK. RETAIN FOR REINSTALLATION.
- DEMOLISH EXISTING LIGHTING BACK TO SOURCE.
- DEMOLISH EXISTING CEILING SPEAKER BACK TO SOURCE.
- DEMOLISH EXISTING DATA OUTLET BACK TO SOURCE.

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No.	Date	Description	By

STAMPS:



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T 905 697-4464  
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ON L1C 5M2 CANADA

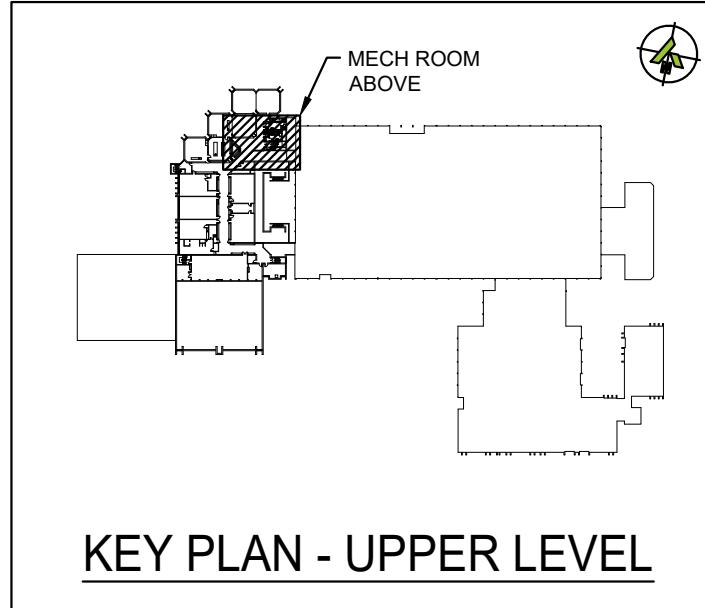
CLIENT: **DDSB**  
ignite Learning

PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

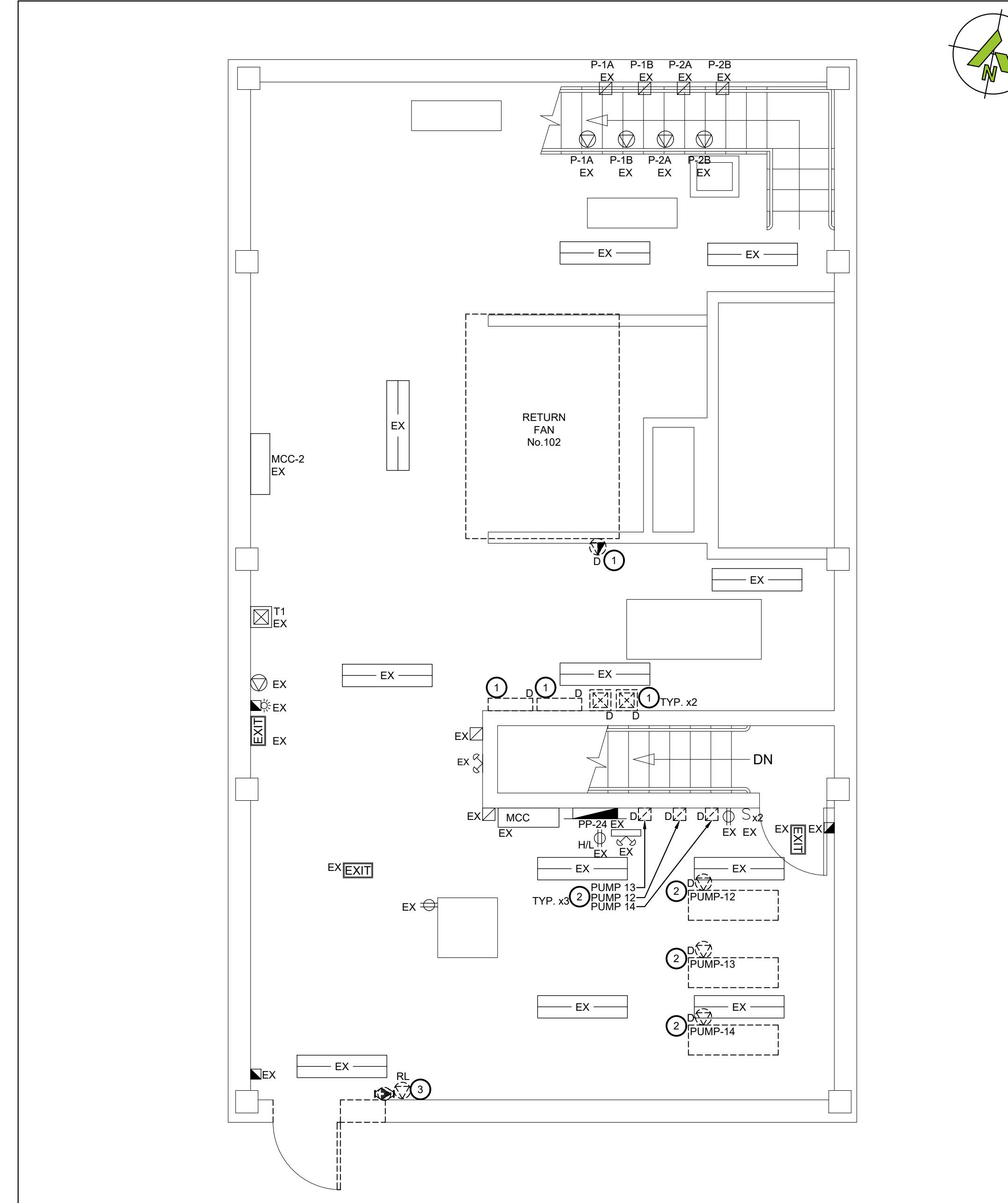
SHEET TITLE: MECHANICAL ROOMS  
139A AND 457  
DEMOLITION LAYOUT

DISCIPLINE: ELECTRICAL  
DRAFTER: JB SCALE: AS NOTED  
DESIGNER: SS DATE: 2026-01-07  
APPROVER: LC APPROVER:  
PROJECT No: A0001060 DRAWING No:  
SHEET No: 4 of 14

ED102



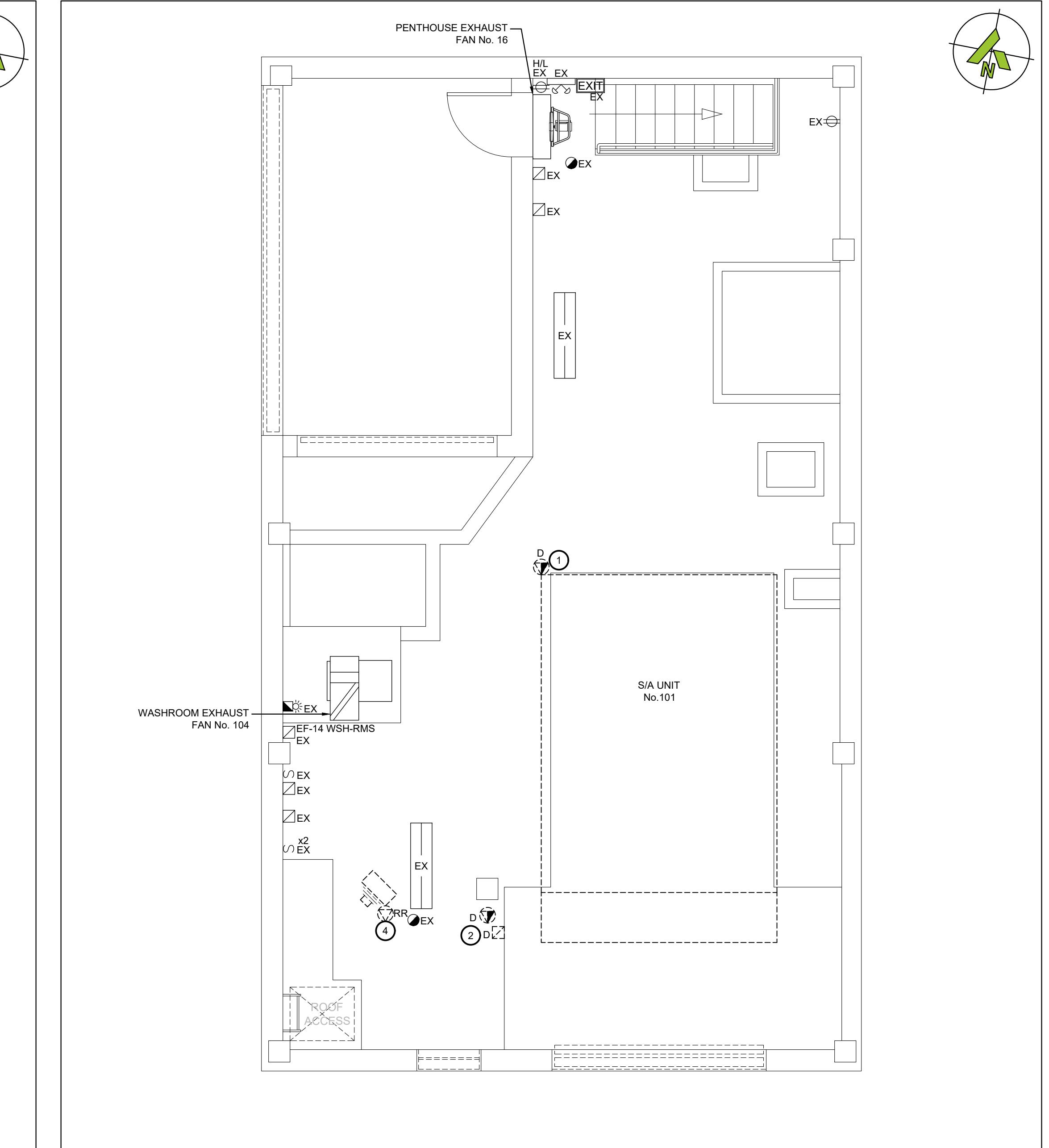
KEY PLAN - UPPER LEVEL



1 PENTHOUSE - LOW LEVEL - DEMOLITION LAYOUT

ED103

SCALE: 1/4"=1'



2 PENTHOUSE - HIGH LEVEL - DEMOLITION LAYOUT

ED103

SCALE: 1/4"=1'

WORKING NOTES:	
1	DEMOLISH POWER AND STARTERS FOR AIR HANDLER BACK TO SOURCE.
2	DEMOLISH POWER AND STARTERS FOR PUMP BACK TO SOURCE.
3	RELOCATE CIRCULATING PUMP TO SUIT NEW DOOR OPENING. COORDINATE FINAL LOCATION WITH MECHANICAL. EXTEND CONDUIT AND WIRING TO SUIT FINAL LOCATION.
4	UNIT HEATER TO BE REPLACED WITH NEW ON EXISTING CIRCUIT. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.

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No.	Date	Description	By

STAMPS:



ENGINEER:

**CIMA+**

 T 905 697-4464  
 415 Baseline Road West, Bowmanville,  
 ON L1C 5M2 CANADA

CLIENT:

PROJECT NAME:

**DUNBARTON HS**  
**STEAM DECOMMISSIONING**  
**PHASE 1**  
 655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**PENTHOUSE**  
**DEMOLITION LAYOUT**

DISCIPLINE:

**ELECTRICAL**

DRAFTER:

AS NOTED

DESIGNER:

SS

APPROVER:

LC

PROJECT No:

A0001060

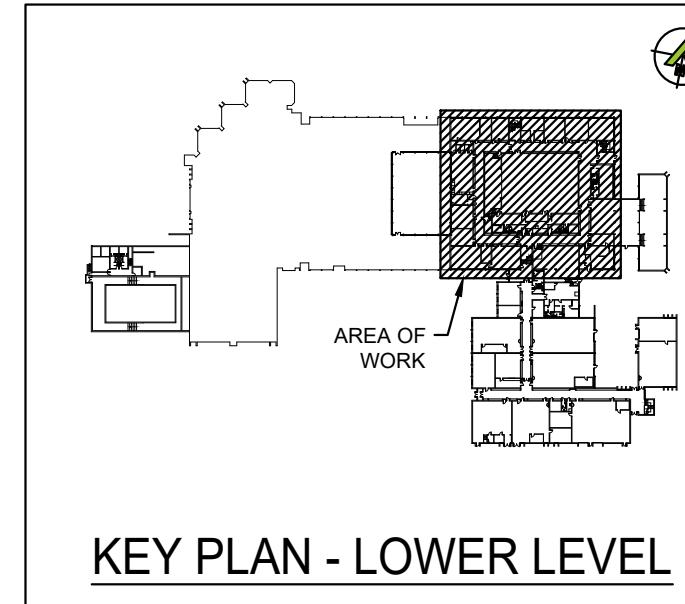
DRAWING No:

ED103

SHEET No:

5 of 14

ED103



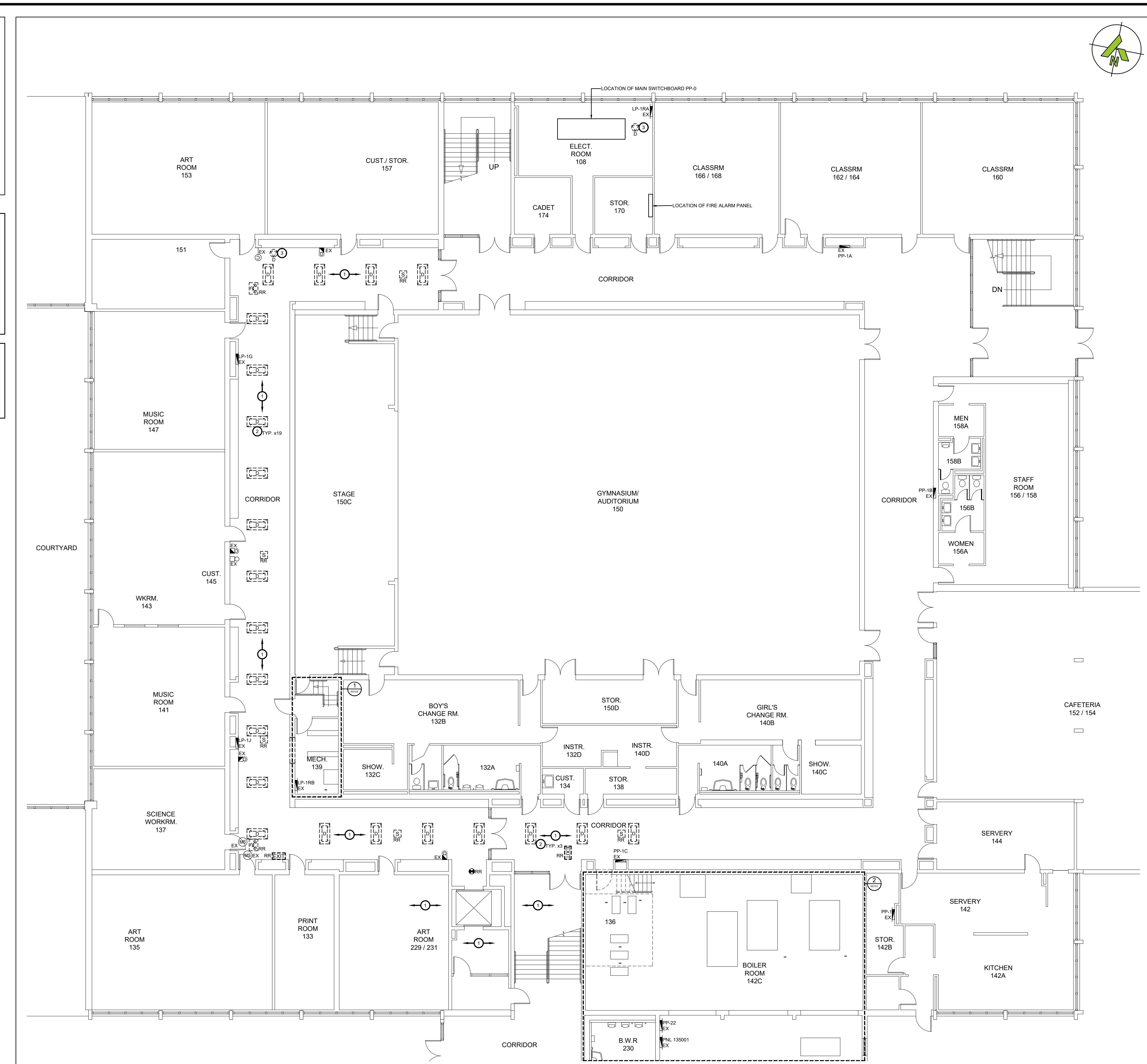
KEY PLAN - LOWER LEVEL

**WORKING NOTES:**

1. DISCONNECT AND REMOVE CEILING DEVICES TO SUIT MECHANICAL WORK AND RETAIN FOR REINSTALLATION. REINSTALL AFTER MECHANICAL WORK IS COMPLETE.
2. DEMOLISH EXISTING LUMINAIRE AND TURN OVER TO DDSB. RETAIN FEEDS FOR NEW LIGHTING.
3. DEMOLISH EXHAUST FAN ON ROOF BACK TO SOURCE.
4. TEMPORARILY DISCONNECT AND REMOVE ALL CEILING DEVICE TO SUIT MECHANICAL PIPING REWORK. RETAIN FOR REINSTALLATION AFTER MECHANICAL WORK IS COMPLETED.

**OPTIONAL PRICES:**  
PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.

1 PARTIAL LOWER LEVEL - DEMOLITION LAYOUT  
ED104 SCALE: 3/32"=1"

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No. Date Description By  
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415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT: **DDSB**  
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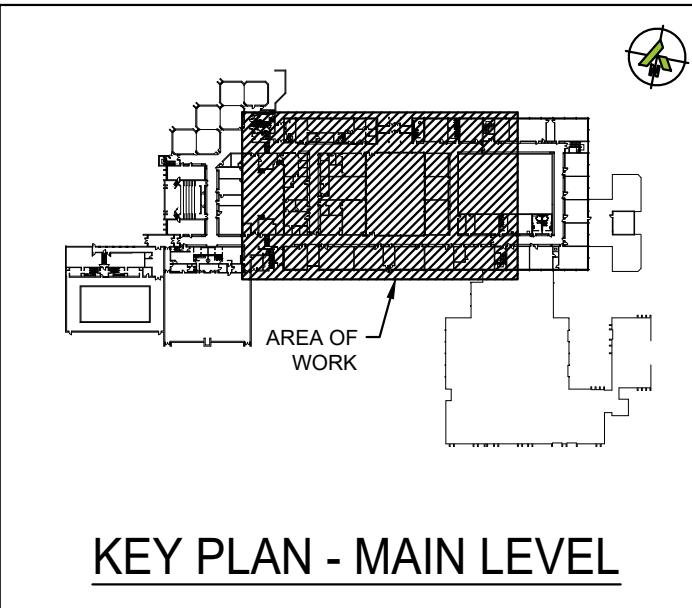
PROJECT NAME: **DUNBARTON HS**  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SheET TItLE:

PARTIAL LOWER LEVEL  
DEMOLITION LAYOUT

DISCIPLINE: ELECTRICAL

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2026-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: ED104	6 of 14



KEY PLAN - MAIN LEVEL

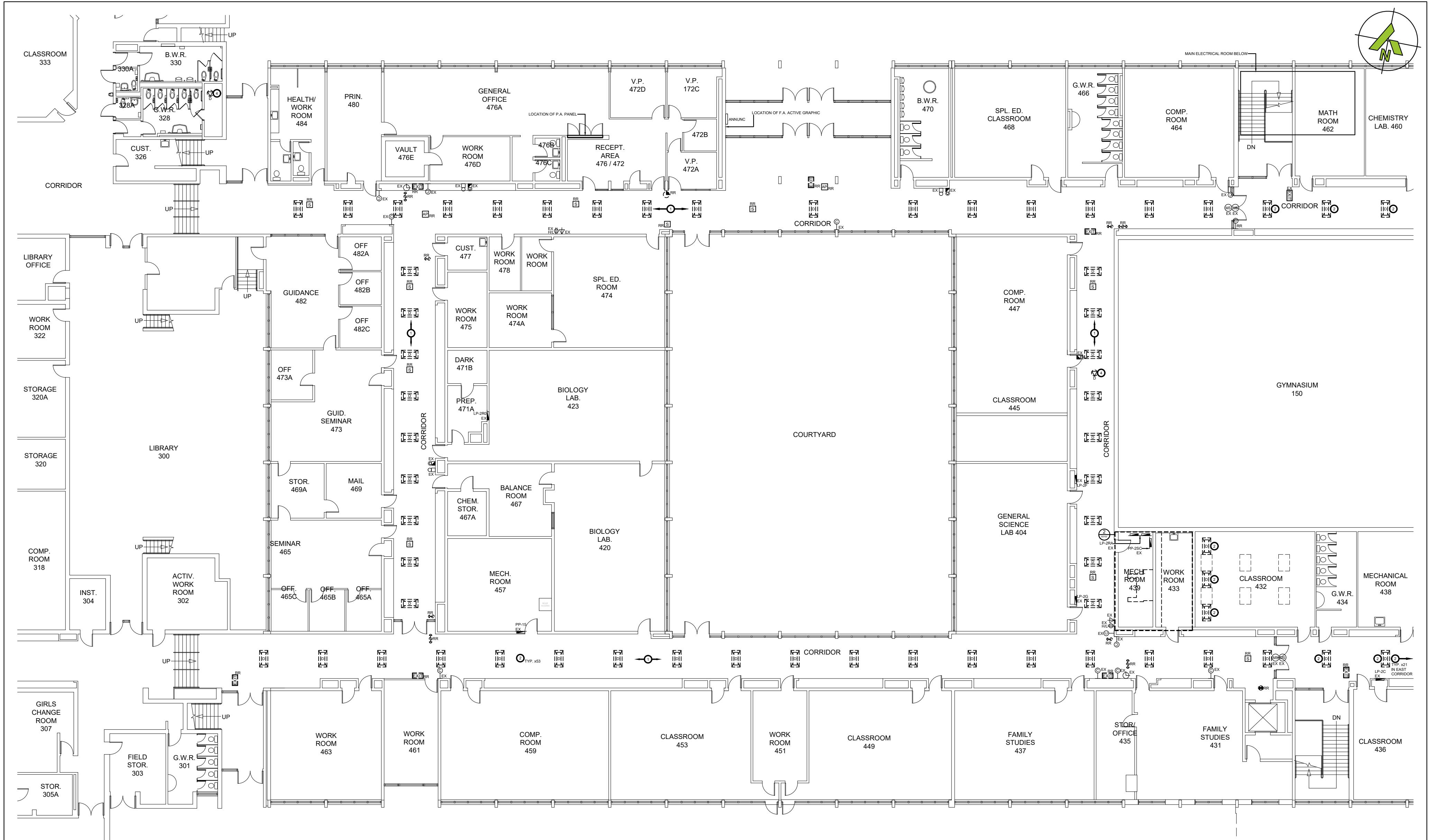
## WORKING NOTES:

- ① DISCONNECT AND REMOVE CEILING DEVICES TO SUIT MECHANICAL WORK AND RETAIN FOR REINSTALLATION. REINSTALL AFTER MECHANICAL WORK IS COMPLETE.
- ② DEMOLISH EXISTING LUMINAIRE AND TURN OVER TO DDSB. RETAIN FEEDS FOR NEW LIGHTING.
- ③ DEMOLISH EXHAUST FAN ON ROOF BACK TO SOURCE.
- ④ DEMOLISH EXISTING CONDENSATE PUMP AND ASSOCIATED ACCESSORIES BACK TO SOURCE.

## OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.



1 PARTIAL MAIN LEVEL - DEMOLITION LAYOUT  
ED105

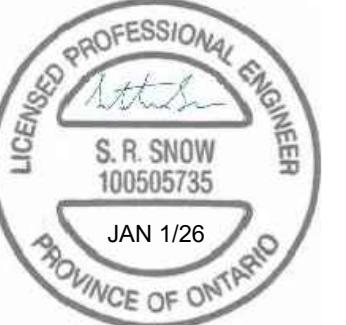
SCALE: 1/16"=1'

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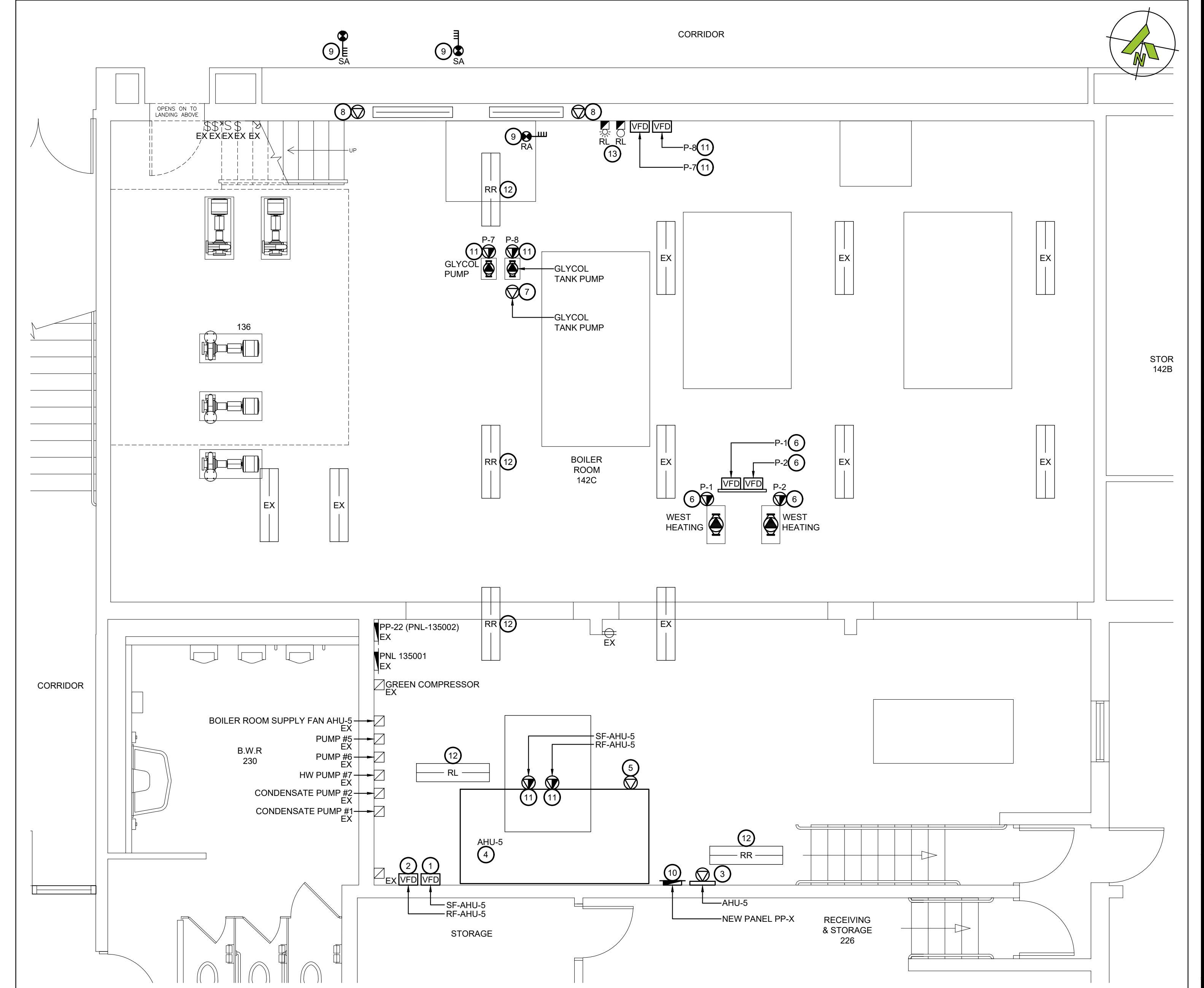
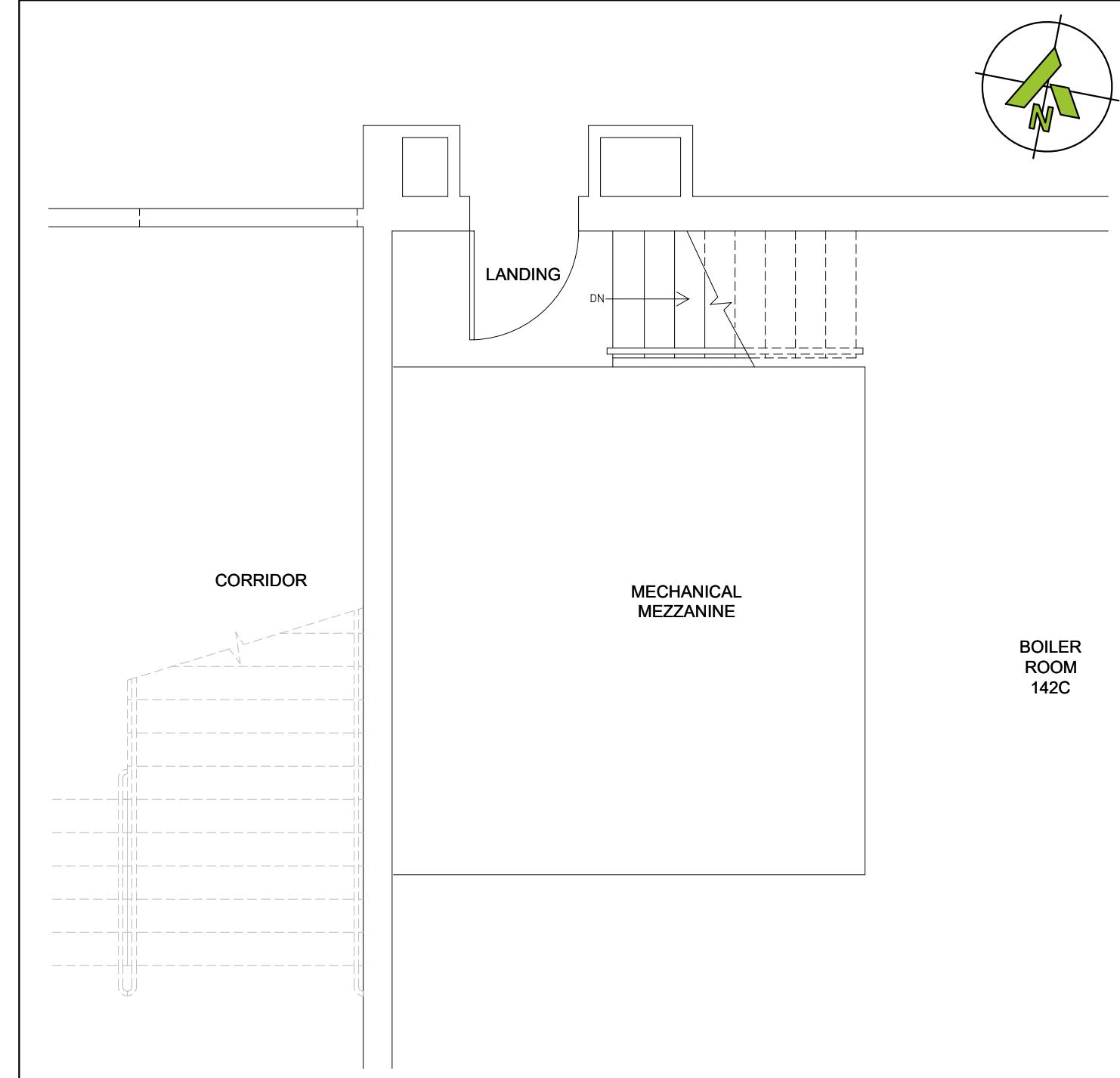
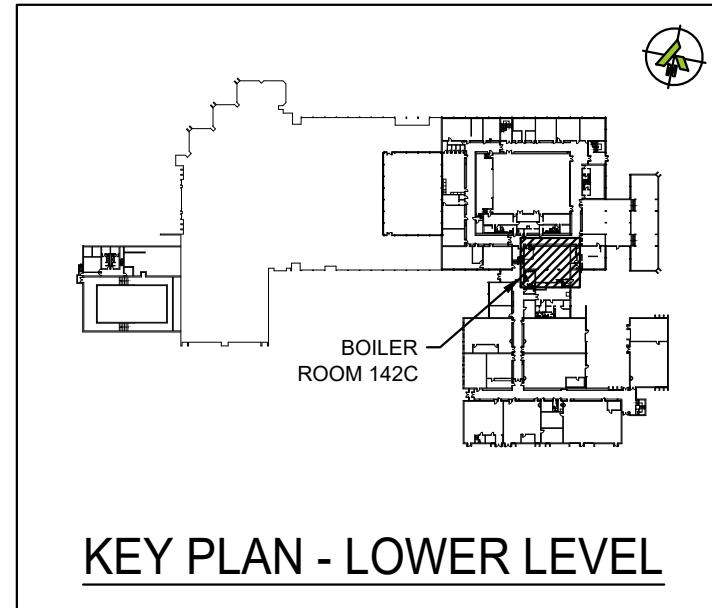
PROJECT NAME:  
DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL MAIN LEVEL  
DEMOLITION LAYOUT

DISCIPLINE: ELECTRICAL

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2026-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: ED105	7 of 14



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STAMPS:  
  
LICENSED PROFESSIONAL ENGINEER  
S.R. SNOW  
10050535  
JAN 1/26  
PROVINCE OF ONTARIO

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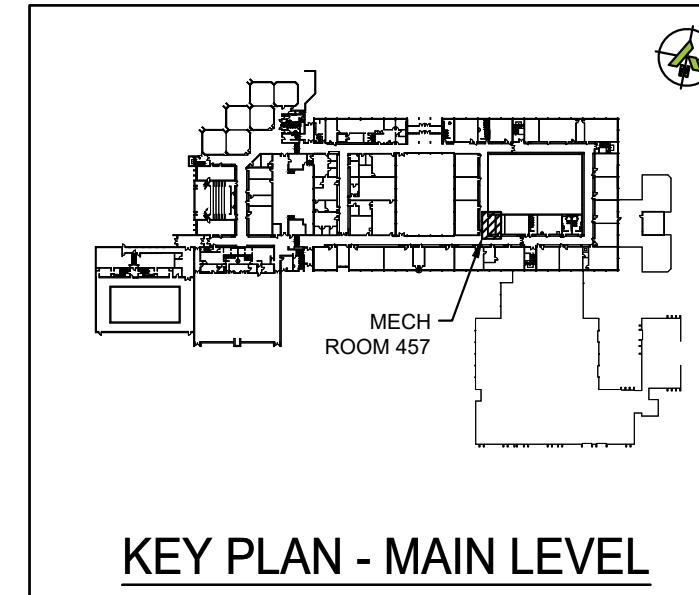
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PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

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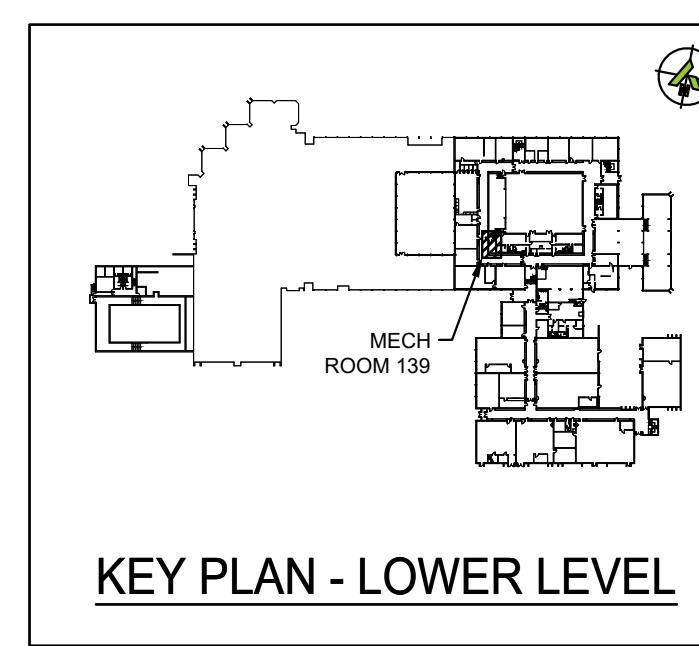
BOILER ROOM 142C  
NEW LAYOUT

DISCIPLINE: ELECTRICAL

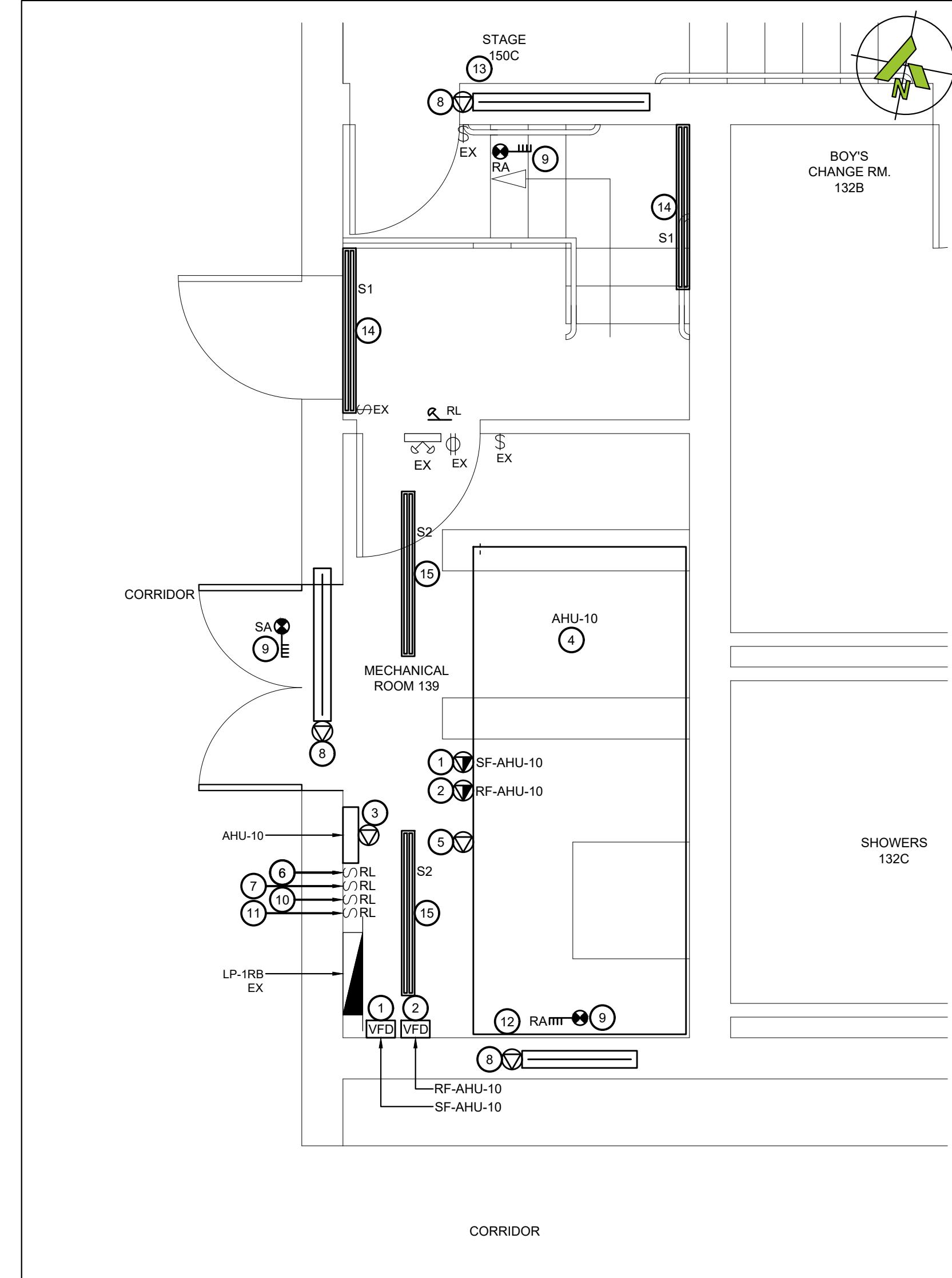
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DESIGNER: SS	DATE: 2026-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: 8 of 14	E-101



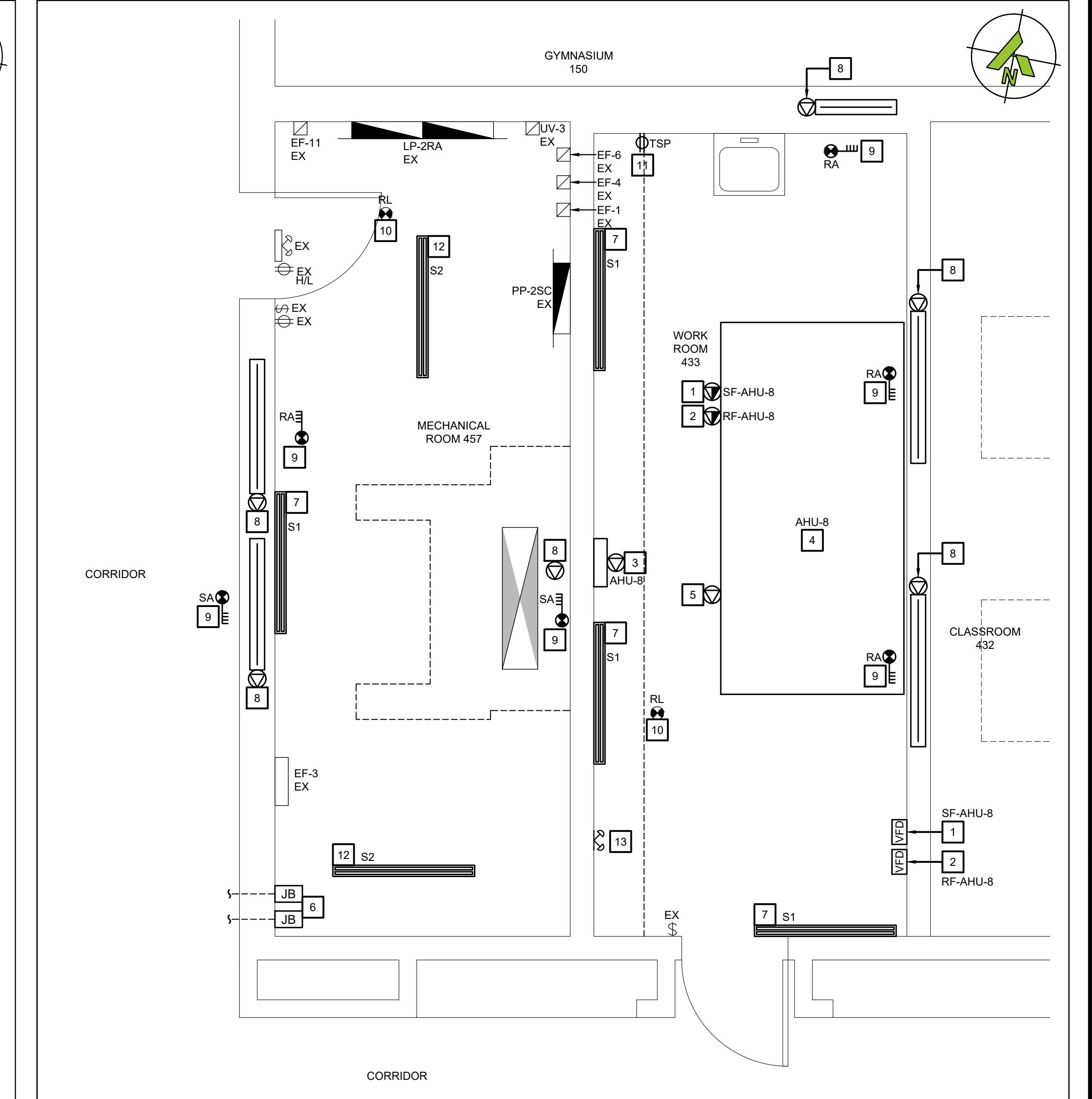
KEY PLAN - MAIN LEVEL



KEY PLAN - LOWER LEVEL



1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT  
ED102 SCALE: 3/8"=1"



2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT  
ED102 SCALE: 3/8"=1"

**MECHANICAL ROOM 139 WORKING NOTES:**

- 1 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SF. PROVIDE NEW POWER FED FROM LP-1RB TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
- 2 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RF. PROVIDE NEW POWER FED FROM LP-1RB TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
- 3 PROVIDE 120V POWER FOR BAS CONTROL PANEL FED FROM LP-1RB. COORDINATE FINAL LOCATION WITH MECHANICAL CONTRACTOR.
- 4 TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
- 5 PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FED FROM LP-1RB. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
- 6 RELOCATE EXISTING AHU-8 SUPPLY FAN SWITCH TO SUIT MECHANICAL WORK.
- 7 RELOCATE EXHAUST FAN 13 GIRLS WASHROOM TO SUIT MECHANICAL WORK.
- 8 PROVIDE 120V POWER FOR SMOKE FIRE DAMPERS FROM LP-1RB. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E-501.
- 9 PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONE AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
- 10 RELOCATE EXHAUST FAN CONTROL SWITCH FOR ROOM 445 TO SUIT MECHANICAL WORK.
- 11 CONTRACTOR TO INVESTIGATE AND TRACE EXISTING CONTROL SWITCH. ALLOW FOR RE-TAGGING AND RELOCATION TO SUIT MECHANICAL.
- 12 REWORK FIRE ALARM CONDUIT INTERFERING WITH NEW DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
- 13 RELOCATE SECURITY CONDUIT FEED INTERFERING WITH DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
- 14 PROVIDE NEW WALL MOUNTED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.
- 15 PROVIDE NEW SUSPENDED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.

**MECHANICAL ROOM 457 WORKING NOTES:**

- 1 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SF. PROVIDE NEW POWER FED FROM PP-2SC TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
- 2 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RF. PROVIDE NEW POWER FED FROM PP-2SC TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
- 3 PROVIDE 120V POWER FOR BAS CONTROL PANEL FED FROM LP-2RA. COORDINATE WITH MECHANICAL CONTRACTOR.
- 4 TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
- 5 PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FED FROM LP-2RA. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
- 6 PULL BACK AND RELOCATE EXISTING COMMUNICATIONS, PA CONDUIT AND WIRE TO SUIT NEW MECHANICAL UNIT.
- 7 PROVIDE NEW WALL MOUNTED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.
- 8 PROVIDE 120V POWER FOR SMOKE FIRE DAMPERS FROM LP-2RA. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E-501.
- 9 PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONE AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
- 10 INSTALL RETAINED CEILING DEVICE AT NEW LOCATION.
- 11 PROVIDE NEW RECEPTACLE AS NOTED FED FROM LP-2RA.
- 12 PROVIDE NEW SUSPENDED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.
- 13 PROVIDE NEW REMOTE HEAD CONNECTED TO EXISTING BATTERY UNIT IN MECHANICAL ROOM 457. CONTRACTOR TO VERIFY EXISTING VOLTAGE ON SITE.

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No. Date Description By  
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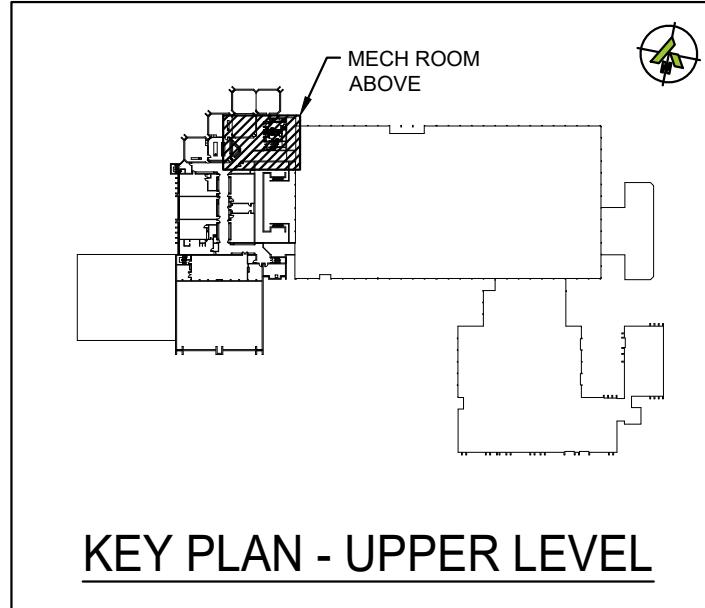
ENGINEER:  
**CIMA+**  
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415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT:  
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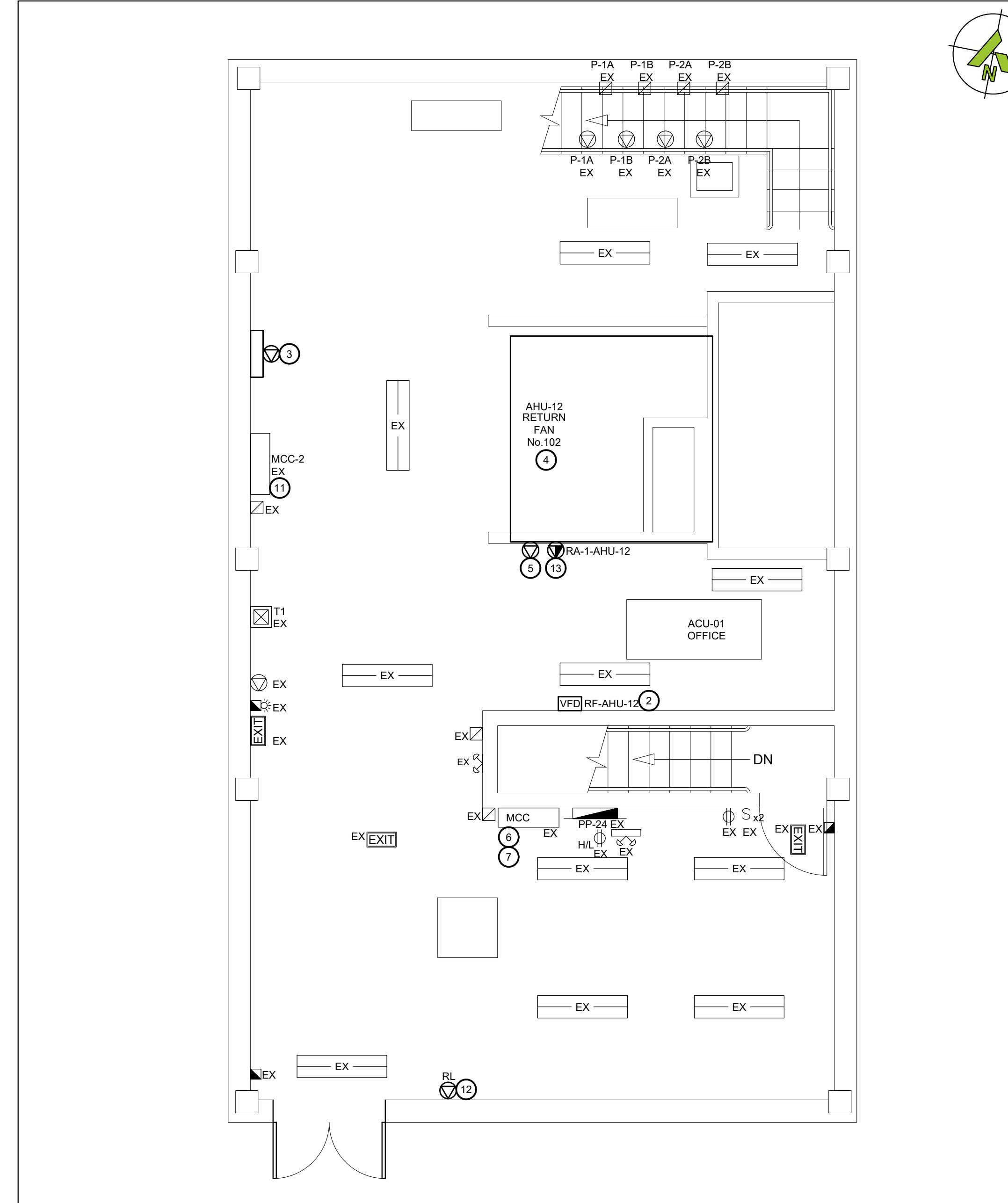
PROJECT NAME:  
**DUNBARTON HS**  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:  
**MECHANICAL ROOMS**  
139A AND 457  
NEW LAYOUT

DISCIPLINE:  
**ELECTRICAL**  
DRAFTER: JB SCALE: AS NOTED  
DESIGNER: SS DATE: 2026-01-07  
APPROVER: LC APPROVER:  
PROJECT No: A0001060 DRAWING No:  
SHEET No: 9 of 14 E-102



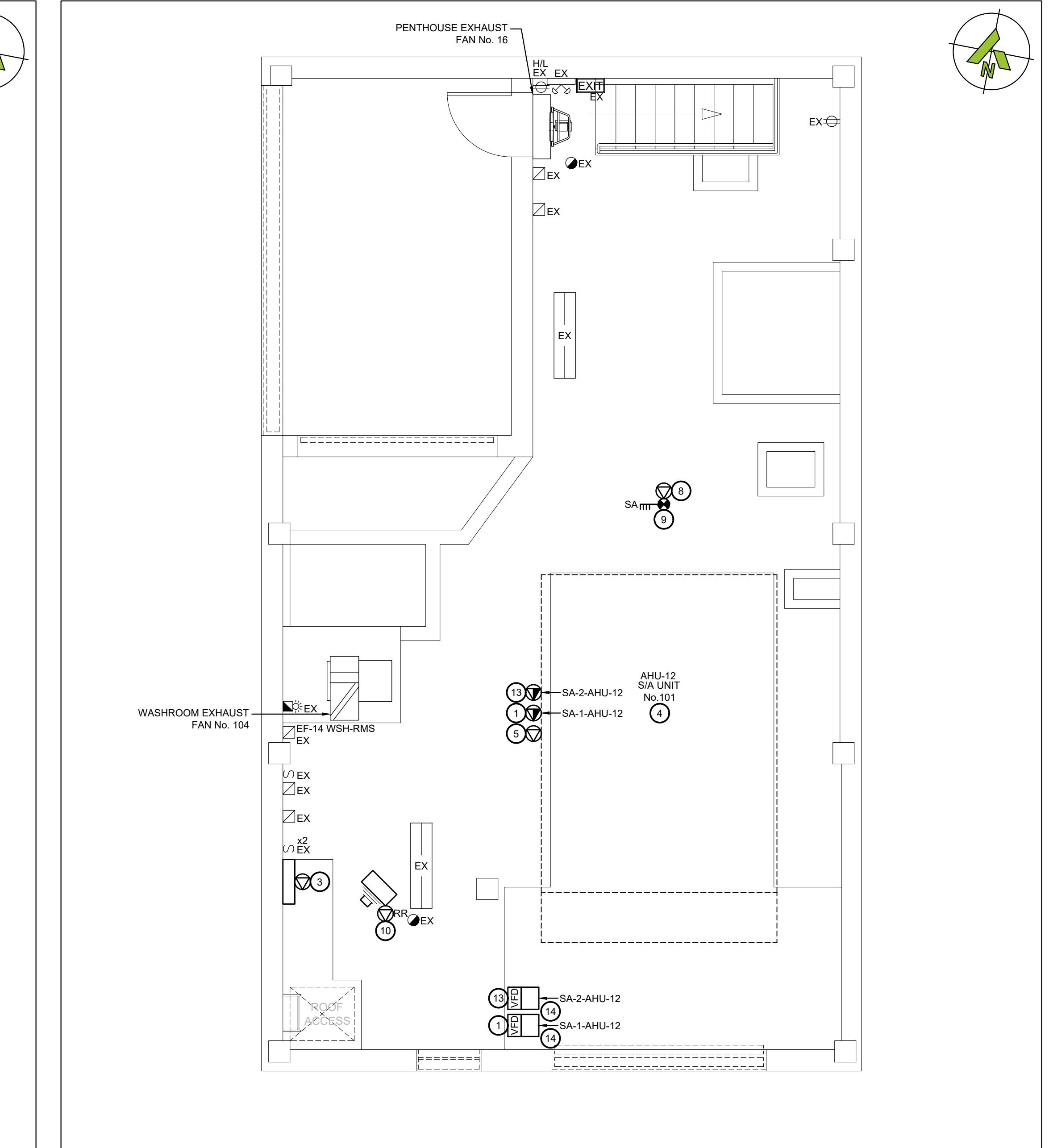
KEY PLAN - UPPER LEVEL



1 PENTHOUSE - LOW LEVEL - NEW LAYOUT

E-103

SCALE: 1/4"=1'



2 PENTHOUSE - HIGH LEVEL - NEW LAYOUT

E-103

SCALE: 1/4"=1'

## WORKING NOTES:

- ① VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SUPPLY FAN 1. PROVIDE NEW POWER FED FROM MCC TO HARMONIC FILTER, FROM HARMONIC FILTER TO VFD, AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#0 CU + #1 GND IN 2'C. COORDINATE FINAL LOCATION AND WALL MOUNTING ARRANGEMENT WITH MECHANICAL ON SITE.
- ② VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RETURN FAN 1. PROVIDE NEW POWER FED FROM MCC TO HARMONIC FILTER, FROM HARMONIC FILTER TO VFD, AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4'C. COORDINATE FINAL LOCATION AND WALL MOUNTING ARRANGEMENT WITH MECHANICAL ON SITE.
- ③ PROVIDE 120V POWER FOR BAS CONTROL PANEL FED FROM PP-24. COORDINATE WITH MECHANICAL CONTRACTOR.
- ④ TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
- ⑤ PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FED FROM PP-24. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
- ⑥ PROVIDE NEW 125A/125A FUSIBLE DISCONNECT ONLY BUCKET INSIDE MCC TO REPLACE EXISTING COMBINATION STARTER/DISCONNECT FOR AHU-12 SUPPLY FAN 1. EXISTING MCC IS A SIEMENS TIASTAR STYLE 89DS92662001.
- ⑦ PROVIDE NEW 60A/30A FUSIBLE DISCONNECT ONLY BUCKET INSIDE MCC TO REPLACE EXISTING DISCONNECT FOR AHU-12 RETURN FAN. EXISTING MCC IS A SIEMENS TIASTAR STYLE 89DS92662001.
- ⑧ PROVIDE 120V POWER FOR FIRE SMOKE DAMPERS FROM PP-24. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E-501.
- ⑨ PROVIDE NEW DUCT DETECTOR IN SUPPLY DUCT C/W NEW DEDICATED FIRE ALARM ZONE FOR FAN SHUTDOWN. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CANULC-S524 REQUIREMENTS.
- ⑩ UNIT HEATER TO BE REPLACED WITH NEW ON EXISTING CIRCUIT. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
- ⑪ PROVIDE NEW 125A/125A FUSIBLE DISCONNECT ONLY BUCKET INSIDE MCC-2 IN EMPTY SECTION FOR AHU-12 SUPPLY FAN. EXISTING MCC IS A SIEMENS TIASTAR STYLE 89DS92662001.
- ⑫ RELOCATE CIRCULATING PUMP TO SUIT NEW DOOR OPENING. COORDINATE FINAL LOCATION WITH MECHANICAL. EXTEND CONDUIT AND WIRING TO SUIT FINAL LOCATION.
- ⑬ VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SUPPLY FAN 2. PROVIDE NEW POWER FED FROM MCC TO HARMONIC FILTER, FROM HARMONIC FILTER TO VFD, AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#1 CU + #6AWG IN 2'C. COORDINATE FINAL LOCATION AND WALL MOUNTING ARRANGEMENT WITH MECHANICAL ON SITE.
- ⑭ HARMONIC FILTERS MOUNTED BELOW VFDS. COORDINATE WITH MECHANICAL FOR UNISTRUT MOUNTING SUCH THAT FACES OF VFD AND HARMONIC FILTERS ARE FLUSH WITH EACH OTHER.

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No. Date Description By

STAMPS:



ENGINEER:

**CIMA+**  
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415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT:

**DDSB**  
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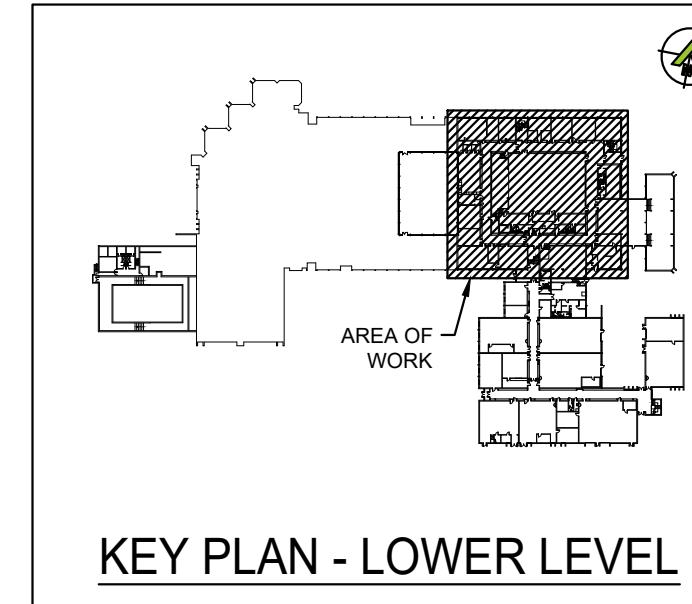
PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PENTHOUSE  
NEW LAYOUT

DISCIPLINE: ELECTRICAL

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2026-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: 10 of 14	E-103



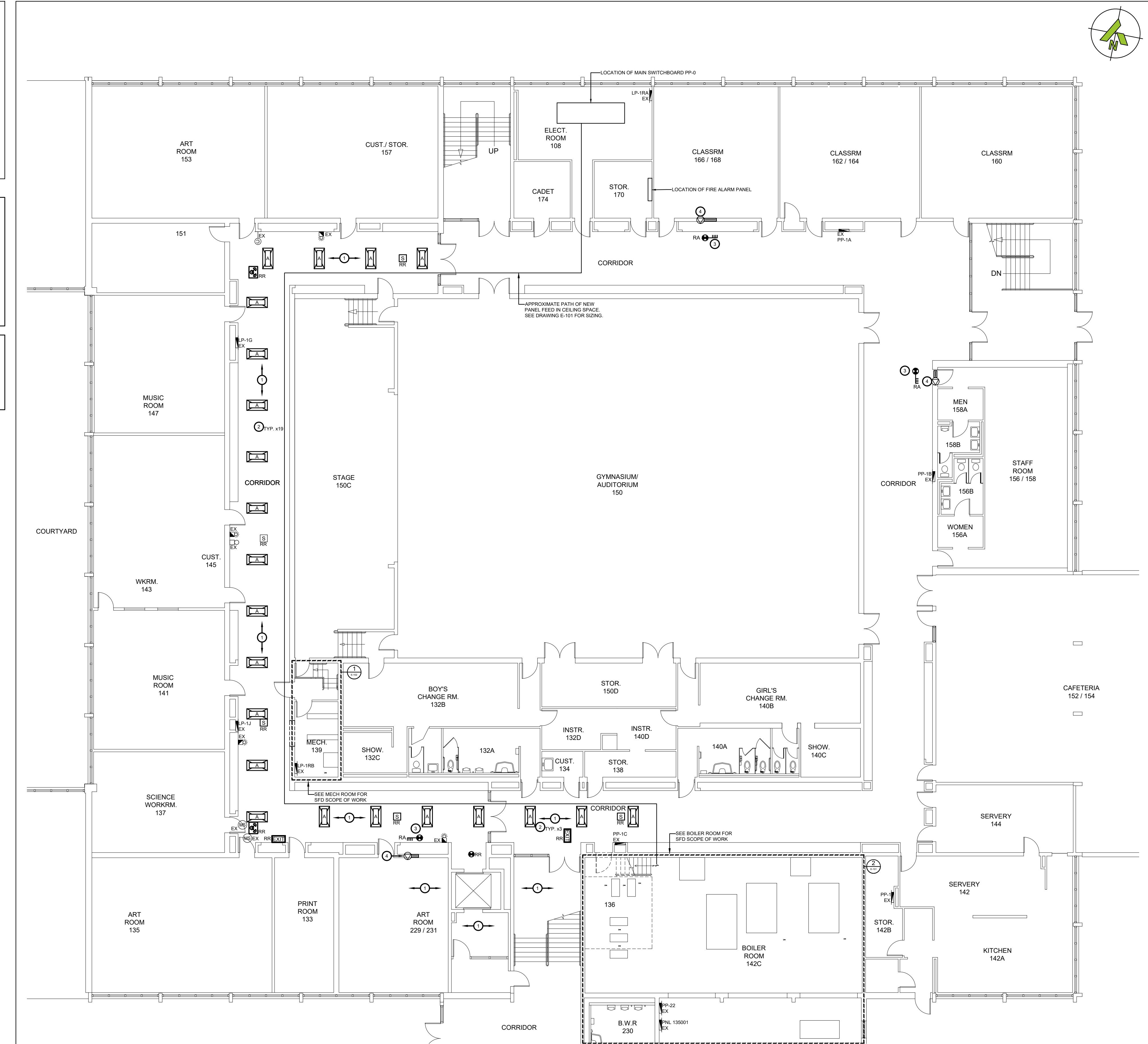
KEY PLAN - LOWER LEVEL

**WORKING NOTES:**

1. INSTALL ALL RETAINED CEILING DEVICES ONTO NEW CEILING.
2. PROVIDE NEW LED CORRIDOR FIXTURES. REUSE RETAINED CIRCUITING FROM DEMOLITION. EXTEND CONDUIT AND WIRING TO SUIT.
3. PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONES AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
4. PROVIDE 120V POWER FOR SMOKE DAMPERS FROM PANEL LP-2RA C/W NEW 20A BREAKER C/W LOCK ON DEVICE. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. COORDINATE WITH MECHANICAL CONTRACTOR.

**OPTIONAL PRICES:**  
PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE NO.3 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.

1 PARTIAL LOWER LEVEL - NEW LAYOUT  
E-104 SCALE: 3/32"=1"

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1	2026-01-08	Issued for Tender	SS
0	2026-01-07	Issued for Pre-Tender Review	SS
No.	Date	Description	By

STAMPS:



**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

**DDSB**  
ignite Learning

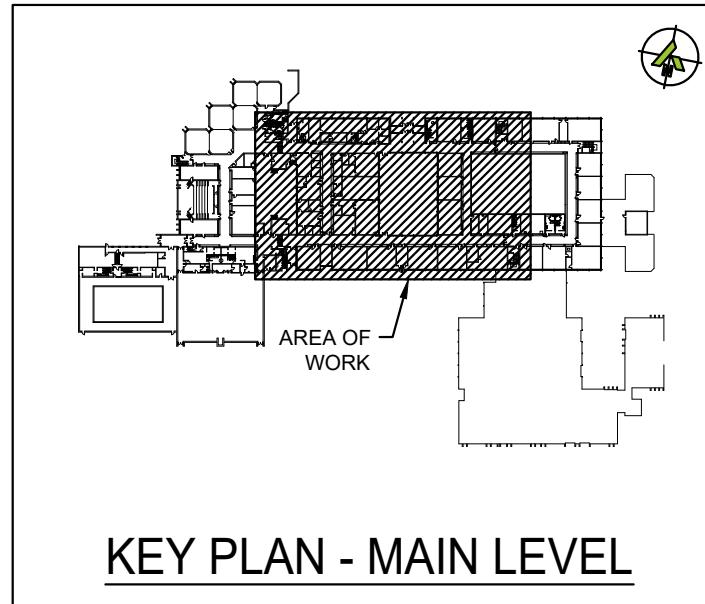
PROJECT NAME:  
**DUNBARTON HS**  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL  
NEW LAYOUT

DISCIPLINE:

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2026-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No: 11 of 14	E-104



KEY PLAN - MAIN LEVEL

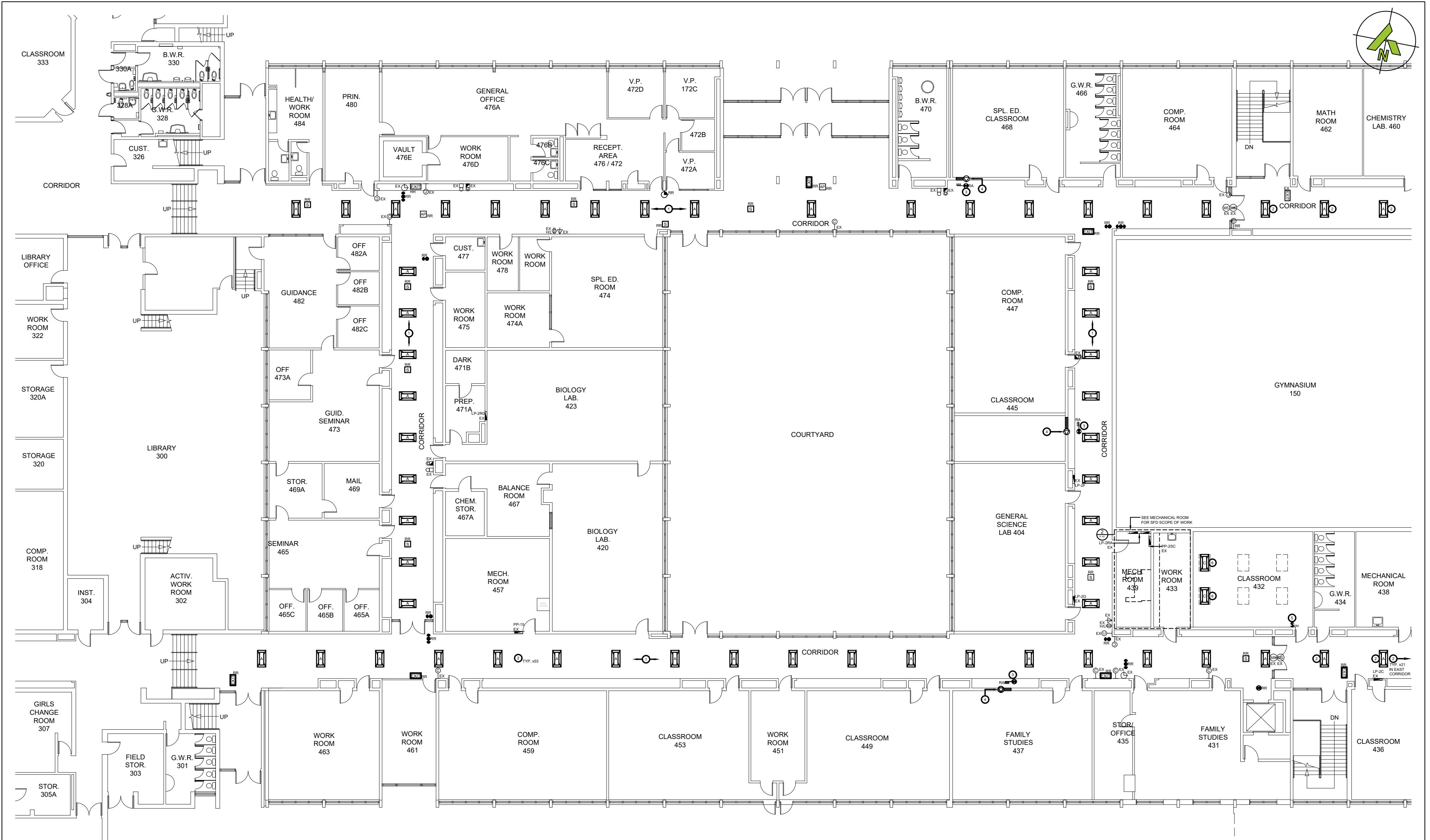
## WORKING NOTES:

- ① INSTALL ALL RETAINED CEILING DEVICES ONTO NEW CEILING.
- ② PROVIDE NEW LED CORRIDOR FIXTURES. REUSE RETAINED CIRCUITING FROM DEMOLITION. EXTEND CONDUIT AND WIRING TO SUIT.
- ③ PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONES AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
- ④ PROVIDE 120V POWER FOR SMOKE DAMPERS FROM PANEL LP-2RA C/W NEW 20A BREAKER C/W LOCK ON DEVICE. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. COORDINATE WITH MECHANICAL CONTRACTOR.
- ⑤ PROVIDE NEW DIMMER SWITCH IN LINE WITH EXISTING SWITCHES FOR NEW FLAT PANEL LED FIXTURES AS INDICATED.
- ⑥ PROVIDE NEW FLAT PANEL LED FIXTURE. REUSE CIRCUITING RETAINED FROM DEMOLITION AND CONNECT TO NEW DIMMER SWITCH.

## OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.



1 PARTIAL MAIN LEVEL - NEW LAYOUT  
E-105 SCALE: 1/16"=1'

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1	2026-01-08	Issued for Tender	SS
0	2026-01-07	Issued for Pre-Tender Review	SS
No.	Date	Description	By

STAMPS:

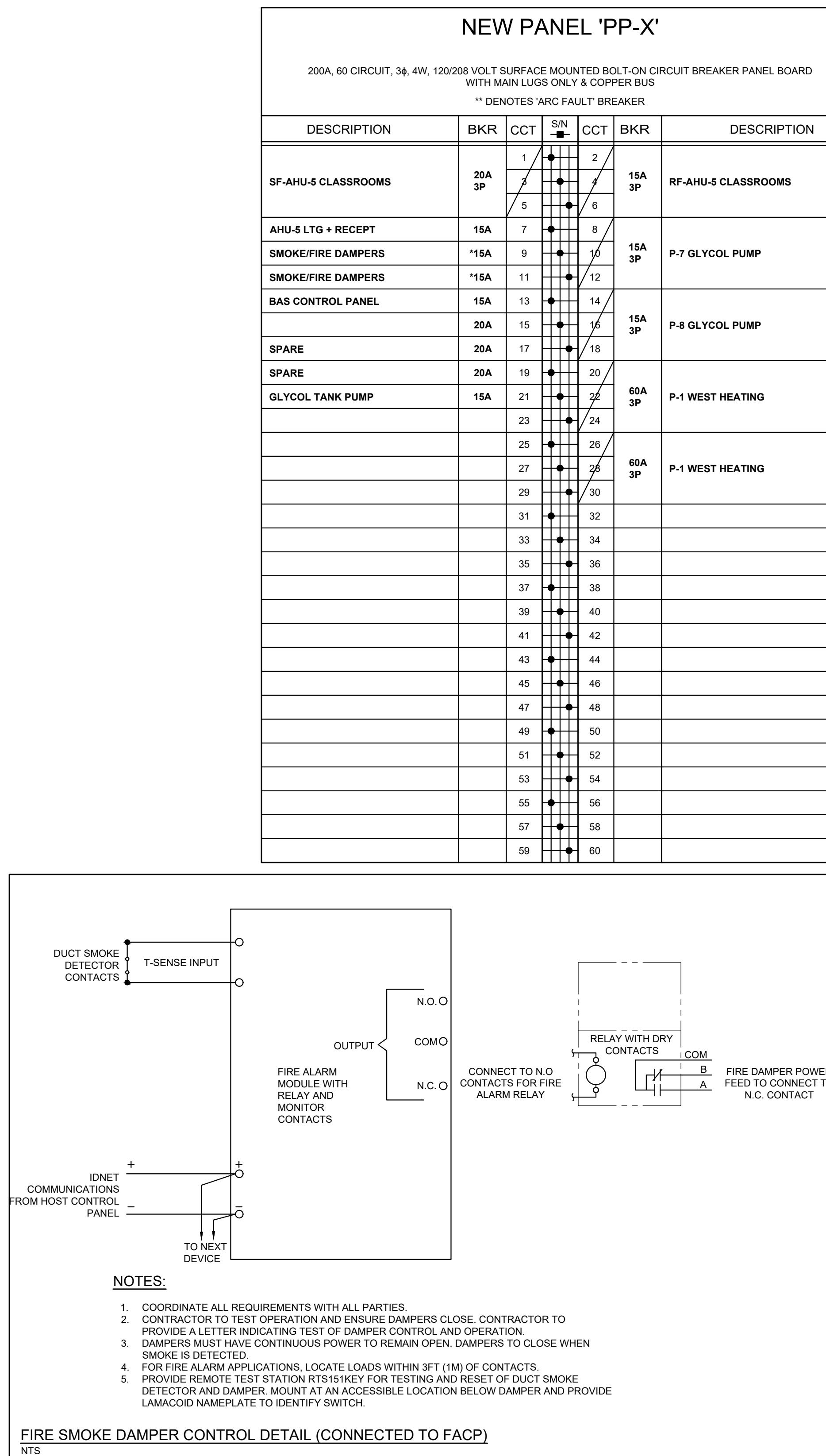
**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT:

PROJECT NAME:  
**DUNBARTON HS**  
**STEAM DECOMMISSIONING**  
**PHASE 1**  
655 SHEPPARD AVENUE, PICKERING, ON

PROJECT NUMBER: A0001060

DISCIPLINE:	ELECTRICAL	
DRAFTER:	JB	SCALE: AS NOTED
DESIGNER:	SS	DATE: 2026-01-07
APPROVER:	LC	APPROVER:
PROJECT No:	A0001060	DRAWING No:
SHEET No:	12 of 14	E-105



**REVISED PANEL 'PP-24'**

EXISTING MANUFACTURER: SQUARE D  
250A, 42 CIRCUIT, 3φ, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS  
\* DENOTES BREAKER LOCK-ON DEVICE  
\*\* DENOTES 'ARC FAULT' BREAKER  
++ DENOTES NEW BREAKER REQUIRED

DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
PENTHOUSE EXHAUST FAN	15A	1	2	15A	UNKNOWN LOAD	
PANEL RECEPTACLE	15A	3	4	15A	DHWP 2	
UNIT HEATER	20A	5	6	15A	EMERGENCY LIGHT RECEPTACLE	
EMS CONTROL	15A	7	8	15A++	AHU-12 RECEPTACLE	
SMOKE DAMPERS	*20A++	9	10	20A++	BAS PANEL LOWER LEVEL	
SMOKE DAMPERS	*20A++	11	12	20A++	BAS PANEL UPPER LEVEL	
SMOKE DAMPERS	*20A++	13	14	15A 3P	WASHROOM EXHAUST FAN	
SPARE	15A 3P	15	16	15A 3P		
SPARE	15A 3P	17	18	15A 3P		
UNKNOWN LOAD	20A 3P	19	20	15A 3P	CONDENSATION PUMP	
ROLL FILTER	15A	27	28	30A 2P	DOMESTIC HOT WATER PUMP	
DOMESTIC HOT WATER PUMP 02	15A	29	30	15A	UNKNOWN LOAD	
HEAT TRACE	*15A	31	32	70A 3P	ACU 01 OFFICE AC UNIT	
UNKNOWN LOAD	20A 3P	33	34	70A 3P		
UNKNOWN LOAD	20A 3P	35	36	70A 3P		
LEAK DETECTION PANEL	15A	39	40	50A 3P	CARRIER AC UNIT GUIDANCE	
WATER TREATMENT CONTROL	15A	41	42	50A 3P		

**EXISTING PANEL 'PP-24'**

EXISTING MANUFACTURER: SQUARE D  
250A, 42 CIRCUIT, 3φ, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS

DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
PENTHOUSE EXHAUST FAN	15A	1	2	15A	UNKNOWN LOAD	
PANEL RECEPTACLE	15A	3	4	15A	DHWP 2	
UNIT HEATER	20A	5	6	15A	EMERGENCY LIGHT RECEPTACLE	
EMS CONTROL	15A	7	8	15A 3P	PUMP 13	
PUMP 12	15A 3P	9	10	15A 3P		
PUMP 14	15A 3P	11	12	15A 3P	WASHROOM EXHAUST FAN	
UNKNOWN LOAD	20A 3P	13	14	15A 3P	CONDENSATION PUMP	
UNKNOWN LOAD	20A 3P	15	16	15A 3P	DOMESTIC HOT WATER PUMP	
ROLL FILTER	15A	27	28	30A 2P	UNKNOWN LOAD	
DOMESTIC HOT WATER PUMP 02	15A	29	30	15A	UNKNOWN LOAD	
HEAT TRACE	15A	31	32	70A 3P	ACU 01 OFFICE AC UNIT	
UNKNOWN LOAD	20A 3P	33	34	70A 3P		
UNKNOWN LOAD	20A 3P	35	36	70A 3P		
LEAK DETECTION PANEL	15A	39	40	50A 3P	CARRIER AC UNIT GUIDANCE	
WATER TREATMENT CONTROL	15A	41	42	50A 3P		

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1 2026-01-08 Issued for Tender SS  
0 2026-01-07 Issued for Pre-Tender Review SS  
No. Date Description By  
STAMPS:

**REVISED PANEL '135001'**

EXISTING MANUFACTURER: SQUARE D  
225A, 30 CIRCUIT, 3φ, 4W, 240 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS

DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
BIG GREEN COMPRESSOR	20A 3P	1	2	15A 3P	WORKSHOP DRILL PRESS	
PUMP #7	15A 3P	7	8	15A 3P	PUMP #6	
COND. PUMP #2	15A 3P	13	14	15A 3P	PUMP #5	
BOILER #2	15A 3P	19	20	15A 3P	AIR #1 (COMBUSTION AIR UNIT)	
BOILER #1	15A 3P	25	26	15A 3P	SPARE	

**EXISTING PANEL '135001'**

EXISTING MANUFACTURER: SQUARE D  
225A, 30 CIRCUIT, 3φ, 4W, 240 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS

DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
BIG GREEN COMPRESSOR	20A 3P	1	2	15A 3P	WORKSHOP DRILL PRESS	
PUMP #7	15A 3P	7	8	15A 3P	PUMP #6	
COND. PUMP #2	15A 3P	13	14	15A 3P	PUMP #5	
BOILER #2	15A 3P	19	20	15A 3P	AIR #1 (COMBUSTION AIR UNIT)	
BOILER #1	15A 3P	25	26	15A 3P	AIR #5 CLASSROOMS	

**EXISTING PANEL 'PP-2SC'**

EXISTING MANUFACTURER: SIEMENS  
600A, 30 CIRCUIT, 3φ, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS  
++ DENOTES NEW BREAKER REQUIRED

DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
AHU-8 RA	15A++ 3P	1	2	30A++ 3P	AHU-8 SA	
UNKNOWN LOAD	60A	11	12	60A	LP-2S1	
UNKNOWN LOAD	60A	13	14	60A	UNKNOWN LOAD	
UNKNOWN LOAD	60A	15	16	60A	LP-2S4	
LP-2S10	60A	17	18	60A	LP-2S5	
LP-2S9	60A	19	20	60A	LP-2S6	
LP-2SW	60A	21	22	60A	LP-2S3	
LP-2RC	100A	23	24	100A	LP-1RB	
LP-2RA		25	26			
		27	28			
		29	30	200A	LP-2FS	

**EXISTING PANEL 'PP-2SC'**

EXISTING MANUFACTURER: SIEMENS  
600A, 30 CIRCUIT, 3φ, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS

DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
		1	2			
		3	4			
		5	6			
		7	8			
		9	10			
UNKNOWN LOAD	60A	11	12	60A	LP-2S1	
UNKNOWN LOAD	60A	13	14	60A	UNKNOWN LOAD	
UNKNOWN LOAD	60A	15	16	60A	LP-2S4	
LP-2S10	60A	17	18	60A	LP-2S5	
LP-2S9	60A	19	20	60A	LP-2S6	
LP-2SW	60A	21	22	60A	LP-2S3	
LP-2RC	100A	23	24	100A	LP-1RB	
LP-2RA		25	26			
		27	28			
		29	30	200A	LP-2FS	

**PANEL SCHEDULES AND DETAILS**

**ELECTRICAL**

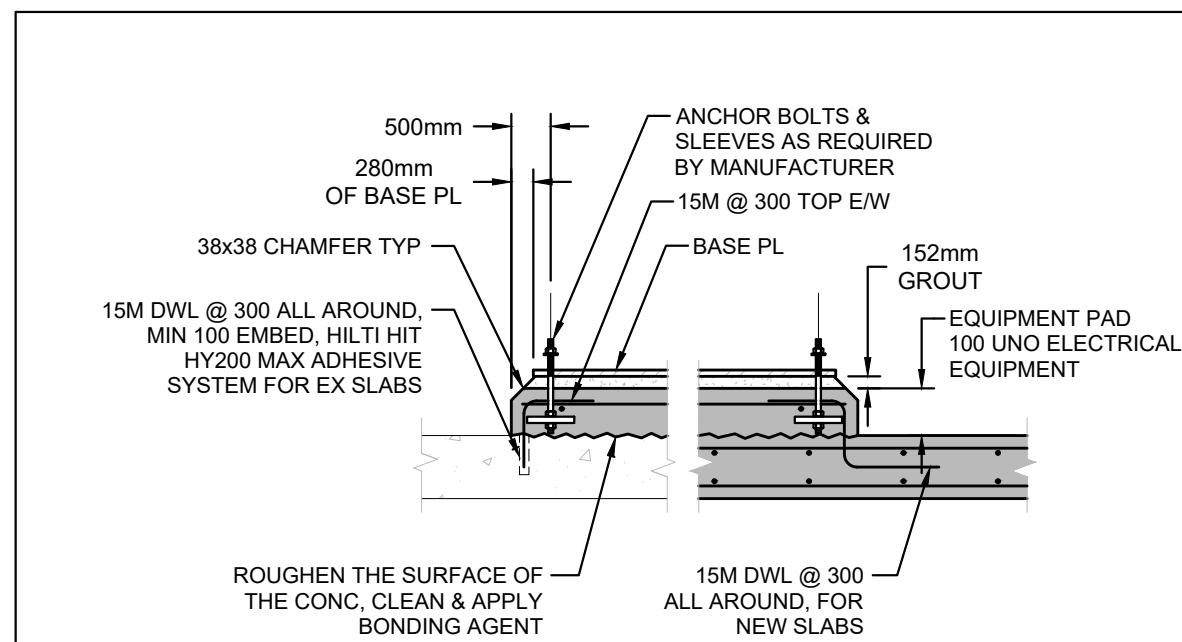
**DRAFTER:** JB SS DESIGNER: SS APPROVER: LC PROJECT No: A0001060 SHEET No: 13 of 14 DRAWING No: E-601

REVISED PANEL 'LP-2RA' LEFT SIDE							REVISED PANEL 'LP-2RA' RIGHT SIDE							EXISTING PANEL 'LP-2RA' LEFT SIDE							EXISTING PANEL 'LP-2RA' RIGHT SIDE								
EXISTING MANUFACTURER: SIEMENS 250A, 84 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS * DENOTES BREAKER LOCK-ON DEVICE ++ DENOTES NEW BREAKER REQUIRED							EXISTING MANUFACTURER: SIEMENS 250A, 84 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS * DENOTES BREAKER LOCK-ON DEVICE ++ DENOTES NEW BREAKER REQUIRED							DESCRIPTION	DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION	DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION	
LIGHTS RM. 447	20A	1		2	20A	LIGHTS RM. 436	RECEPTACLE ROOM 435	20A	43		44	*20A++	CORRIDOR SMOKE DAMPER	LIGHTS RM. 447	20A	1		2	20A	LIGHTS RM. 436	RECEPTACLE ROOM 435	20A	43		44	20A	SPARE		
LIGHTS RM. 445	20A	3		4	20A	LIGHTS RM. 411 & 440	FAN RECEPTACLE RM. 447	20A	45		46	20A	SPARE	LIGHTS RM. 445	20A	3		4	20A	LIGHTS RM. 411 & 440	FAN RECEPTACLE RM. 447	20A	45		46	20A	SPARE		
LIGHTS RM. 443	20A	5		6	20A	LIGHTS RM. 446	FUME HOOD FAN	20A	47		48	20A	SPARE	LIGHTS RM. 443	20A	5		6	20A	LIGHTS RM. 446	FUME HOOD FAN	20A	47		48	20A	SPARE		
LIGHTS RM. 437 & 435	20A	7		8	20A	I.G. RECEPTACLE RM. 411	PCB	20A	49		50	20A	BAS PANEL	LIGHTS RM. 437 & 435	20A	7		8	20A	I.G. RECEPTACLE RM. 411	PCB	20A	49		50	20A	SPARE		
LIGHTS RM. 431	20A	9		10	15A	I.G. RECEPTACLE RM. 411	FAN F1 ROOM 437	20A	51		52	15A	FAN - F4 ROOM 436	LIGHTS RM. 431	20A	9		10	15A	I.G. RECEPTACLE RM. 411	FAN F1 ROOM 437	20A	51		52	15A	FAN - F4 ROOM 436		
RECEPTACLES RM. 443 - 447	15A	11		12	15A	RECEPTACLE CP RM. 436 - 446	FUME HOOD FAN RM. 435	15A	53		54	15A	FUME HOOD FAN	RECEPTACLES RM. 443 - 447	15A	11		12	15A	RECEPTACLE CP RM. 436 - 446	FUME HOOD FAN RM. 435	15A	53		54	15A	FUME HOOD FAN		
GAS SOLENOID FUME HOOD	15A	13		14	15A	UNKNOWN LOAD	SPARE	15A	55		56	15A	FAN F6 ROOM 446	GAS SOLENOID FUME HOOD	15A	13		14	15A	UNKNOWN LOAD	SPARE	15A	55		56	15A	FAN F6 ROOM 446		
RECEPTACLE RM. 445	15A	15		16	15A	RECEPTACLE RM. 440	UNKNOWN LOAD	15A	57		58	15A	ROOM 430 A.C. UNIT	RECEPTACLE RM. 445	15A	15		16	15A	RECEPTACLE RM. 440	UNKNOWN LOAD	15A	57		58	15A	ROOM 430 A.C. UNIT		
RECEPTACLE RM. 445	15A	17		18	15A	RECEPTACLE RM. 440	LIGHT/BATTERY UNIT	15A	59		60	15A	ROOM 430 A.C. UNIT	RECEPTACLE RM. 445	15A	17		18	15A	RECEPTACLE RM. 440	LIGHT/BATTERY UNIT	15A	59		60	15A	ROOM 430 A.C. UNIT		
RECEPTACLE RM. 445	15A	19		20	15A	RECEPTACLE RM. 440	GFCI MACH. ROOM	15A	61		62	20A	3P	UNKNOWN LOAD	RECEPTACLE RM. 445	15A	19		20	15A	RECEPTACLE RM. 440	GFCI MACH. ROOM	15A	61		62	20A	3P	UNKNOWN LOAD
RECEPTACLE RM. 445	15A	21		22	15A	RECEPTACLE RM. 440	REC. 426	15A	63		64	20A	3P	UNKNOWN LOAD	RECEPTACLE RM. 445	15A	21		22	15A	RECEPTACLE RM. 440	REC. 426	15A	63		64	20A	3P	UNKNOWN LOAD
FRIDGE RECEPTACLE RM. 445	15A	23		24	15A	FUME HOOD LIGHT & RECEPTACLE	REC. 424	15A	65		66	20A	3P	UNKNOWN LOAD	FRIDGE RECEPTACLE RM. 445	15A	23		24	15A	FUME HOOD LIGHT & RECEPTACLE	REC. 424	15A	65		66	20A	3P	UNKNOWN LOAD
FUME HOOD RECEPTACLE & LIGHT	15A	25		26	15A	RECEPTACLE RM. 440	HALL REC.	15A	67		68	15A	SP	FUME HOOD RECEPTACLE & LIGHT	15A	25		26	15A	RECEPTACLE RM. 440	HALL REC.	15A	67		68	15A	SP	FUME HOOD RECEPTACLE & LIGHT	
RECEPTACLE CP 431-437	15A	27		28	15A	GFI RECEPTACLE ROOM 441	REC. 426	15A	69		70	15A	SP	RECEPTACLE CP 431-437	15A	27		28	15A	GFI RECEPTACLE ROOM 441	REC. 426	15A	69		70	15A	SP	RECEPTACLE CP 431-437	
FUME GAS SOLENOID	15A	29		30	15A	FRIDGE RECEPTACLE ROOM 411	REC. 426	15A	71		72	15A++	TRAP SEAL PRIMER RECEPTACLE	FUME GAS SOLENOID	15A	29		30	15A	FRIDGE RECEPTACLE ROOM 411	REC. 426	15A	71		72	15A	SP	FUME GAS SOLENOID	
RECEPTACLE RM. 435	15A	31		32	15A	RECEPT. RACEWAY N. WALL RM. 411	ELEV CONVERTOR	15A	73		74	15A++	AHU-8 RECEPTACLE	RECEPTACLE RM. 435	15A	31		32	15A	RECEPT. RACEWAY N. WALL RM. 411	ELEV CONVERTOR	15A	73		74	15A	SP	RECEPTACLE RM. 435	
RECEPTACLE RM. 435	15A	33		34	15A	RECEPT. RACEWAY N. WALL RM. 411	TC ROOF GFCI	20A	75		76	*20A++	SMOKE DAMPERS	RECEPTACLE RM. 435	15A	33		34	15A	RECEPT. RACEWAY N. WALL RM. 411	TC ROOF GFCI	20A	75		76	15A	SP	RECEPTACLE RM. 435	
RECEPTACLE RM. 435	15A	35		36	15A	RECEPT. RACEWAY S. WALL RM. 411	ELEC. CAB LIGHT	15A	77		78	*20A++	SMOKE DAMPERS	RECEPTACLE RM. 435	15A	35		36	15A	RECEPT. RACEWAY S. WALL RM. 411	ELEC. CAB LIGHT	15A	77		78	15A	SP	RECEPTACLE RM. 435	
FUME HOOD RECEPTACLE & LIGHTS	15A	37		38	15A	RECEPT. RACEWAY S. WALL RM. 411	REC. 79	20A	79		80	*20A++	SMOKE DAMPERS	FUME HOOD RECEPTACLE & LIGHTS	15A	37		38	15A	RECEPT. RACEWAY S. WALL RM. 411	REC. 79	20A	79		80	15A	SP	FUME HOOD RECEPTACLE & LIGHTS	
UNKNOWN LOAD	15A	39		40	15A	RECEPT. RACEWAY E. WALL RM. 411	REC. 81	20A	81		82	*20A++	SMOKE DAMPERS	UNKNOWN LOAD	15A	39		40	15A	RECEPT. RACEWAY E. WALL RM. 411	REC. 81	20A	81		82	15A	SP	UNKNOWN LOAD	
UNKNOWN LOAD	15A	41		42	15A	RECEPT. RACEWAY E. WALL RM. 411	REC. 83	*20A++	83		84	*20A++	SMOKE DAMPERS	UNKNOWN LOAD	15A	41		42	15A	RECEPT. RACEWAY E. WALL RM. 411	REC. 83	*20A++	83		84	15A	SP	UNKNOWN LOAD	

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1 2026-01-08 Issued for Tender SS  
0 2026-01-07 Issued for Pre-Tender Review SS  
No. Date Description By  
STAMPS:  
S.R. SNOW  
100505735  
JAN 1/26  
LICENSED PROFESSIONAL ENGINEER  
S.R. SNOW  
100505735  
PROVINCE OF ONTARIO

REVISED PANEL 'LP-1RB'							EXISTING PANEL 'LP-1RB'						
EXISTING MANUFACT													



## GENERAL NOTES:

1. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE REMAINDER OF THE CONTRACT DRAWINGS AND DOCUMENTS.
2. DO NOT SCALE DRAWINGS.
3. STRUCTURAL DESIGN IS BASED ON THE LATEST EDITION OF THE NATIONAL AND ONTARIO BUILDING CODES.
4. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
5. SCAN ALL CONCRETE AND MASONRY FOR EMBEDDED UTILITIES PRIOR TO DRILLING OR REMOVALS.
6. PROVIDE TEMPORARY SHORING FOR EXISTING MASONRY WALLS FOR THE INSTALLATION OF NEW LINTELS.

## MATERIALS:

1. MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH: STRUCTURAL CONCRETE: 30MPa, CLASS N
2. ALL REINFORCING BAR SHALL BE GRADE 400MPa, DEFORMED, CAN/CSA-G30.18.
3. CONCRETE BLOCK SHALL CONFORM TO THE LATEST EDITION OF THE RELEVANT CODES AND STANDARDS AND THE BLOCK STRENGTH SHALL BE 15MPa ON NET AREA.
4. MORTAR SHALL BE TYPE "S" UNLESS NOTED OTHERWISE.
5. CONCRETE FILL IN REINFORCED MASONRY SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 20MPa.
6. STRUCTURAL STEEL TO CONFORM TO CAN/CSA-G40.21, UNO.  
W SECTIONS: GRADE 350W  
L AND C SECTIONS: GRADE 300W  
HSS SECTIONS: GRADE 350 CLASS 'H'
7. THE WELDING ELECTRODES SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W48 (LATEST EDITION).
8. STEEL SHALL BE THOROUGHLY CLEANED AND BE GIVEN ONE SHOP COAT OF ANTI-CORROSION PRIMER. AREAS AFFECTED BY WEATHERING, OR ANY OTHER DAMAGE SHALL HAVE THE RUST REMOVED AND BE "TOUCHED UP" IN THE FIELD. STEEL PERMANENTLY EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED ELSEWHERE. GALVANIZING SHALL BE REMOVED LOCALLY PRIOR TO ANY STRUCTURAL FIELD WELDING. SUCH AREAS SHALL RECEIVE 2 COATS OF GALAFROID OR EQUIVALENT UNLESS NOTED OTHERWISE.

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No.	Date	Description	By



## 1 EQUIPMENT PAD DETAIL

S-001 SCALE: 1/8"=1"

STEEL LINTEL SCHEDULE			
CLEAR SPAN	UP TO 1200mm	1200mm TO 1800mm	1800mm TO 2100mm
90 WALL	1L-90x90x8	1L-127x90x8	1L-150x90x8
140 WALL	1L-127x127x8	1L-180x127x8	1L-180x127x8
190 WALL	2L's-90x90x8	2L's-127x90x8	2L's-150x90x8
240 WALL	2L's-100x100x8	2L's-150x100x8	2L's-150x100x8
290 WALL	3L's-90x90x8	3L's-127x90x8	3L's-150x90x8
UP TO 3200mm	W200x27 + PL. 6mm THK. IN CENTER OF WALL		SEE DETAIL

1. PAIRS OF LINTEL ANGLES TO BE STITCH WELDED (TAB) @ 600mm c/c.  
2. MINIMUM BEARING FOR STEEL ANGLES SHALL BE 150mm UNO.  
3. FOR LINTELS ABUTTING STEEL COLUMNS, CONCRETE WALLS OR OTHER COLUMNS PROVIDE L-90x90x10 FASTENED TO ABUTMENT.  
4. ALL ANGLES SHALL BE LLV, UNO.  
5. ALL LOOSE ANGLES SHALL BE HOT DIPPED GALVANIZED (UNO).

ENGINEER:  
**CIMA+**  
T 905 697-4464  
415 Baseline Road West, Bowmanville,  
ON L1C 5M2 CANADA

CLIENT:  
**DDSB**  
ignite Learning

PROJECT NAME: DUNBARTON HS  
STEAM DECOMMISSIONING  
PHASE 1  
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

NOTES AND DETAILS

DISCIPLINE: STRUCTURAL	
DRAFTER: MRC	SCALE: NTS
DESIGNER: BS	DATE: 2026-01-07
APPROVER: SY	APPROVER: BRT
PROJECT No: A0001060	DRAWING No:
SHEET No:	1 of 1

S-001