

Dunbarton High School
Project Name: Steam Decommissioning – Phase 1
Site Address: 655 Sheppard Ave, Pickering, ON L1V 1G2

T25-62
Issued For: Bid
Date: January 8, 2026

15.0 DRAWINGS

HVAC NOTES:	
1.	CONCEAL ALL SERVICES IN CEILING SPACES AND FURRED CONSTRUCTION UNLESS INSTALLED IN UNFINISHED OR EXPOSED AREAS OR IF SPECIFICALLY NOTED TO BE EXPOSED.
2.	COORDINATE INSTALLATION WITH ALL OTHER TRADES.
3.	PROVIDE 4" FLEXIBLE CONNECTIONS AT ALL DUCT CONNECTIONS TO AIR HANDLING EQUIPMENT.
4.	PROVIDE ACOUSTIC INSULATION IN FIRST 5' (1.5m) OF SUPPLY AND RETURN DUCTS OFF AIR HANDLING UNITS, ALL TRANSFER DUCTS AND AS INDICATED ON DRAWINGS. SEAL ALL EXPOSED ENDS OF INSULATION.
5.	PROVIDE TURNING VANES IN ALL SQUARE ELBOWS AND SHORT RADIUS ELBOWS FOR SUPPLY AIR DUCTS.
6.	TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.
7.	SEAL ALL JOINTS ON ALL SUPPLY & RETURN AIR DUCTS WITH DURODYNE DUCT SEALER IN CONFORMANCE TO CLASS 'C' ASHRAE 90.1 AND SMACNA STANDARDS. USE CLEAR DUCT SEALER OR SEAL BEHIND JOINTS FOR ALL EXPOSED DUCTWORK.
8.	BRANCH DUCTWORK TO DIFFUSERS TO BE SAME SIZE AS DIFFUSER NECK.
9.	PROVIDE BALANCE DAMPERS ON ALL BRANCH DUCTS CLOSE TO MAIN TAKE-OFF. REVIEW WITH BALANCING CONTRACTOR TO CONFIRM LOCATIONS OF ALL BALANCE DAMPERS PRIOR TO CONSTRUCTION.
10.	INCLUDE FOR THE SUPPLY AND INSTALLATION OF TWO(2) EXTRA BALANCE DAMPERS AFTER CONSTRUCTION AND BALANCING COMPLETION. (PENDING BALANCING RESULTS AND COMMENTS).
11.	FLEXIBLE DUCT SHALL ONLY BE USED IN SUPPLY AIR APPLICATIONS FOR CONNECTIONS TO DIFFUSERS IN DROPPED CEILING. FLEXIBLE DUCT SHALL BE MAXIMUM 6' (1.8m) IN LENGTH AND SHALL BE SECURELY FASTENED TO DUCTS AND DIFFUSERS. PROVIDE HANGERS AND FLEXIBLE DUCTWORK WITHOUT SHARP 90's, SAGGING, OR CRUSHING OF DUCT. FLEXIBLE DUCT IS NOT ACCEPTABLE IN ANY OTHER APPLICATION.
12.	PROVIDE EXTERNAL INSULATION ON ALL SUPPLY AIR DUCTS, ALL OUTSIDE AIR DUCTS AND ON ALL EXHAUST DUCTS WITHIN 8' (2.4m) OF OUTSIDE WALL/ROOF INCLUDING RIGID AND FLEXIBLE DUCT.
13.	CONFIRM EXACT LOCATIONS OF SENSORS WITH ENGINEER AND OWNER. MOUNT SENSORS AT 59" (1500mm) AFF. ENSURE THAT SENSOR LOCATIONS WILL NOT BE AFFECTED BY DIRECT SUNLIGHT, COLD WALLS OR MILLWORK.
14.	ALL INDOOR CONTROL WIRING SHALL BE RUN IN EMT CONDUIT OR FT6 (EMT SHALL BE USED IN EXPOSED AREAS). LAST 3' SHALL BE BX WHEN USING CONDUIT. ALL OUTDOOR CONTROL WIRING SHALL BE RUN IN LIQUIDTIGHT. ALL CONTROL WIRING SHALL RUN PARALLEL TO BUILDING LINES AND TIGHT TO ROOF DECK OR WALLS. ALL CONTROL WIRING PASSING THROUGH WALLS SHALL BE RUN IN EMT CONDUIT C/W BUSHINGS AT EACH END.
15.	PROVIDE FIRE DAMPERS OR COMBINATION SMOKE & FIRE DAMPERS AT ALL FIRE SEPARATIONS. FIRE DAMPERS SHALL BE TYPE 'B' C/W LINKAGE OUT OF THE AIR STREAM. FIRE DAMPER RATING TO MATCH THE RATING OF THE SEPARATION CROSSED. INSTALLATION MUST CONFORM TO LATEST NFPA/CSA 90A SPECIFICATIONS. ONLY USE ULC APPROVED EQUIPMENT. PROVIDE DUCT ACCESS DOORS AND BREAK AWAY FLANGES FOR ALL FIRE DAMPERS IN CONFORMANCE WITH CODE AND INSTALLATION INSTRUCTIONS. ACCESS DOORS SHALL BE TWIST LOCK TYPE - SCREWED PANELS ARE NOT ACCEPTABLE.
16.	PROVIDE SLEEVES FOR PIPES THROUGH ALL NEW BLOCK WALLS. FILL VOIDS AROUND PIPES. ENSURE NO CONTACT BETWEEN DISSIMILAR METALS.
17.	PROVIDE DRYWALL ACCESS DOORS FOR CONCEALED FIRE AND BALANCE DAMPERS AND ANY OTHER CONCEALED DEVICES [AND TURN OVER TO THE GENERAL CONTRACTOR FOR INSTALLATION. DOORS TO BE GALVANIZED STEEL FOR FIELD PAINTING. DOORS SHALL BE RATED WHERE INSTALLED IN FIRE SEPARATIONS.
18.	DRAIN HEATING SYSTEMS AS REQUIRED FOR NEW WORK. FILL, FLUSH, TEST AND TREAT (CHEMICAL TREATMENT) AFTER WORK IS COMPLETE. PROVIDE ALL PORTS, VALVES AND GAUGES AS REQUIRED. SUBMIT CHEMICAL TREATMENT REPORT TO ENGINEER. FREEZING OF PIPING TO ALLOW ISOLATION OF WORK AREA IS ACCEPTABLE IN LIEU OF DRAINING.
19.	ALL CBVs SHALL BE MOUNTED WITH PORTS IN HORIZONTAL (90°) POSITION.
20.	PROVIDE EXTERNAL INSULATION ON ALL HEATING PIPING EXCEPT IN WALL/FIN ENCLOSURES.
21.	PROVIDE FIRE STOPPING AROUND ALL NEW PIPING THROUGH FIRE SEPARATIONS IN ACCORDANCE WITH CAN/ULC-S115.
22.	LABEL ALL EXISTING AND NEW HEATING PIPING IN AREAS OF WORK COMPLETE WITH FLOW ARROWS. LABELS SHALL BE MAX 3m(10') SPACING AND ON EITHER SIDE OF WALLS. LABELING MUST BE COMPLETE PRIOR TO NEW CEILING BEING INSTALLED OTHERWISE IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE CEILING TILES FOR INSPECTION AT THE DIRECTION OF THE CONSULTANT.
23.	LABEL CEILING TILE WITH PERMANENT ADHESIVE LABELS OR LAMACOID NAMEPLATES FOR ACCESS TO MECHANICAL ITEMS.
24.	OBTAIN THE SERVICES OF A NADCA QUALIFIED CONTRACTOR FOR DUCT CLEANING.
25.	OBTAIN THE SERVICES OF A NEBB, CAABC OR NBCTA ACCREDITED BALANCING COMPANY TO BALANCE THE COMPLETE HVAC SYSTEM. PROVIDE REPORT TO ENGINEER FOR REVIEW. REFER TO SPECIFICATIONS FOR APPROVED AGENTS.
26.	PROVIDE TESTING AND STARTUP OF ALL NEW EQUIPMENT AND PROVIDE REPORTS TO THE ENGINEER FOR REVIEW.

GENERAL NOTES:	
1.	WORK TO BE COMPLETED OUTSIDE REGULAR HOURS: 1. ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
2.	ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
3.	ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS. (SIDE NOTE: IN SOME CASES THE CONTRACTOR MAY GET PRE-APPROVAL IF WORK IS CONFINED TO SEPARATED AREA SUCH AS MECHANICAL ROOM WITH NEGATIVE PRESSURE FAN, BUT GENERALLY NOT ALLOWED IN SCHOOLS SO WELDING MUST BE DONE DURING SUMMER.)
2.	OBTAIN, ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AND NOTICE OF PROJECT.
3.	THE CONTRACTOR AND ITS SUB-TRADES SHALL ATTEND BI-WEEKLY SITE MEETINGS OR AS ARRANGED BY CONSULTANT OR OWNER.
4.	OBTAIN AND REVIEW THE DESIGNATED SUBSTANCE REPORT FROM THE CLIENT AND COORDINATE ANY DESIGNATED SUBSTANCE ISSUES WITH THE CLIENT PRIOR TO ANY WORK BEING DONE.
5.	PROVIDE SHOP DRAWINGS ELECTRONICALLY IN PDF FORMAT TO CONSULTANT FOR REVIEW. ALL SHOP DRAWINGS MUST BE REVIEWED, STAMPED AND SIGNED BY THE MECHANICAL CONTRACTOR PRIOR TO SUBMITTING TO THE CONSULTANT. REVIEW SHALL INCLUDE BUT NOT BE LIMITED TO: VERIFYING UNIT VOLTAGE WITH ELECTRICIAN AND/OR SITE, EQUIPMENT PERFORMANCE, DIMENSIONS AND CLEARANCES.
6.	THOROUGHLY REVIEW AND COORDINATE WITH SITE CONDITIONS AND COMPLETE DRAWING SET PRIOR TO PRICING AND INSTALLATION.
7.	INSTALL ALL WORK IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
8.	DO NOT USE ANY NEW PERMANENT EQUIPMENT FOR TEMPORARY USE DURING CONSTRUCTION WITHOUT WRITTEN APPROVAL. WHERE SYSTEMS ARE USED AND ARE CONTAMINATED BY DUST OR DIRT, THE CONTRACTOR SHALL CLEAN IN A MANNER ACCEPTABLE TO THE CONSULTANT.
9.	MAINTAIN AS-BUILT DRAWINGS ON AN ON-GOING BASIS. DRAWINGS SHALL BE AVAILABLE FOR PERIODIC REVIEW BY THE CONSULTANT DURING CONSTRUCTION.
10.	ALL WORK SHALL COMPLY WITH APPLICABLE CODES.
11.	REMOVE ALL REDUNDANT EQUIPMENT, MATERIALS AND GARBAGE FROM SITE AND DISPOSE OF IN AN APPROVED MANNER. REDUNDANT EQUIPMENT AND MATERIALS SHALL NOT BE ABANDONED IN PLACE.
12.	ALL CUTTING, CORING AND PATCHING SHALL BE BY THIS CONTRACTOR.
13.	OBTAIN THE SERVICES OF A QUALIFIED ROOFING CONTRACTOR FOR ALL ROOFING WORK. PROVIDE PITCH POCKETS FOR ALL SERVICES THROUGH ROOF UNLESS SERVICES CAN BE FED THROUGH BASE OF EQUIPMENT.
14.	MAINTAIN REQUIRED ACCESS AND CLEARANCE TO ALL EQUIPMENT AND SYSTEMS AS REQUIRED BY CODE AND AS PER MANUFACTURER'S REQUIREMENTS.
15.	TAG ALL EQUIPMENT WITH LAMACOID NAMEPLATES. TAG ALL VALVES WITH LAMACOID NAMEPLATES OR BRASS TAGS ON CHAINS.
16.	LABEL ALL NEW PIPING WITH SERVICE AND FLOW ARROWS EVERY 10'(3m) AND ON EITHER SIDE OF WALLS.
17.	THE CONTRACTOR SHALL ARRANGE FOR INSPECTIONS BY THE ENGINEER PRIOR TO CEILINGS AND WALLS BEING CLOSED IN. WHERE THIS HAS NOT BEEN ARRANGED IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE CEILING TILES OR ACCESS DOORS FOR INSPECTION AT THE DIRECTION OF THE CONSULTANT.
18.	PERFORM TESTING AND START UP OF ALL SYSTEMS AS REQUIRED BY CODE, THE CONSULTANT, MANUFACTURER'S REQUIREMENTS, AND AUTHORITIES HAVING JURISDICTION. SUBMIT REPORTS TO THE CONSULTANT.
19.	INSTRUCT AND DEMONSTRATE TO THE OWNER ON PROPER OPERATION OF THE SYSTEM. RECORD AND SUBMIT A LOG DATED AND SIGNED BY ALL ATTENDEES.
20.	UPON COMPLETION OF THE PROJECT THE CONSULTANT WILL DO A FINAL REVIEW. UPON RECEIVING THE FINAL INSPECTION REPORT, THE CONTRACTOR MUST CORRECT AND SIGN BACK THE INSPECTION REPORT INDICATING ALL DEFICIENCIES ARE COMPLETED. A RE-INSPECTION WILL ONLY BE DONE ONCE THE CONSULTANT RECEIVES THIS IN WRITING. WHERE THE CONSULTANT PERFORMS THE RE-INSPECTION AND THE WORK IS NOT COMPLETE, THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE CONSULTANT FOR THE FIELD REVIEW. THE FEE FOR ADDITIONAL REVIEWS WILL BE AT THE CONSULTANT'S HOURLY RATES PLUS MILEAGE AND APPLICABLE TAXES TO BE PAID DIRECTLY TO THE CONSULTANT PRIOR TO PERFORMING THE NEXT FIELD REVIEW.
21.	PROVIDE ONE (1) YEAR WARRANTY ON ALL MATERIAL AND LABOUR FROM THE DATE OF SUBSTANTIAL COMPLETION.
22.	PROGRESS DRAWS SHALL INCLUDE MINIMUM \$2,500.00 FOR MANUALS AND AS-BUILT DRAWINGS. TOTAL AMOUNT SHALL REMAIN UNBILLED UNTIL MANUALS AND AS-BUILT DRAWINGS HAVE BEEN SUBMITTED AND APPROVED.
23.	PROVIDE TWO(2) HARD COPIES OF MAINTENANCE MANUALS IN A 3-RING BINDER LABELED ON SPINE AND FRONT AND ONE(1) ELECTRONIC COPY ON USB. MANUAL SHALL INCLUDE: - TABLE OF CONTENTS - CONTRACTOR INFORMATION - WARRANTY LETTER - SHOP DRAWINGS - O&Ms - INSPECTION & TEST REPORTS - AS-BUILT DRAWINGS AS-BUILT DRAWINGS SHALL INCLUDE COMPLETE MECHANICAL DRAWING SET WITH ANY CHANGES MARKED CLEARLY AND NEATLY IN COLOUR. AS-BUILTS SHALL BE STAMPED ACCORDINGLY BY THE CONTRACTOR (ALL DRAWINGS). DRAWINGS SHALL BE SUBMITTED HARD COPY IN FULL SIZE. SUBSTANTIAL COMPLETION WILL NOT BE AWARDED UNTIL THE MANUALS AND AS-BUILTS HAVE BEEN SUBMITTED TO THE CONSULTANT AND THE CONSULTANT HAS APPROVED.
24.	REFER TO SPECIFICATIONS.

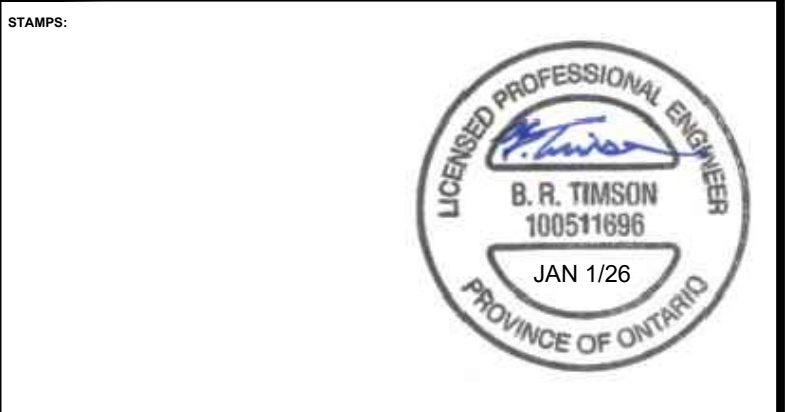
PIPING	
	NEW
	EXISTING
	DEMOLITION
	HOT WATER HEATING SUPPLY (HS)
	HOT WATER HEATING RETURN (HR)
	GLYCOL HEATING SUPPLY (GHS)
	GLYCOL HEATING RETURN (GHR)
	STEAM SUPPLY LINE
	CONDENSATE RETURN LINE
	CONDENSATE DRAIN LINE
	MECHANICAL PIPING
	DEMO ABOVEGROUND SANITARY
	DOMESTIC COLD WATER (DCW)
	DOMESTIC HOT WATER (DHW)
	ABOVEGROUND SANITARY LINE
	UNDERGROUND SANITARY LINE
	FLOOR DRAIN / FUNNEL FLOOR DRAIN
	EYE WASH STATION - WALL MOUNT
	PUMP
	PUMP VFD
	ELBOW RISING
	ELBOW DROPPING
	BRANCH RISING FROM TEE
	BRANCH DROPPING FROM TEE
	BALL SHUT-OFF VALVE
	GATE SHUT-OFF VALVE
	BUTTERFLY VALVE
	CHECK VALVE
	GLOBE VALVE
	BAS 2-WAY CONTROL VALVE
	BAS 3-WAY CONTROL VALVE
	CIRCUIT BALANCING VALVE (CBV)
	SAFETY RELIEF VALVE (SRV)
	PRESSURE REDUCING VALVE (PRV)
	CONCENTRIC REDUCER
	STRAINER
	STEAM TRAP
	UNION
	FLANGE
	FLEXIBLE CONNECTION
	AUTOMATIC AIR VENT C/W 1/4" BALL VALVE AND NIPPLE/COUPLING (MINI BALL VALVES NOT ACCEPTABLE)
	PIPE TEMPERATURE SENSOR C/W WELL
	DUCT TEMPERATURE SENSOR
	PRESSURE GAUGE C/W BALL VALVE (MINI BALL VALVES NOT ACCEPTED)
	DIGITAL THERMOMETER

HVAC LEGEND	
	NEW
	EXISTING
	DEMOLITION
	SUPPLY DUCTS (UP / DOWN)
	RETURN DUCTS (UP / DOWN)
	EXHAUST DUCTS (UP / DOWN)
	ROUND DUCTS (UP / DOWN)
	FLEXIBLE DUCT
	ACOUSTIC LINED DUCT
	FLEXIBLE DUCT CONNECTION
	TURNING VANES
	BALANCE DAMPER
	FIRE DAMPER
	COMBINATION SMOKE AND FIRE DAMPER
	SPLITTER DAMPER
	RETURN/EXHAUST CEILING GRILLE
	CONTROL/SENSING WIRING
	PNEUMATIC THERMOSTAT
	BAS SPACE SENSOR
	EQUIPMENT _____ TYPE OF EQUIPMENT SYMBOLS _____ NUMBER DESIGNATION
	GRILLE _____ TYPE SYMBOLS _____ SIZE (in) AIR FLOW (cfm)

MECHANICAL ABBREVIATIONS	
EX	EXISTING TO REMAIN
D	EXISTING TO BE REMOVED
RL	EXISTING TO BE RELOCATED
RR	EXISTING TO BE REMOVED & REINSTALLED
AFF	ABOVE FINISHED FLOOR
CTE	CONNECT TO EXISTING
C/W	COMPLETE WITH
S/A	SUPPLY AIR
R/A	RETURN AIR
E/A	EXHAUST AIR
O/A	OUTSIDE AIR

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No.	Date	Description	By



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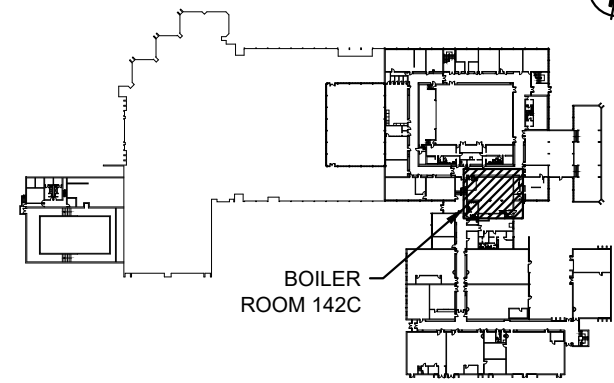
PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

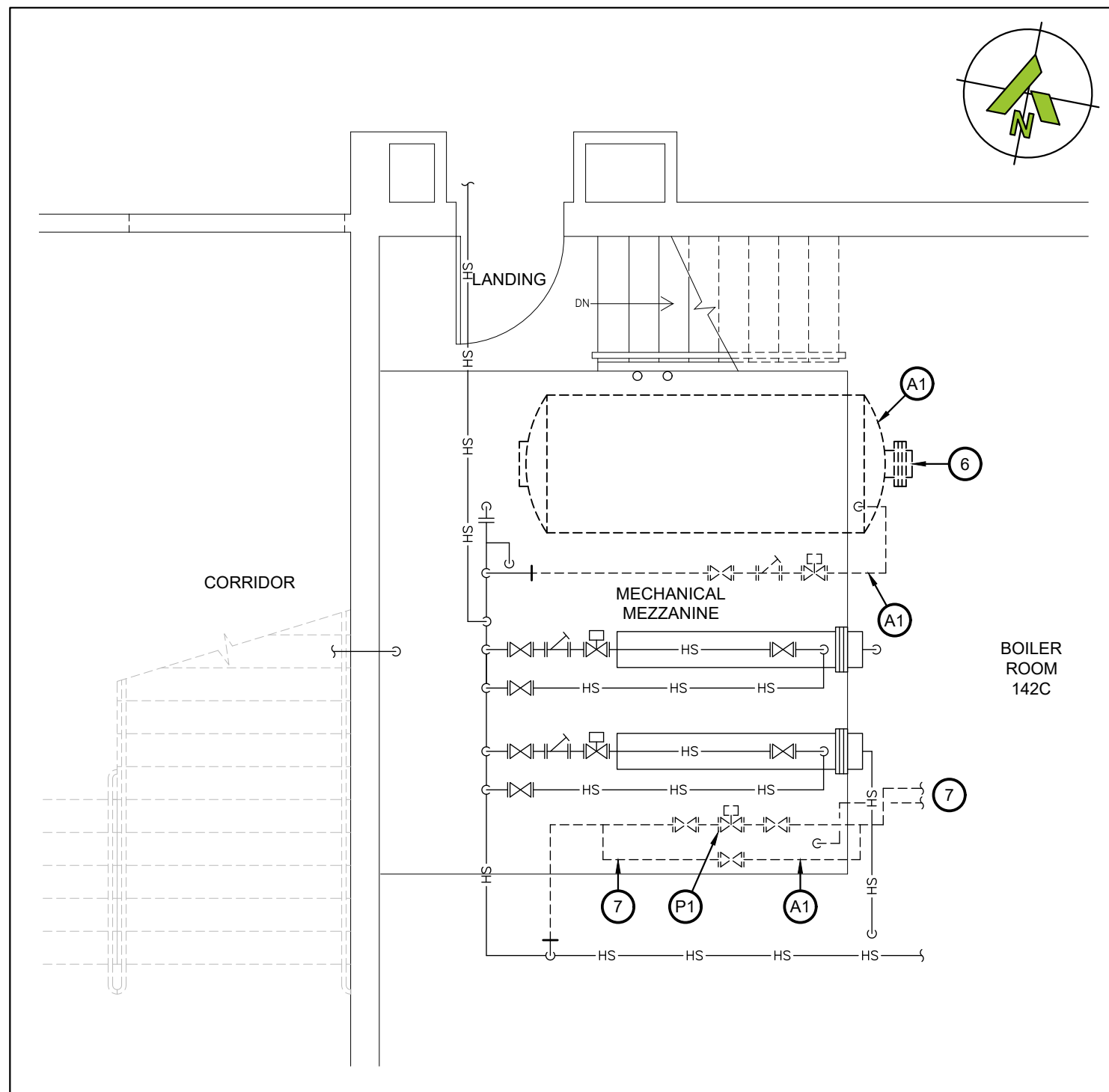
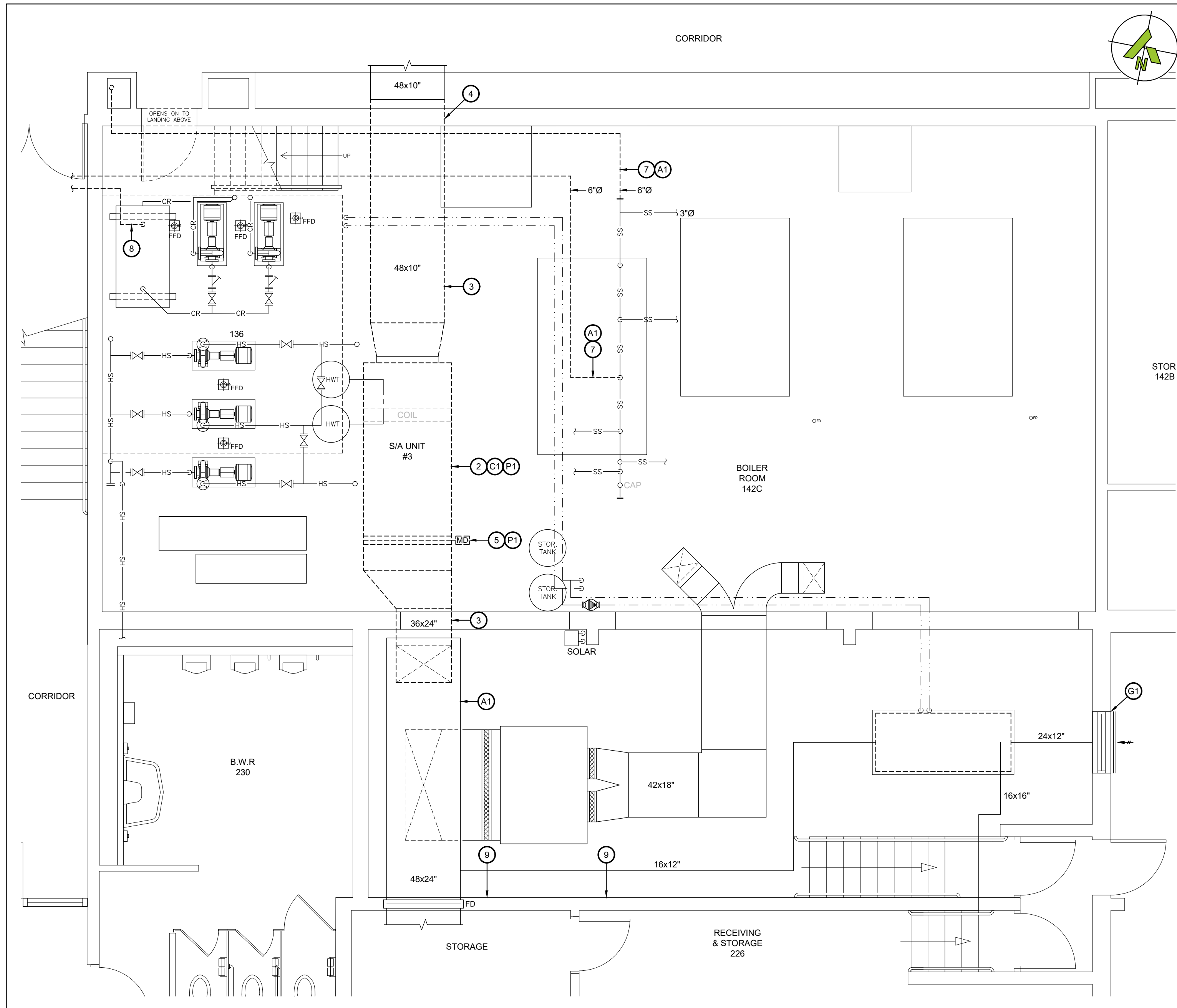
SHEET TITLE:

LEGENDS AND NOTES

DISCIPLINE:	
MECHANICAL	
DRAFTER: MRC	SCALE: NTS
DESIGNER: LIZ	DATE: 2025-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	M-001
1 of 16	



KEY PLAN - LOWER LEVEL

**1 BOILER ROOM 142C - MEZZANINE - DEMO LAYOUT**
SCALE: 1/4"=1'**2 BOILER ROOM 142C - DEMO LAYOUT**
SCALE: 1/4"=1'**OPTIONAL PRICES:**

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.1 AS PER THE FRONT END DOCUMENTS:

- ALL SCOPE RELATED TO THE NEW AIR HANDLING UNIT AHU-5 INCLUDING DEMOLITION OF EXISTING AHU-5, STEAM PIPING, DUCTWORK ELECTRICAL AND PNEUMATIC CONTROLS.

DEMO WORKING NOTES - PNEUMATICS:

- (P1) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-5.

ABATEMENT NOTES:

- (A1) PROVIDE TYPE 3 ABATEMENT IN BOILER ROOM 142C TO REMOVE ALL INSULATIONS ON HOT WATER STORAGE TANK, PIPING AND DUCTWORK.

DEMO WORKING NOTES - CONTROLS:

- (C1) REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

DEMO WORKING NOTES - GENERAL TRADES:

- (C1) REMOVE EXISTING WINDOW TO SUIT INSTALLATION OF NEW LOUVER.

DEMO WORKING NOTES:

- REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- REMOVE EXISTING SUSPENDED AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, FILTER BOX, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- REMOVE DUCTWORK FROM AHU AND CUT BACK TO WALL TO SUIT DUCT CONNECTIONS TO NEW UNIT.
- REMOVE S/A DUCTWORK FROM AHU BACK THROUGH WALL TO SUIT INSTALLATION OF NEW COMBINATION SMOKE/FIRE DAMPER.
- REMOVE EXISTING MOTORIZED DAMPER.
- REMOVE HOT WATER STORAGE TANK AND ALL ASSOCIATED STEAM PIPING, VALVES, AND ACCESSORIES.
- REMOVE STEAM PIPING AND ALL ASSOCIATED VALVES AND ACCESSORIES.
- REMOVE CONDENSATE DRAIN AND PUMPED CONDENSATE PIPING FROM REMOVED SYSTEMS C/W ALL HANGERS, VALVES AND ACCESSORIES.
- REMOVE EXISTING SPARE BELT RACKS AND WALL MOUNTED CABINET. ALLOW FOR REINSTALLATION ELSEWHERE ON SITE.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- SCAN FLOOR PRIOR TO FLOOR CUTS.
- DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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STAMPE:



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PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**BOILER ROOM 142C
DEMOLITION LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

LIZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

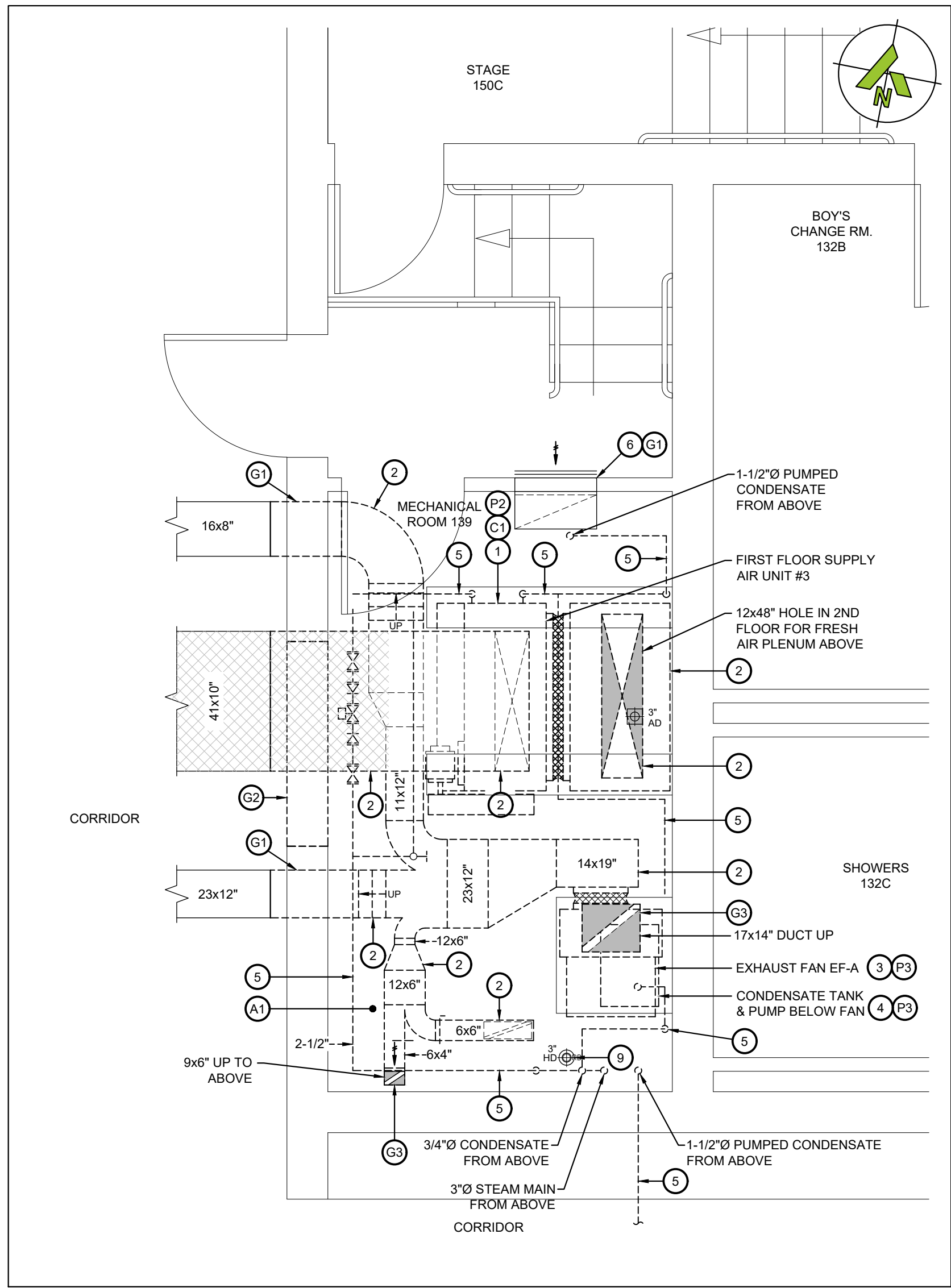
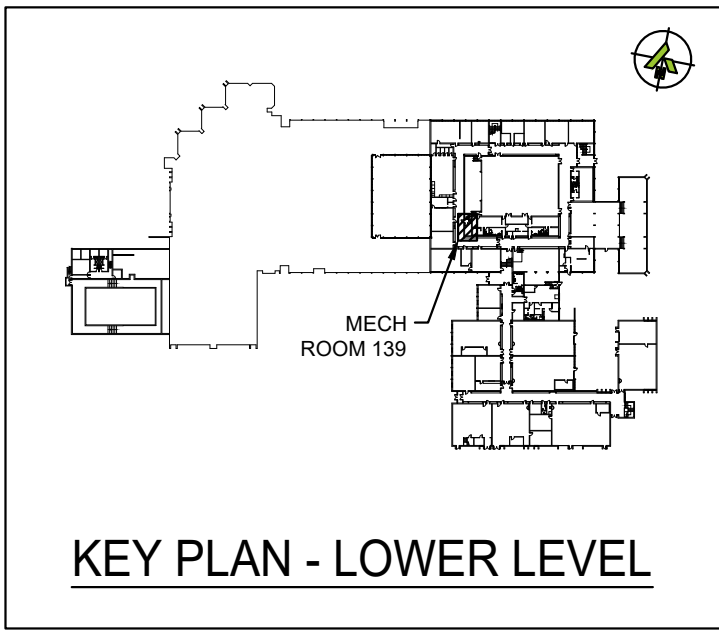
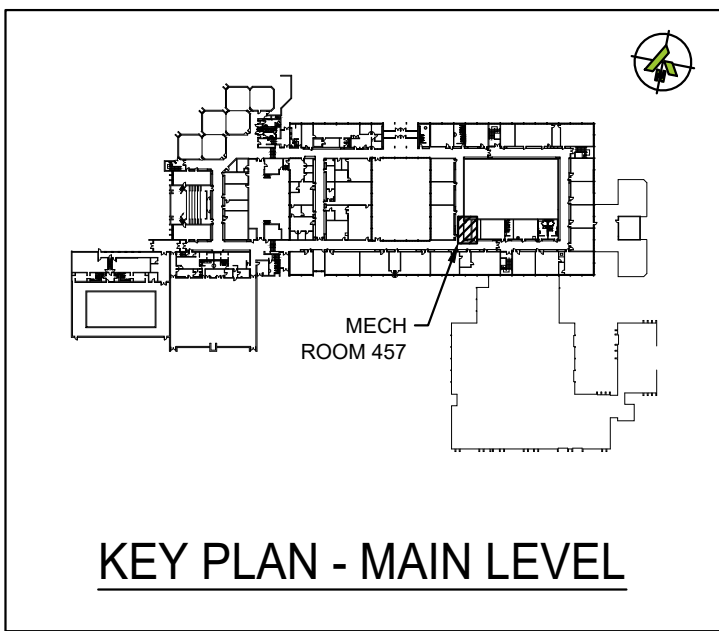
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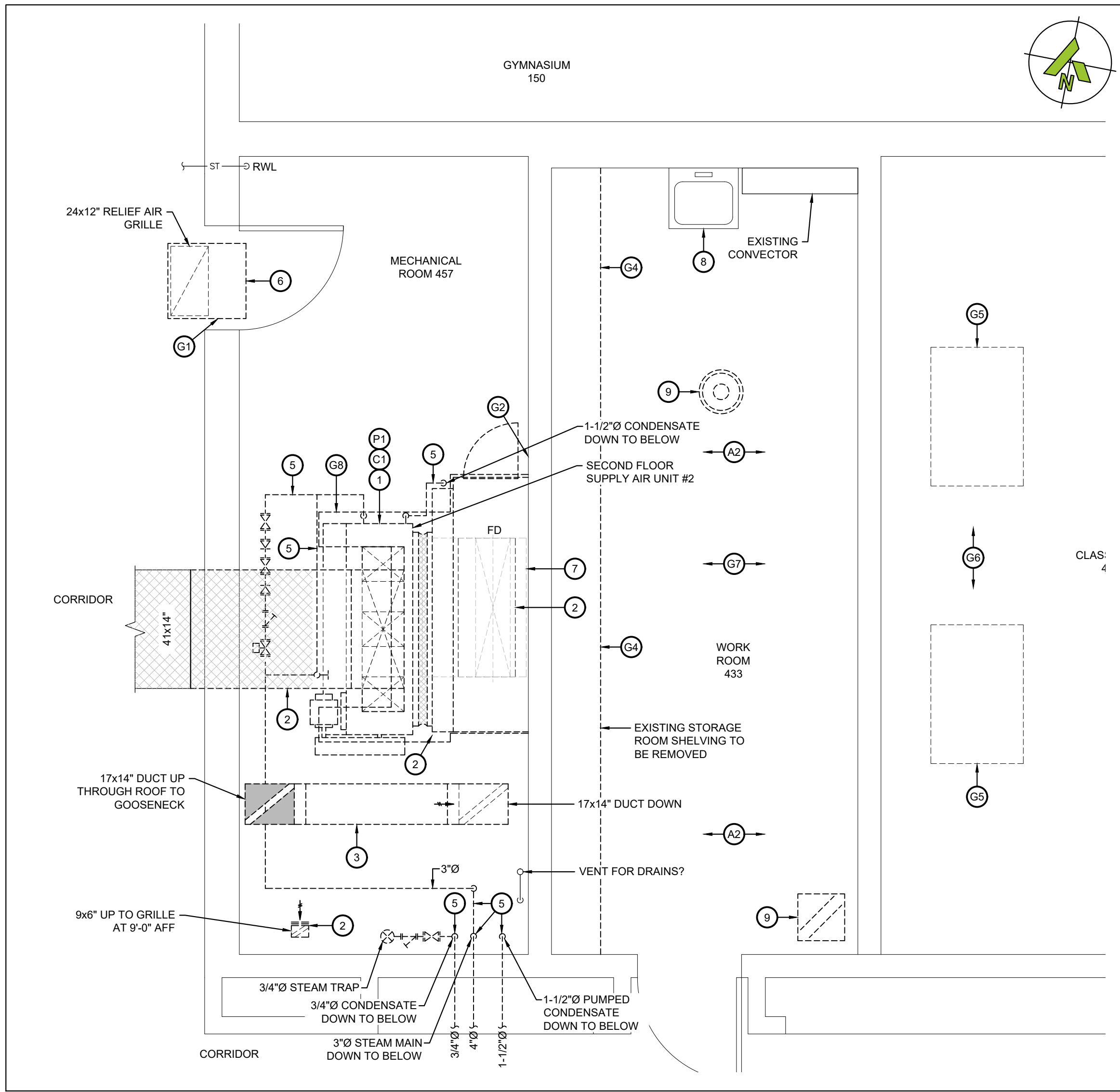
MD101

SHEET No:

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1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT
SCALE: 3/8"=1'



2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT
SCALE: 3/8"=1'

DEMO WORKING NOTES - PNEUMATICS:

- (P1) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-8.
- (P2) REMOVE ALL EXISTING PNEUMATIC CONTROLS DEVICES AND TUBING ASSOCIATED WITH EXISTING AHU-10.
- (P3) REMOVE ALL PNEUMATIC CONTROLS AND TUBING ASSOCIATED WITH EXISTING CONDENSATE PUMP.
- (P4) REMOVE ALL PNEUMATIC CONTROLS AND TUBING ASSOCIATED WITH EXISTING EXHAUST FAN.

ABATEMENT NOTES:

- (A1) PROVIDE TYPE 3 ABATEMENT IN MECHANICAL ROOM 139 & 457 TO REMOVE ALL INSULATIONS ON PIPING AND DUCTWORK.
- (A2) PROVIDE TYPE 3 ABATEMENT IN WORK ROOM 433 TO REMOVE ALL 12X12 ACOUSTIC CEILING TILES.

DEMO WORKING NOTES - CONTROLS:

- (C1) REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

DEMO WORKING NOTES - GENERAL TRADES:

- (G1) PATCH EXISTING BLOCK WALL AT LOCATION OF REMOVED DUCTWORK. RESTORATION TO PROVIDE ONE HOUR FIRE RESISTANCE RATING.
- (G2) PROVIDE NEW LINTEL AND WALL OPENING FOR NEW DOOR. REFER TO STRUCTURAL DRAWING FOR DETAILS.
- (G3) PATCH FLOOR AT LOCATION OF REMOVED DUCTWORK.
- (G4) REMOVE ALL SHELVEING AND MILLWORK IN STORAGE ROOM.
- (G5) REMOVE EXISTING SKYLIGHT TO SUIT INSTALLATION OF NEW E/A DUCTWORK.
- (G6) REMOVE CEILING TILE AND GRID AS REQUIRED TO SUIT INSTALLATION OF NEW DUCTWORK AND BULKHEAD.
- (G7) REMOVE ALL FLOORING IN STORAGE ROOM.
- (G8) REMOVE EXISTING CONCRETE PAD AND MAKE GOOD THE EXISTING FLOOR FOR EPOXY.

DEMO WORKING NOTES:

- (1) REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES. REMOVE EXISTING CONTROLS AND CONTROL WIRING. REUSE DEVICES AND WIRING WHERE POSSIBLE OR REMOVE WIRING AND TURN DEVICES OVER TO DDSB.
- (2) REMOVE DUCTWORK FROM AHU AND CUT BACK THROUGH WALL TO SUIT INSTALLATION OF NEW COMBINATION SMOKE/FIRE DAMPERS.
- (3) REMOVE EXHAUST FAN C/W ALL DAMPERS, ACCESSORIES AND VENTING. CUT DUCTWORK BACK THROUGH WALL AND ABANDON.
- (4) REMOVE EXISTING CONDENSATE TANK, PUMP AND ALL ASSOCIATED HANGERS, VALVES AND ACCESSORIES.
- (5) REMOVE ALL CONDENSATE AND STEAM PIPING AND ALL ASSOCIATED HANGERS, VALVES AND ACCESSORIES.
- (6) REMOVE EXISTING TRANSFER DUCT AND SLEEVE AND ANY GRILLES.
- (7) REMOVE EXISTING GRAVITY INTAKE HOOD ON ROOF TO SUIT INSTALLATION OF NEW GOOSENECK.
- (8) REMOVE EXISTING SINK. CAP ALL PIPING IN WALL.
- (9) REMOVE EXISTING DIFFUSER AND GRILLE AND ASSOCIATED DUCTWORK. CAP DUCTWORK AT WALL.

GENERAL DEMOLITION NOTES:

- 1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- 3. SCAN FLOOR PRIOR TO FLOOR CUTS.
- 4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- 5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- 6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

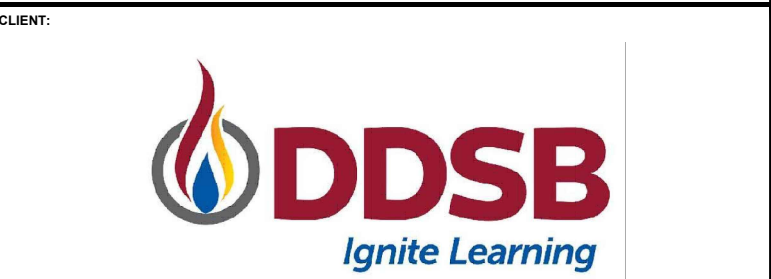
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No.	Date	Description	By
1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

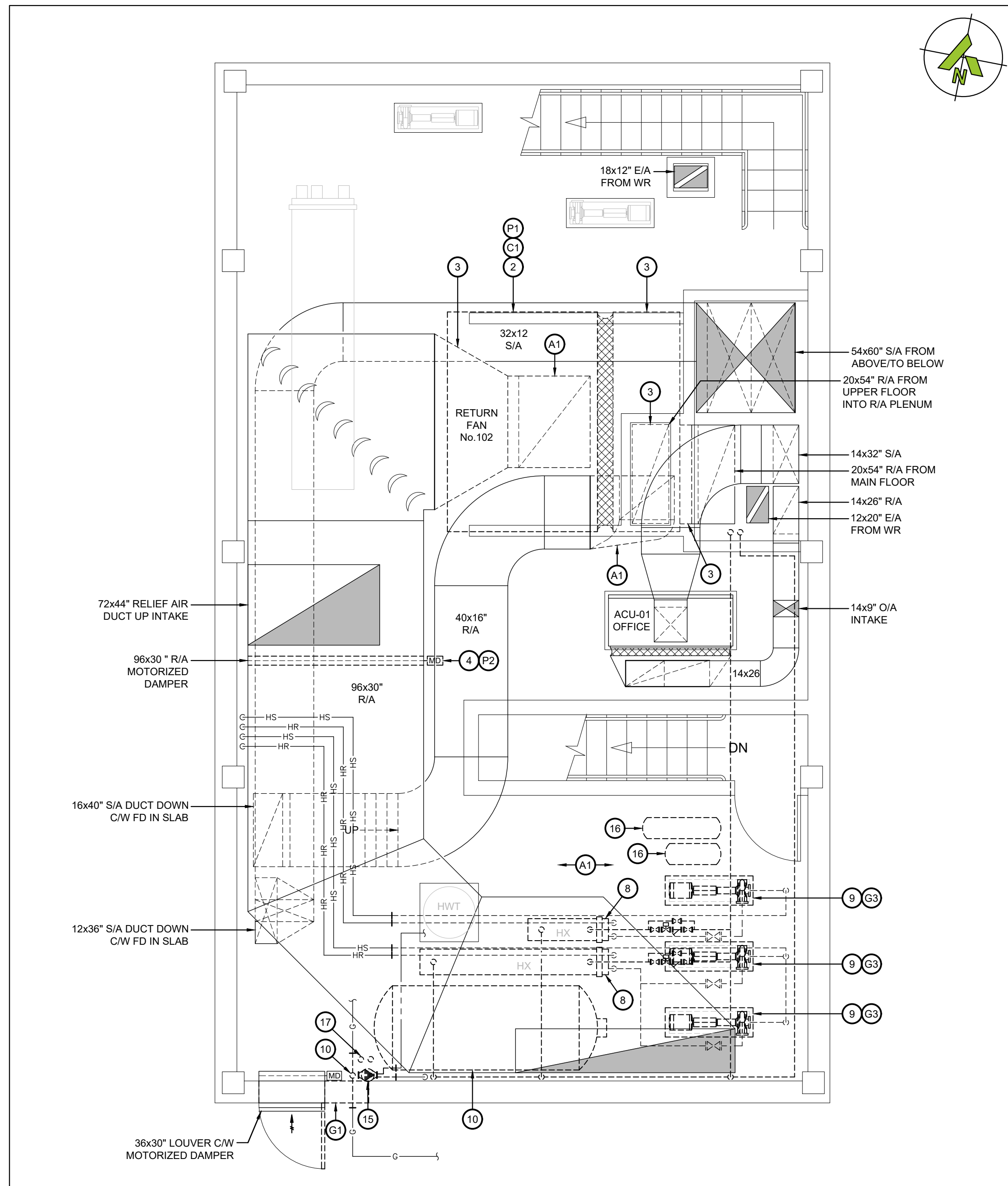
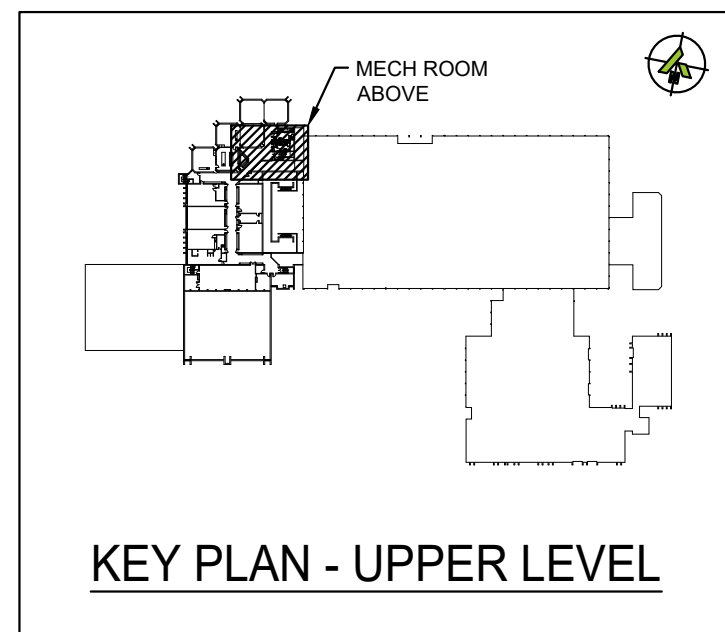
SHEET TITLE:

**MECHANICAL ROOMS
139A AND 457
DEMOLITION LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER: MRC	SCALE: AS NOTED
DESIGNER: LIZ	DATE: 2025-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	MD102



1 PENTHOUSE - LOW LEVEL - DEMOLITION LAYOUT
SCALE: 1/4"=1'

DEMO WORKING NOTES - GENERAL TRADES:

- G1 REMOVE EXISTING DOOR AND DOOR FRAME.
- G2 REMOVE PORTIONS OF WALL TO SUIT EXTENSION OF DOORWAY. COORDINATE WITH STRUCTURAL DRAWINGS.
- G3 REMOVE EXISTING CONCRETE PADS.

DEMO WORKING NOTES - CONTROLS:

- C1 REMOVE CONTROLS AND CONTROL WIRING FROM EXISTING AIR HANDLING UNIT AND MOTORIZED DAMPERS. REMOVE ANY REDUNDANT CONTROL WIRING.

DEMO WORKING NOTES - PNEUMATICS:

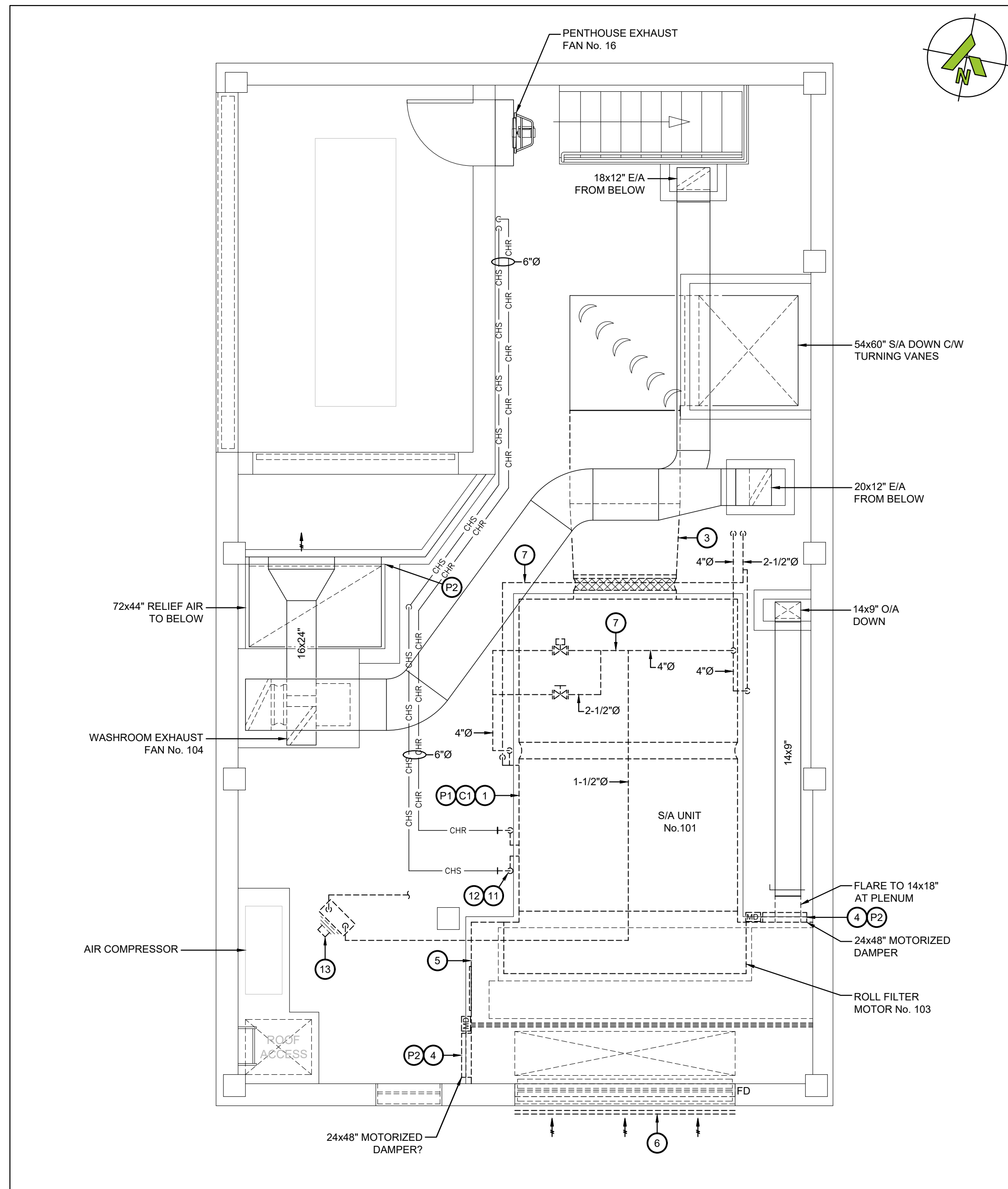
- P1 REMOVE ALL PNEUMATIC CONTROLS AND TUBING FOR AHU-12 AND RETURN FAN.
- P2 REMOVE ALL PNEUMATIC TUBING FOR MOTORIZED DAMPER.

ABATEMENT NOTES:

- P1 PROVIDE TYPE 3 ABATEMENT TO REMOVE DUCT AND PIPE INSULATIONS IN MECHANICAL ROOM.

DEMO WORKING NOTES:

- 1 REMOVE EXISTING AIR HANDLING UNIT C/W DUCT CONNECTIONS, FLEX CONNECTIONS, DRAIN PIPING, HANGERS, SUPPORTS AND ALL ACCESSORIES.
- 2 REMOVE EXISTING RETURN FAN C/W DUCT CONNECTIONS, FLEX CONNECTIONS, SUPPORTS AND ALL ACCESSORIES.
- 3 CUT BACK DUCTWORK FROM AHU TO SUIT DUCT CONNECTIONS TO NEW UNIT.
- 4 REMOVE EXISTING MOTORIZED DAMPER AND ACTUATOR.
- 5 REMOVE MIXING PLENUM AND ALL DOORS, DAMPERS, AND ACCESSORIES.
- 6 REMOVE EXISTING LOUVER. LOUVER OPENING TO BE USED TO BRING NEW EQUIPMENT INTO ROOM.
- 7 REMOVE ALL HEATING PIPING C/W ALL HANGERS, VALVES AND ACCESSORIES.
- 8 REMOVE HEAT EXCHANGERS C/W ALL PIPING, VALVES AND ACCESSORIES.
- 9 REMOVE PUMPS C/W ALL VALVES, ASSOCIATED PIPING, SUPPORTS AND ACCESSORIES.
- 10 REMOVE HOT WATER STORAGE TANK C/W ALL VALVES, AND ACCESSORIES.
- 11 CUT BACK CHILLED WATER PIPING AS REQUIRED AND REMOVE ALL PIPING AND ACCESSORIES AT CONNECTION TO UNIT. RETAIN CONTROL VALVE FOR COOLING COIL FOR REINSTALLATION.
- 12 REMOVE REDUNDANT COOLING COIL PUMP.
- 13 REMOVE EXISTING UNIT HEATER AND ALL PIPING, VALVES AND ACCESSORIES.
- 14 REMOVE GAS PIPING AS REQUIRED TO SUIT NEW DOOR. TO BE RELOCATED.
- 15 REMOVE EXISTING DOMESTIC RECIRC PUMP AND RECIRC PIPING AS REQUIRED TO SUIT NEW DOOR. RETAIN PUMP FOR REINSTALLATION.
- 16 REMOVE EXISTING EXPANSION TANKS C/W ALL VALVES, ACCESSORIES AND PIPING.
- 17 OFFSET EXISTING RAIN WATER LEADER AND FLOOR DRAIN SANITARY PIPING TO SUIT NEW DOOR OPENINGS. PROVIDE NEW SLEEVES THROUGH FLOOR AND RECONNECT TO PIPING BELOW.



2 PENTHOUSE - HIGH LEVEL - DEMOLITION LAYOUT
SCALE: 1/4"=1'

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- SCAN FLOOR PRIOR TO FLOOR CUTS.
- DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
- REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No. 2 AS PER THE FRONT END DOCUMENTS:

- ALL SCOPE RELATED TO THE NEW RETURN FAN RF-12 INCLUDING DEMOLITION OF THE EXISTING RETURN FAN, DUCTWORK, CONTROLS AND ELECTRICAL. OPTIONAL PRICE ALSO INCLUDES THE NEW DOUBLE DOORS TO THE EXTERIOR AND ASSOCIATED REWORK OF SERVICES TO SUIT NEW DOOR.

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STAMP:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**PENTHOUSE
DEMOLITION LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

LIZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

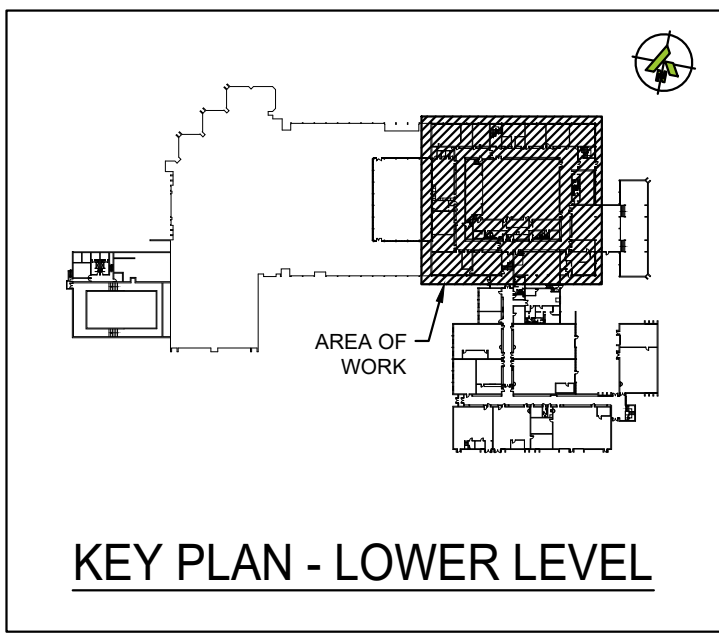
A0001060

DRAWING No:

MD103

SHEET No:

4 of 16



GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
3. SCAN FLOOR PRIOR TO FLOOR CUTS.
4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.
5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.
6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

DEMO WORKING NOTES:

- 1 REMOVE EXISTING STEAM PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 2 REMOVE EXISTING PUMPED CONDENSATE PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 3 REMOVE EXISTING CONDENSATE DRAIN PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.
- 4 REMOVE EXISTING EXHAUST FAN C/W ALL DAMPERS AND ACCESSORIES. CUT BACK DUCTWORK AS NOTED.
- 5 CUT BACK EXISTING EXHAUST DUCT IN CORRIDOR AND ABANDON AT MAIN. DUCT THROUGH WALL TO REMAIN.
- 6 REMOVE EXISTING E/A DUCT ELBOW IN CORRIDOR AND CAP AT FLOOR ABOVE. REMOVE EXHAUST FAN ON ROOF AND PROVIDE 4" INSULATED CURB CAP.

DEMO WORKING NOTES - CONTROLS:

- C1 REMOVE EXISTING CONTROLS AND CONTROL WIRING FOR EXISTING EXHAUST FAN.

DEMO WORKING NOTES - PNEUMATICS:

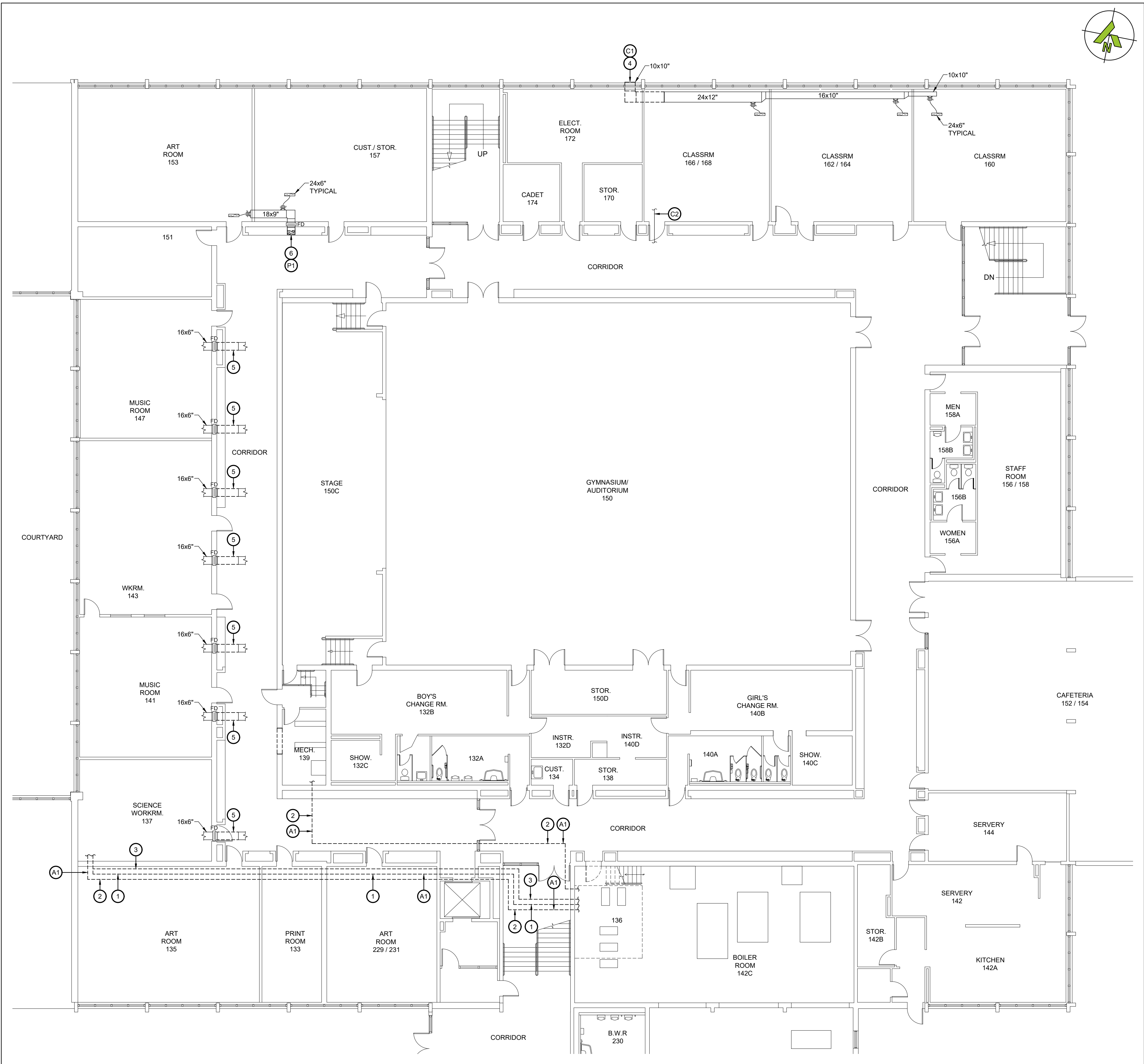
- C1 REMOVE EXISTING PNEUMATIC CONTROLS AND TUBING FOR EXISTING EXHAUST FAN.

DEMO WORKING NOTES - GENERAL TRADES:

- G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.
- G2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.
- G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.

ABATEMENT NOTES:

- G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.
- G2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.
- G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.



1 PARTIAL LOWER LEVEL - DEMOLITION LAYOUT
MD104 SCALE: 3/32"=1'

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No.	Date	Description	By

STAMP:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL
DEMOLITION LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

UZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

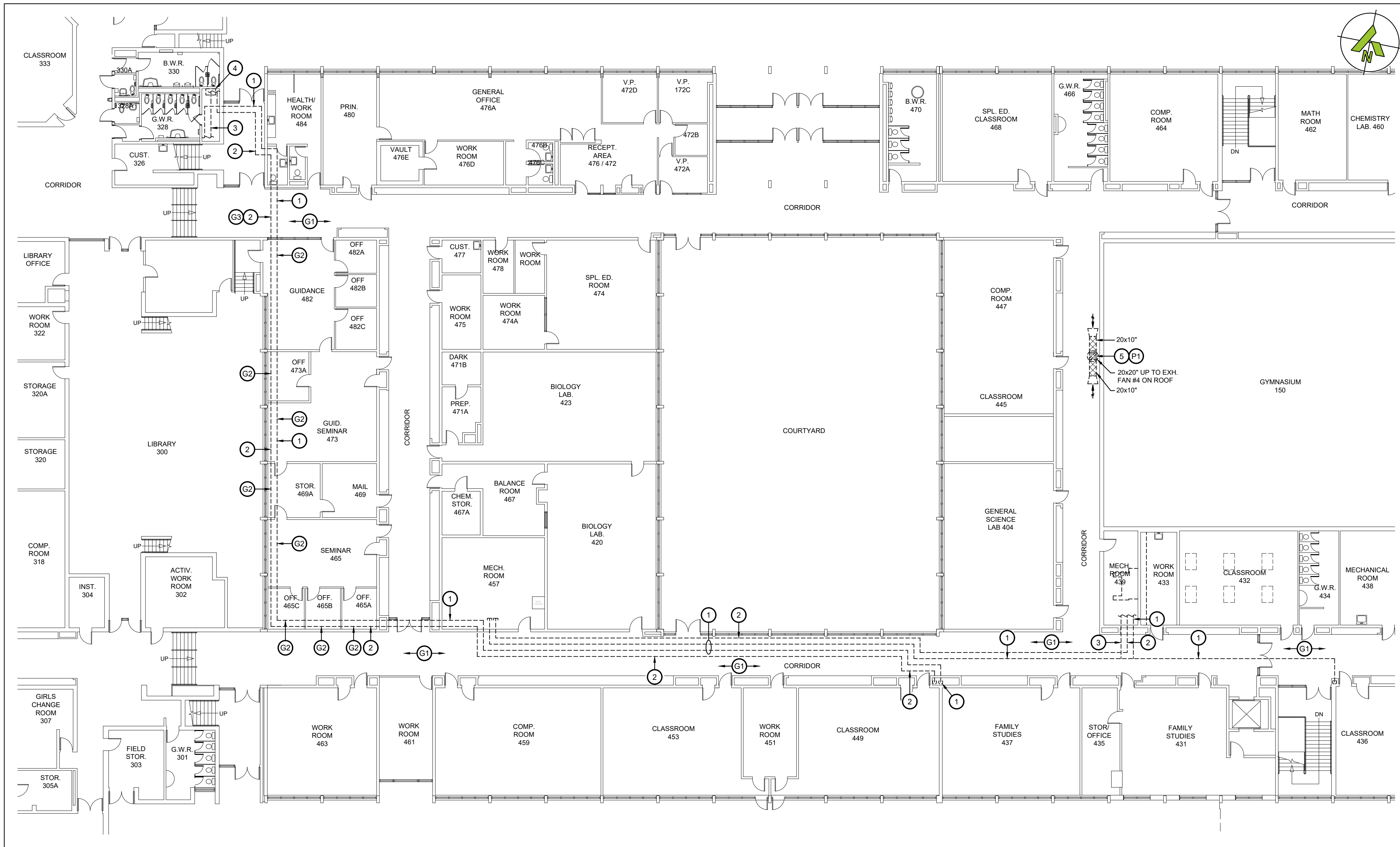
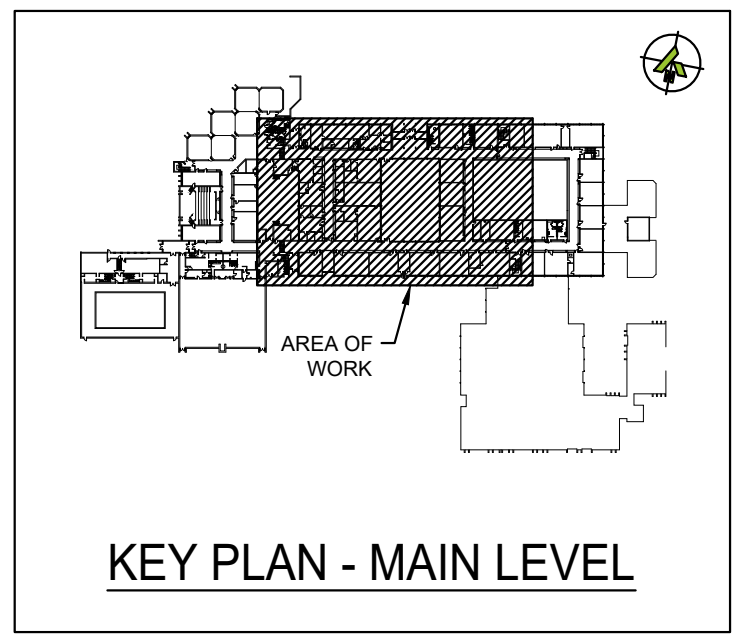
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DRAWING No:

MD104

SHEET No:

5 of 16



1 PARTIAL MAIN LEVEL - DEMOLITION LAYOUT
MD105 SCALE: 1/16"=1'

DEMO WORKING NOTES - PNEUMATICS:

P1 REMOVE EXISTING PNEUMATIC CONTROLS AND TUBING FOR EXISTING EXHAUST FAN.

DEMO WORKING NOTES - GENERAL TRADES:

G1 REMOVE EXISTING T-BAR CEILING AND GRID TO SUIT DEMOLITION OF EXISTING PIPING AND INSTALLATION OF NEW PIPING.

G2 REMOVE EXISTING BULKHEAD AS REQUIRED TO SUIT REMOVE OF EXISTING AND INSTALLATION OF NEW PIPING.

G3 REMOVE EXISTING MURAL ON WALL. ALLOW FOR REINSTALLATION ELSEWHERE IN SCHOOL.

DEMO WORKING NOTES:

1 REMOVE EXISTING STEAM PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.

2 REMOVE EXISTING PUMPED CONDENSATE PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.

3 REMOVE EXISTING CONDENSATE DRAIN PIPING C/W ALL INSULATION, HANGERS, EXPANSION JOINTS, VALVES AND ACCESSORIES.

4 REMOVE EXISTING CONDENSATE PUMP AND RECEIVER TANK C/W ALL ASSOCIATED PIPING, VALVES AND ACCESSORIES.

5 REMOVE EXISTING EXHAUST FAN ON ROOF C/W ALL DAMPERS, DUCTWORK AND ACCESSORIES. PROVIDE 4" INSULATED CURB CAP ON EXISTING ROOF CURB.

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL ALLOW FOR DETAILED SITE INVESTIGATION TO CONFIRM ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

2. PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.

3. SCAN FLOOR PRIOR TO FLOOR CUTS.

4. DISCONNECT AND REMOVE ALL REDUNDANT EQUIPMENT, FIXTURES, DUCTWORK, PIPING AND OTHER REDUNDANT SERVICES THROUGHOUT AREA OF WORK.

5. REMOVE OBSOLETE ABOVEGROUND SERVICES BACK TO SOURCE/MAINS AND CAP.

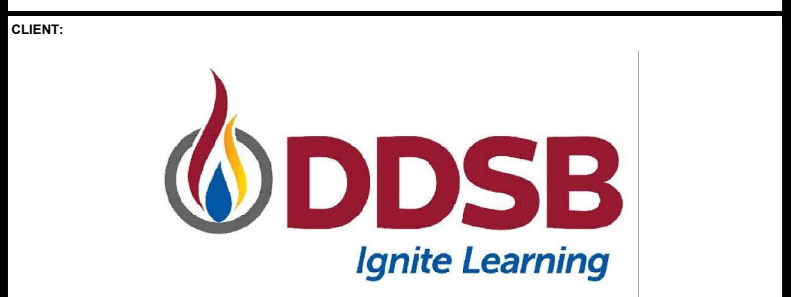
6. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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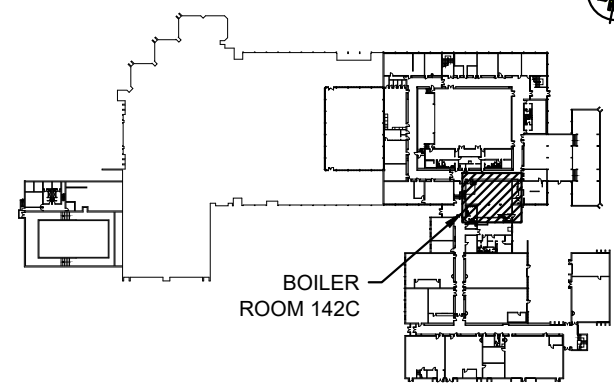
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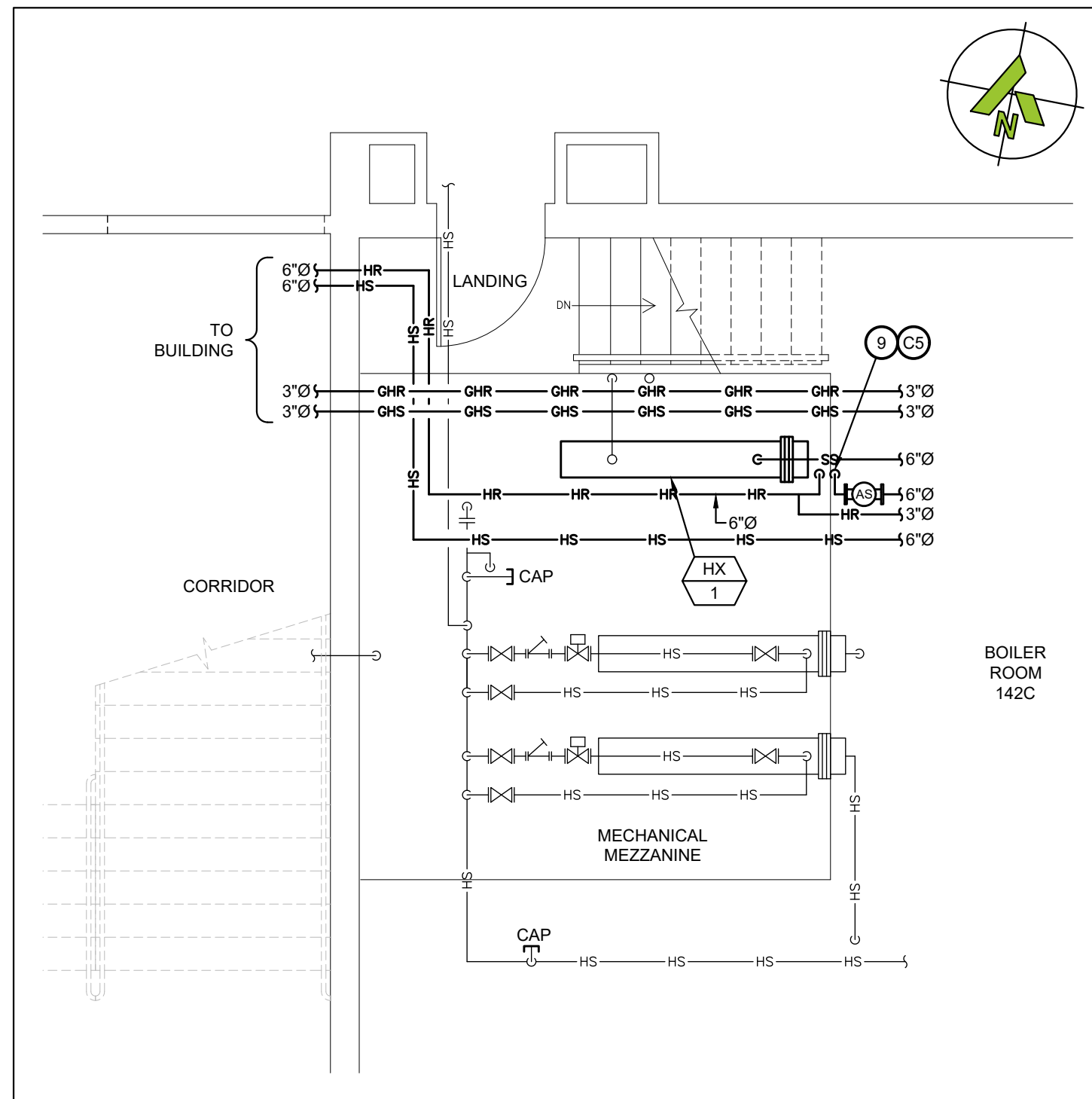
PROJECT NAME: **DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE: **PARTIAL MAIN LEVEL
DEMOLITION LAYOUT**

DISCIPLINE: MECHANICAL	
DRAFTER: MRC	SCALE: AS NOTED
DESIGNER: LIZ	DATE: 2025-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	MD105
6 of 16	

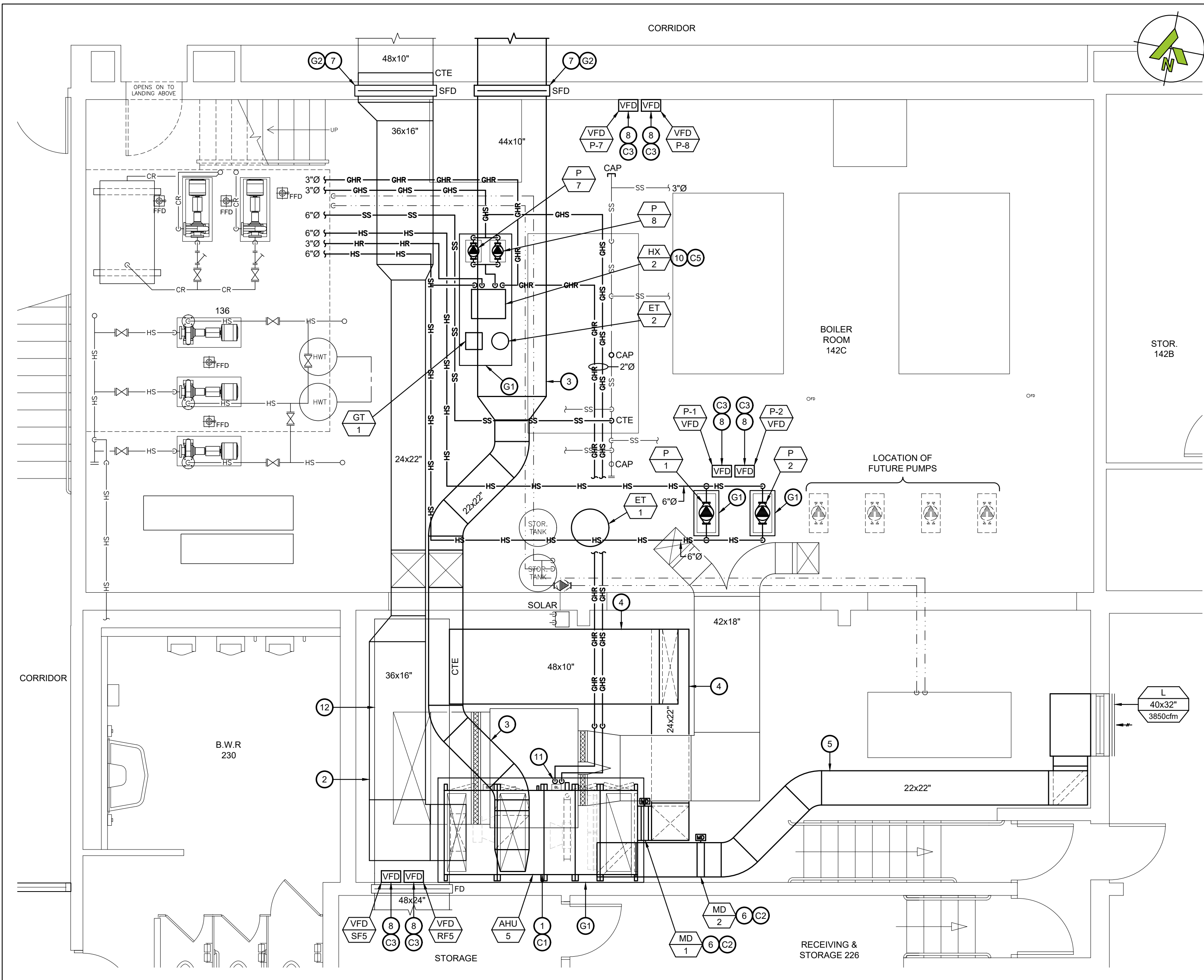


KEY PLAN - LOWER LEVEL



1 BOILER ROOM 142C - MEZZANINE - NEW LAYOUT

SCALE: 1/4"=1'



2 BOILER ROOM 142C - NEW LAYOUT

SCALE: 1/4"=1'

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.1 AS PER THE FRONT END DOCUMENTS.

- ALL SCOPE RELATED TO THE NEW AIR HANDLING UNIT AHU-5 INCLUDING VFDs CONCRETE PADS, DUCTWORK, CONTROLS, AND ELECTRICAL. HEATING PIPING TO BE CAPPED ABOVE PROPOSED UNIT LOCATION FOR FUTURE.

WORKING NOTES - GENERAL TRADES:

- G1 PROVIDE NEW 4" CONCRETE HOUSEKEEPING PAD UNDER NEW EQUIPMENT. PAINT CONCRETE PADS WITH YELLOW - ALL SIDES AND AROUND TOP EDGE (MINIMUM 12").
- G2 PROVIDE NEW LINTEL FOR DUCT PENETRATION. REFER TO STRUCTURAL DRAWINGS.

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT.
- C2 PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR NEW MOTORIZED DAMPER.
- C3 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFDs.
- C4 PROVIDE NEW BAS CONTROL PANEL. INTEGRATE ALL CONTROL WIRING FROM EXISTING REMOVED BAS PANEL INTO NEW PANEL.
- C5 PROVIDE CONTROLS AND CONTROL WIRING FOR HEAT EXCHANGER AND CIRCULATION PUMPS.

NEW WORKING NOTES:

- SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT/SECTIONS ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- NEW 36x16" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. RUN AS TIGHT TO U/S OF EXISTING O/A DUCTWORK AS POSSIBLE. OFFSET AS REQUIRED TO SUIT BEAM AND COLUMN AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT.
- NEW 22x22" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT. OFFSET AS REQUIRED TO SUIT BEAM AND COLUMN AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION THROUGH BOILER ROOM WALL.
- NEW 24x22" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN TIGHT UNDER EXISTING MAU DUCTWORK AND UP INTO 48x10" DUCT ABOVE. CONNECT TO SIDE OF EXISTING O/A PLENUM.
- NEW 22x22" THERMALLY INSULATED E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN TO EXISTING WINDOW LOCATION. RUN DOWN BELOW EXISTING SOLAR HEAT DISCHARGE AIR UNIT DUCTWORK AND STUB INTO SIDE OF NEW PLENUM OFF BACK OF NEW LOUVER.
- PROVIDE NEW MOTORIZED DAMPER. INSTALL O/A MOTORIZED DAMPERS DIRECTLY ON UNIT OPENING. CONFIRM EXACT SIZE OF MOTORIZED DAMPER TO SUIT UNIT OPENING.
- PROVIDE NEW COMBINATION SMOKE FIRE DAMPER AT WALL PENETRATION.
- PROVIDE NEW VFD AND MOUNT ON WALL. COORDINATE WIRING OF VFD WITH ELECTRICAL AND CONTROLS CONTRACTORS. PROVIDE NEW UNISTRUT STAND FOR MOUNTING OF P-1 & P-2 VFDs.
- NEW 6"Ø STEAM DOWN TO AND 6"Ø HS & HR UP FROM HEAT EXCHANGER HX-1 AND CIRCULATION PUMPS. REFER TO SCHEMATIC DETAILS. MOUNT PUMPS AND HEAT EXCHANGER AND GLYCOL TANK ON NEW PAD. RUN CONDENSATE DRAIN TO EXISTING RECEIVER BELOW.
- NEW 3"Ø HS & HR DOWN TO AND 3"Ø GHS & GHR UP FROM HEAT EXCHANGER HX-1 AND CIRCULATION PUMPS. REFER TO SCHEMATIC DETAILS. MOUNT PUMPS, HEAT EXCHANGER AND GLYCOL TANK ON NEW PAD.
- NEW 2"Ø GHS & GHR DOWN TO AHU COIL C/W NEW VALVES AND ACCESSORIES. REFER TO DETAIL.
- PATCH EXISTING O/A PLENUM WHERE DUCT WAS REMOVED. PROVIDE THERMAL INSULATION FOR ENTIRE PLENUM TO SUIT REMOVAL DURING ABATEMENT.

GENERAL NEW (PLUMBING AND/OR HVAC) NOTES:

- WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 - ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
 - ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 - ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
- THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
- COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
- INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
- THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
- FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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STAMPS:



ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

BOILER ROOM 142C
NEW LAYOUT

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

DESIGNER:

LIZ

APPROVER:

BRT

PROJECT No.:

A0001060

SHEET No.:

SCALE:

AS NOTED

DATE:

2025-01-07

APPROVER:

BRT

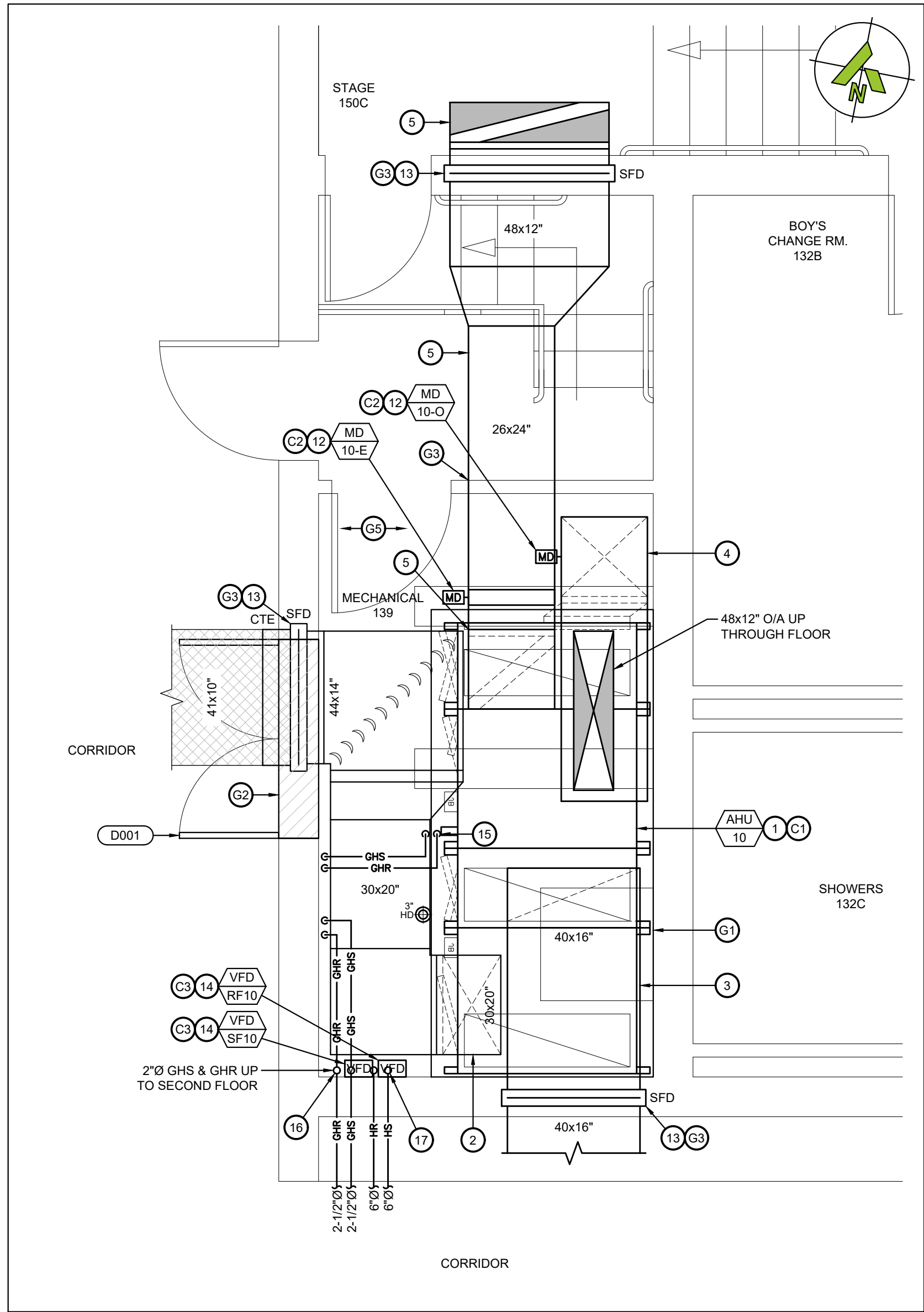
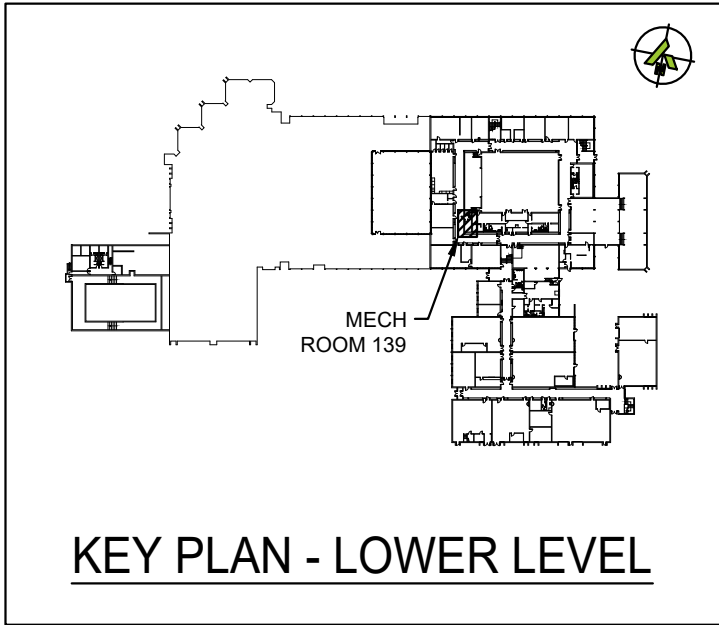
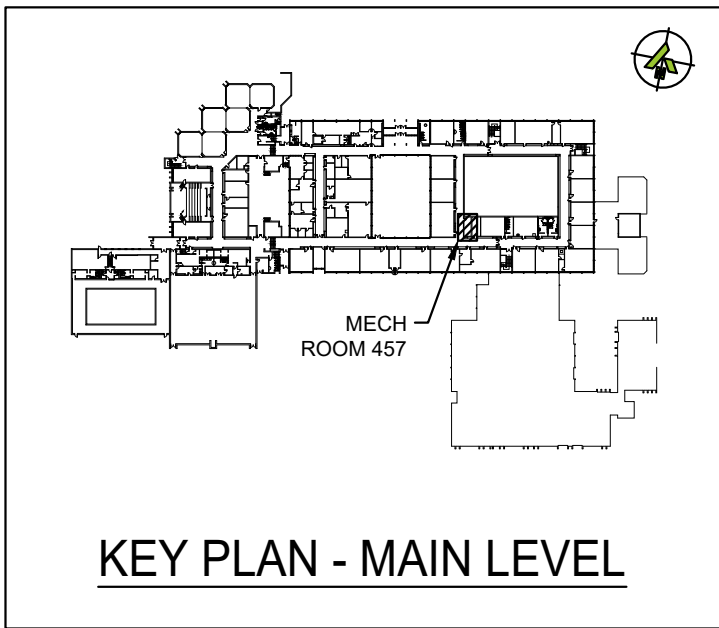
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A0001060

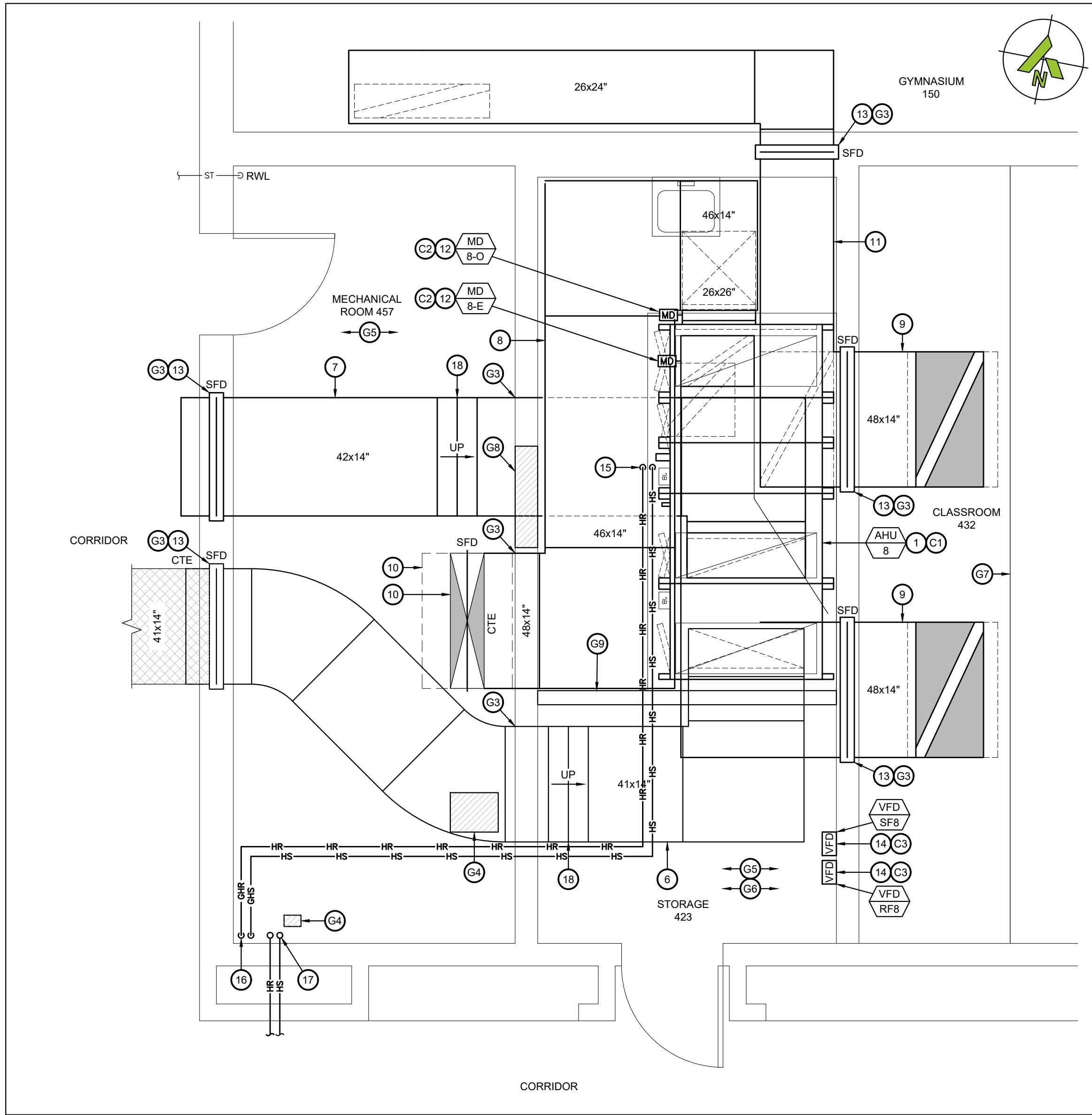
SHEET No.:

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M-101



1 MECHANICAL ROOM 139 - NEW LAYOUT
M-102 SCALE: 3/8"=1'



2 MECHANICAL ROOM 457 - NEW LAYOUT
M-102 SCALE: 3/8"=1'

NEW WORKING NOTES - GENERAL TRADES:

- G1 PROVIDE NEW 4" CONCRETE HOUSEKEEPING PAD UNDER NEW EQUIPMENT. PAINT CONCRETE PADS WITH YELLOW - ALL SIDES AND AROUND TOP EDGE (MINIMUM 12").
- G2 PROVIDE NEW DOOR AND FRAME. PROVIDE WALL OPENING AND LINTEL FOR NEW DOOR AS PER STRUCTURAL DRAWINGS. REPAIR AND PAINT BLOCK AROUND NEW DOOR OPENING TO MATCH EXISTING CONDITIONS.
- G3 PROVIDE NEW WALL OPENING AND LINTEL FOR DUCTWORK. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- G4 PATCH CONCRETE FLOOR AT EXISTING REDUNDANT FLOOR OPENING.
- G5 PROVIDE NEW EPOXY FLOORING IN MECHANICAL ROOM. REFER TO SPECIFICATIONS.
- G6 PATCH, PRIME AND PAINT ALL WALLS OF NEW MECHANICAL ROOM. PAINTING TO BE WITH TWO COATS OF WHITE.
- G7 PROVIDE STUD AND DRYWALL BULKHEAD OVER NEW DUCTWORK UP THROUGH SKYLIGHTS. PRIME AND PAINT WITH TWO COATS OF WHITE. REPAIR EXISTING CLASSROOM T-BAR CEILING AND PROVIDE NEW PERIMETER GRID AT NEW BULKHEAD.
- G8 PROVIDE LINTEL AND NEW 36" WIDE WALL OPENING BETWEEN MECHANICAL ROOMS. FINISH SIDES OF BLOCK SMOOTH AND PROVIDE FINISHING TRIM.
- G9 PROVIDE NEW STUD AND DRYWALL PARTITION WALL. WALL TO BE CONSTRUCTED OF METAL STUDS WITH 1/2" PLYWOOD ON STORAGE ROOM SIDE AND 1/2" GYPSUM BOARD ON BOTH SIDES. PRIME AND PAINT WITH TWO COATS OF WHITE.

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT.
- C2 PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR NEW MOTORIZED DAMPER.
- C3 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFD.

NEW WORKING NOTES:

- 1 SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- 2 NEW 30x20" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. OFFSET UNDER NEW R/A DUCT WITH 45 DEGREE BENDS AS REQUIRED. TRANSITION TO 44x14" AND CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE ALL NEW DUCT OFF OF UNIT.
- 3 NEW 40x16" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. RUN TIGHT TO WALL AND OUT THROUGH NEW COMBINATION SMOKE/FIRE DAMPER. ACOUSTICALLY LINE ALL NEW DUCT OFF OF UNIT.
- 4 NEW 26x26" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS AND MOTORIZED DAMPER AT UNIT OPENING. RUN UP THROUGH EXISTING 48x12" FLOOR PENETRATION TO NEW GOOSENECK ON ROOF.
- 5 NEW 26x24" E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. TRANSITION TO 48x12" AND RUN UP TIGHT TO STAGE WALL TO SECOND FLOOR LEVEL WITH NEW COMBINATION SMOKE/FIRE DAMPER AT PENETRATION OF STAGE WALLS. ACOUSTICALLY LINE DUCTWORK FROM UNIT OPENING TO ELBOW ON STAGE.
- 6 NEW 41x14" S/A OFF TOP OF LOWER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. CONNECT TO EXISTING DUCT BEYOND WALL PENETRATION. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT.
- 7 NEW 36x14" R/A OFF TOP OF UPPER SECTION OF AHU C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE FIRST 10' OF DUCT OFF OF UNIT. RUN AS TIGHT TO TOP OF UNIT AS POSSIBLE AND UNDERNEATH NEW O/A E/A DUCTWORK.
- 8 NEW 26x26" THERMALLY INSULATED O/A DUCT UP FROM BACK FACE OF LOWER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS AND MOTORIZED DAMPER AT UNIT OPENING. RUN UP INTO NEW 48x14" O/A DUCT ABOVE. RUN TIGHT TO UIS OF DECK ABOVE. FLOOR PENETRATION TO NEW GOOSENECK ON ROOF.

- 9 NEW 26x18" E/A DUCT UP FROM TOP OF UPPER SECTION OF AHU C/W ALL CONNECTIONS AND TRANSITIONS. RUN ABOVE NEW R/A DUCT AND PAST E/A FROM AHU-10, AND TRANSITION TO 48x14". TURN THROUGH CLASSROOM WALL AND RUN UP THROUGH EXISTING SKYLIGHT OPENING TO NEW GOOSENECK ON ROOF.
- 10 RUN COMMON 48x32" O/A DUCT UP THROUGH EXISTING OPENING IN ROOF TO NEW GOOSENECK. REFER TO DETAIL.
- 11 RUN 48x12" E/A DUCT UP INTO BOTTOM OF NEW 26x24" E/A DUCT. RUN THROUGH MECHANICAL ROOM WALL AND TIGHT TO WALL TO LOCATION OF SKYLIGHT IN ADJACENT ROOM. STUB NEW 48x14" E/A INTO SIDE OF NEW 26x24" DUCT. RUN 48x14" E/A UP THROUGH EXISTING SKYLIGHT OPENING TO NEW GOOSENECK ON ROOF.
- 12 PROVIDE NEW MOTORIZED DAMPER. INSTALL O/A MOTORIZED DAMPERS DIRECTLY ON UNIT OPENING. CONFIRM EXACT SIZE OF MOTORIZED DAMPER TO SUIT UNIT OPERATING.
- 13 PROVIDE NEW COMBINATION SMOKE FIRE DAMPER AT WALL PENETRATION.
- 14 SUPPLY NEW VFD FOR FAN MOTORS AND MOUNT ON WALL. COORDINATE WIRING WITH ELECTRICAL CONTRACTOR.
- 15 2"Ø GHS & GHR DOWN TO NEW HEATING COIL C/W VALVES AND ACCESSORIES AS PER DETAIL. MOUNT NEW VALVES AND ACCESSORIES ON ADJACENT WALL WHERE SPACE DOES NOT PERMIT FOR VALVES TO BE INSTALLED IN FRONT OF UNIT.
- 16 2-1/2"Ø GHS & GHR FROM BOILER ROOM. RUN 2"Ø GHS & GHR UP THROUGH FLOOR TO SECOND LEVEL. FIRESTOP AT FLOOR AND WALL.
- 17 6"Ø HS & HR UP TO SECOND LEVEL AND OUT THROUGH WALL TO SECOND LEVEL CORRIDOR. FIRESTOP AT FLOOR AND WALL.
- 18 PROVIDE 45 DEGREE ELBOWS AS REQUIRED TO OFFSET DUCTWORK UNDER NEW O/A DUCT IN NEW MECHANICAL ROOM.

GENERAL NEW (PLUMBING AND/OR HVAC) NOTES:

- WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 - 1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
 - 2 ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 - 3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
- THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
- COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
- INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
- THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
- FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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No.	Date	Description	By
1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT

STAMP:



ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:
**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**MECHANICAL ROOMS
139A AND 457
NEW LAYOUT**

DISCIPLINE:

MECHANICAL

DRAWER:

MRC

SCALE:

AS NOTED

DESIGNER:

UIZ

DATE:

2026-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

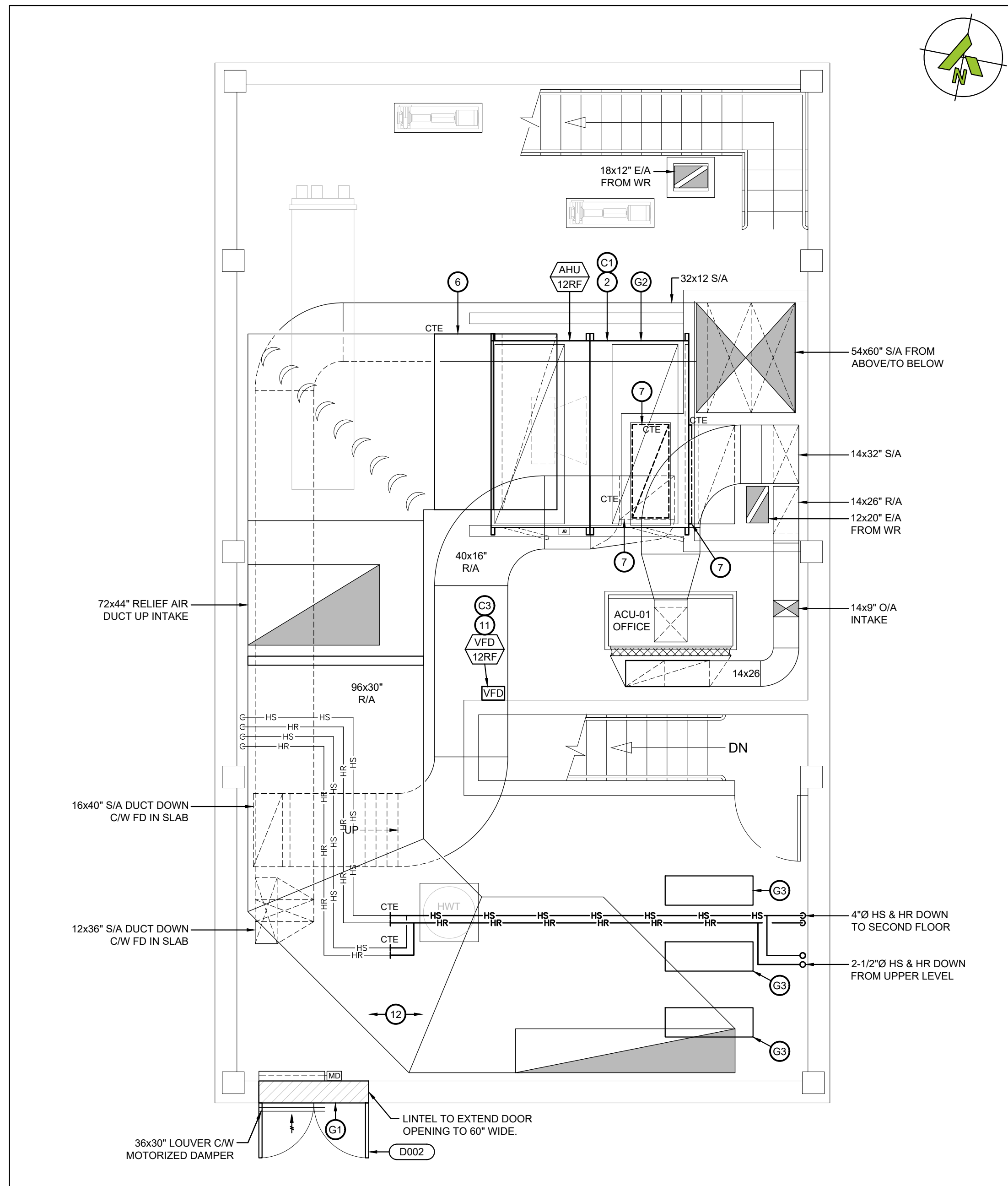
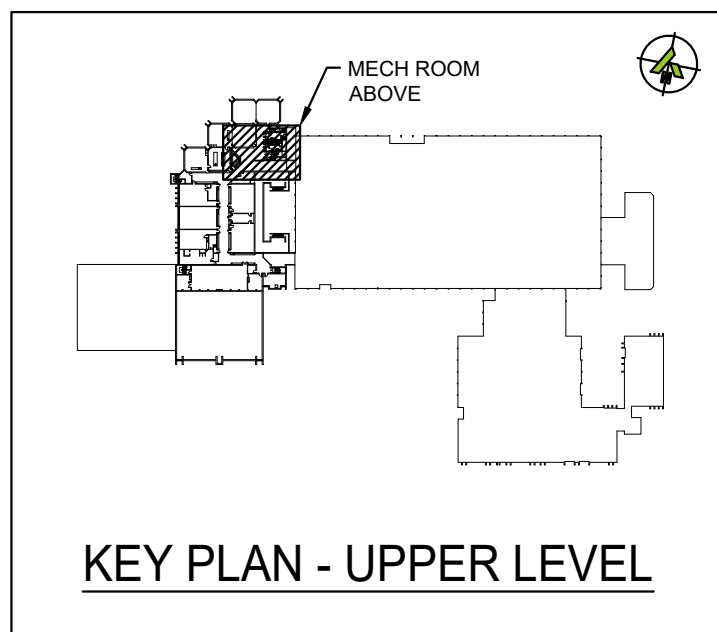
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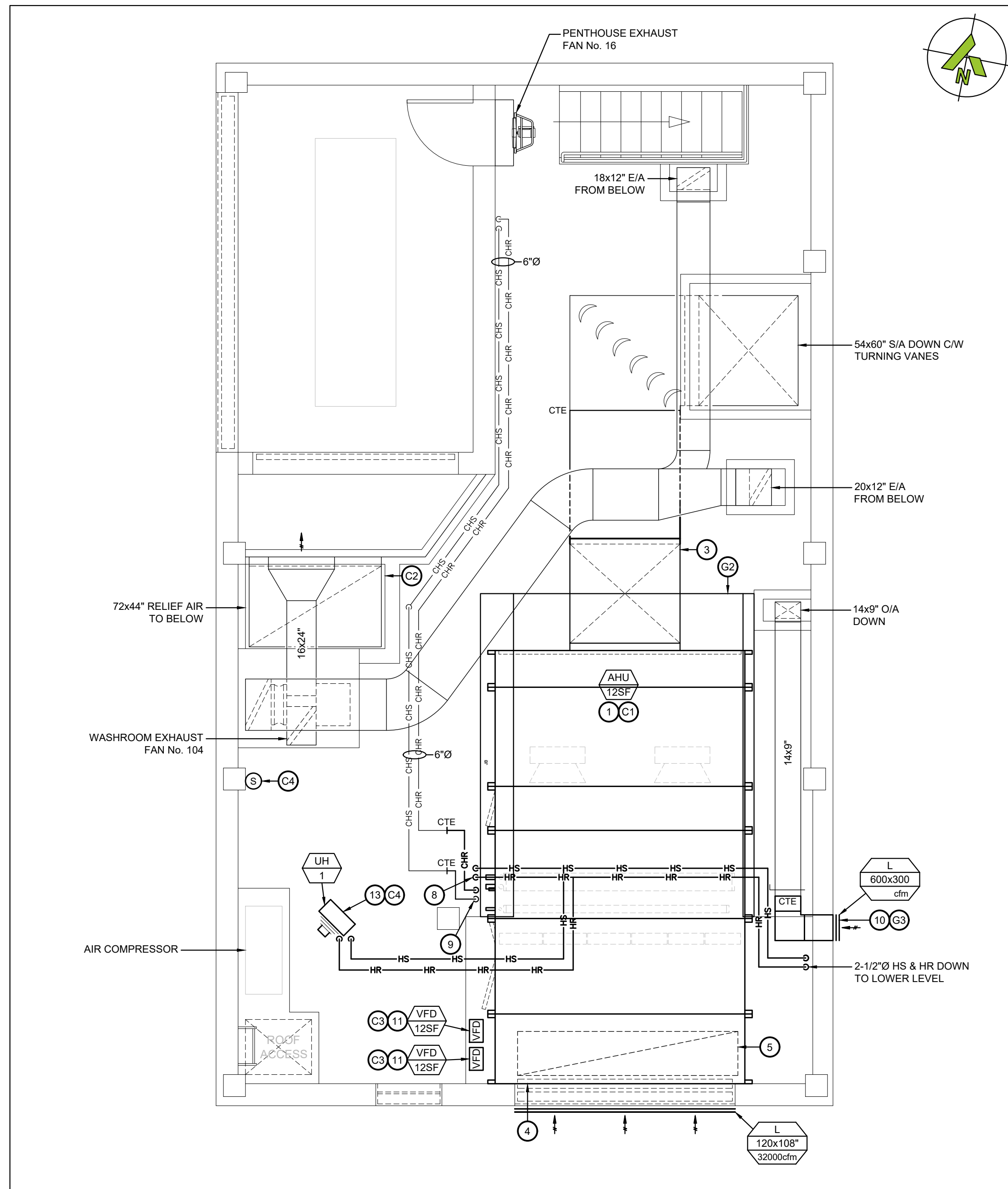
M-102

SHEET No:

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1 UPPER MECHANICAL ROOM - LOW LEVEL - NEW LAYOUT
M-103 SCALE: 1/4"=1'



2 UPPER MECHANICAL ROOM - HIGH LEVEL - NEW LAYOUT
M-103 SCALE: 1/4"=1'

NEW WORKING NOTES - GENERAL TRADES:

- G1 PROVIDE NEW DOOR AND DOOR FRAME. PROVIDE NEW LINTEL ABOVE DOOR AND PATCH ALL EXTERIOR SIDING, VAPOUR BARRIER AND WEATHERPROOFING.
- G2 PROVIDE NEW 4" CONCRETE PAD TO EXTEND EXISTING PAD TO SUIT INSTALLATION OF NEW UNIT.
- G3 PROVIDE NEW OPENING FOR LOUVER AND LINTEL REFER TO STRUCTURAL DRAWINGS FOR DETAIL.

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW AIR HANDLING UNIT SUPPLY AND RETURN FAN.
- C2 PROVIDE ACTUATOR, CONTROLS AND CONTROL WIRING FOR EXISTING MOTORIZED DAMPER.
- C3 PROVIDE CONTROLS AND CONTROL WIRING FOR NEW FAN VFDs.
- C4 PROVIDE SPACE SENSOR, CONTROLS AND CONTROL WIRING FOR NEW UNIT HEATER.

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No. 2 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW RETURN FAN RF-12 INCLUDING VFD, CONCRETE PAD, DUCTWORK REVISIONS, CONTROLS, AND ELECTRICAL. OPTIONAL PRICE ALSO INCLUDES THE NEW DOUBLE DOORS TO THE EXTERIOR AND ASSOCIATED REWORK OF SERVICES TO SUIT NEW DOOR.

NEW WORKING NOTES:

- 1 SUPPLY AND INSTALL NEW AIR HANDLING UNIT. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- 2 SUPPLY AND INSTALL NEW RETURN FAN. UNIT WILL BE SHIPPED IN SECTIONS. THE CONTRACTOR SHALL RECEIVE EQUIPMENT (SECTIONS) ON SITE, TRANSPORT ALL SECTIONS TO MECHANICAL ROOM AND ASSEMBLE/INSTALL ON NEW CONCRETE PAD.
- 3 CONNECT TO EXISTING 54X60" S/A DUCT OFF FRONT OF SUPPLY FAN C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE ALL NEW S/A DUCTWORK.
- 4 PROVIDE SHEET METAL PLENUM TO EXTEND FROM NEW LOUVER TO BACK OF NEW AHU TO SEAL OFF AROUND NEW O/A SECTION.
- 5 PLACE UNIT R/A OPENING OVER EXISTING 120X36" OPENING THROUGH FLOOR.
- 6 CONNECT TO EXISTING 96X30" R/A DUCT ABOVE NEW RETURN FAN C/W TRANSITIONS AND CONNECTIONS. ACOUSTICALLY LINE ALL NEW R/A DUCTWORK.
- 7 RECONNECT ALL THREE EXISTING R/A DUCTS TO NEW PLENUM SECTION OF RETURN FAN. ACOUSTICALLY LINE ALL NEW R/A DUCTWORK.
- 8 2-1/2" HS & HR TO NEW AHU COIL C/W ALL VALVE AND ACCESSORIES. REFER TO DETAIL.

- 9 RECONNECT EXISTING CHILLED WATER TO NEW AHU COOLING COIL C/W ALL NEW VALVES AND ACCESSORIES AS PER DETAIL. REINSTALL EXISTING CONTROL VALVE.
- 10 PROVIDE NEW FRESH AIR LOUVER OUT THROUGH WALL FOR OFFICE UNIT. WEATHER SEAL AROUND PERIMETER. THERMALLY INSULATE O/A DUCTWORK.
- 11 SUPPLY NEW VFD AND MOUNT ON UNISTRUT STAND FOR SUPPLY FANS AND ON WALL FOR RETURN FAN. COORDINATE WIRING WITH ELECTRICAL CONTRACTOR.
- 12 REINSTALL EXISTING GAS PIPING, DRW PIPING, DRW PUMP, STORM RISER AND SANITARY RISER TO SUIT NEW DOOR OPENING. EXTEND PIPING AS REQUIRED.
- 13 3/4" HS & HR TO NEW UNIT HEATER C/W VALVES AND ACCESSORIES AS PER DETAIL.

GENERAL NEW [PLUMBING AND/OR HVAC] NOTES:

1. WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 - 1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
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 - 3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
2. THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
3. COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
4. COVER ALL FLOOR DRAINS DURING CONSTRUCTION TO PREVENT DEBRIS FROM FALLING IN DRAINS.
5. INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
6. THERMALLY INSULATE ALL NEW SUPPLY AIR, OUTSIDE AIR AND EXHAUST AIR DUCTWORK AND PROVIDE PVC JACKET.
7. FIRE STOP ALL NEW PIPING THROUGH RATED WALLS.
8. TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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STAMP:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**UPPER MECHANICAL ROOM
NEW LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

UJZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

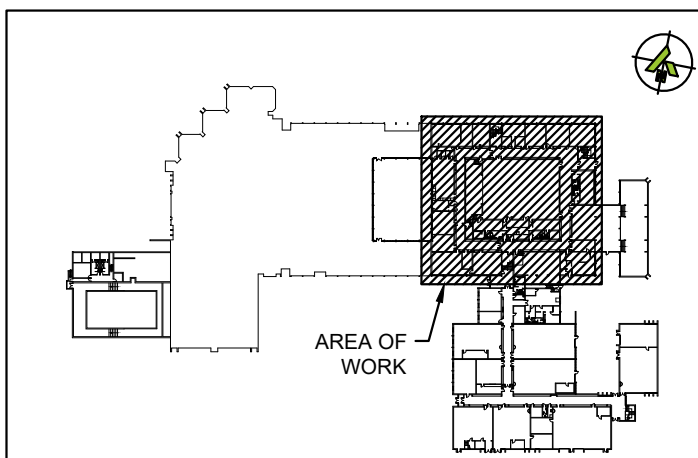
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DRAWING No:

M-103

SHEET No:

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KEY PLAN - LOWER LEVEL

GENERAL NEW MECHANICAL NOTES:

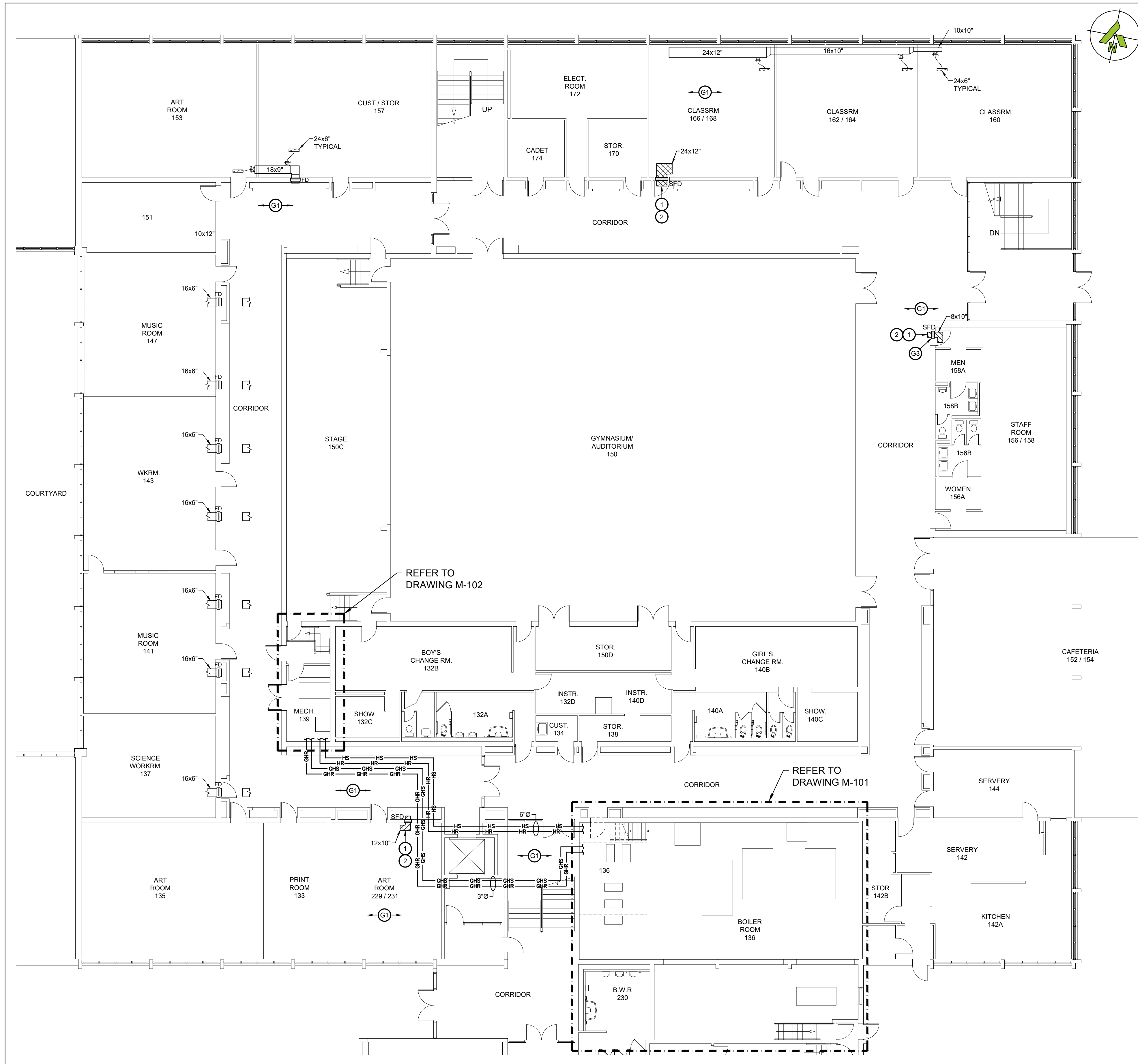
- WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
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 - ANY WORK INSIDE OR OUTSIDE, THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 - ANY WELDING SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
- THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- ENSURE ALL SERVICES ARE CONCEALED WITHIN AVAILABLE CEILING SPACE. RUN ALL NEW SERVICES UP IN JOIST SPACE AND BETWEEN LIGHTS AS NOTED OR AS REQUIRED.
- COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
- INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
- FIRE STOP ALL NEW PIPING THROUGH RATED WALLS AND FLOORS IN AREA OF WORK.
- TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

NEW WORKING NOTES - MECHANICAL:

- PROVIDE NEW ACOUSTICALLY LINED TRANSFER ELBOW. REFER TO DETAIL.
- PROVIDE NEW COMBINATION SMOKE AND FIRE DAMPER IN NEW WALL PENETRATION. COORDINATE WIRING OF SMOKE DETECTOR WITH ELECTRICAL CONTRACTOR.

NEW WORKING NOTES - GENERAL TRADES:

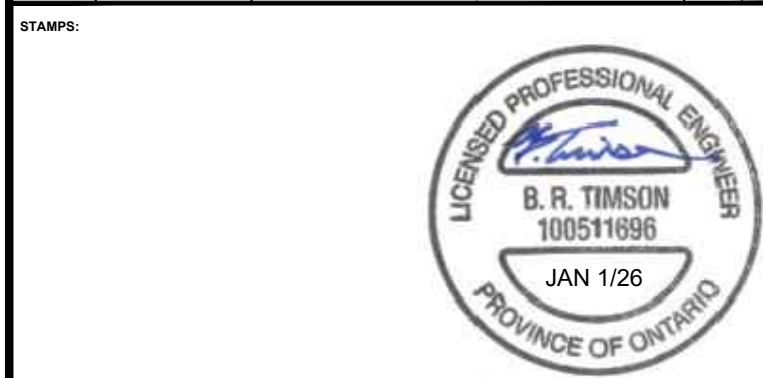
- G1 REINSTALL T-BAR CEILINGS TO NEAT AND LEVEL CONDITION AS PER EXISTING. PROVIDE NEW GRID AND TILES WHERE GRID WAS REMOVED FOR PIPING INSTALLATION. REUSE OF TILES IS AT THE DISCRETION OF THE DDSB. TILES MUST NOT BE STAINED OR DAMAGED.
- G2 PROVIDE NEW WALL OPENING AND LINTEL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.
- G3 PATCH DRYWALL AROUND NEW COMBINATION SMOKE/FIRE DAMPER TO RESTORE 1 HOUR RESISTANCE RATING.



1 PARTIAL LOWER LEVEL - NEW LAYOUT
M-104 SCALE: 3/32"=1'

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CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

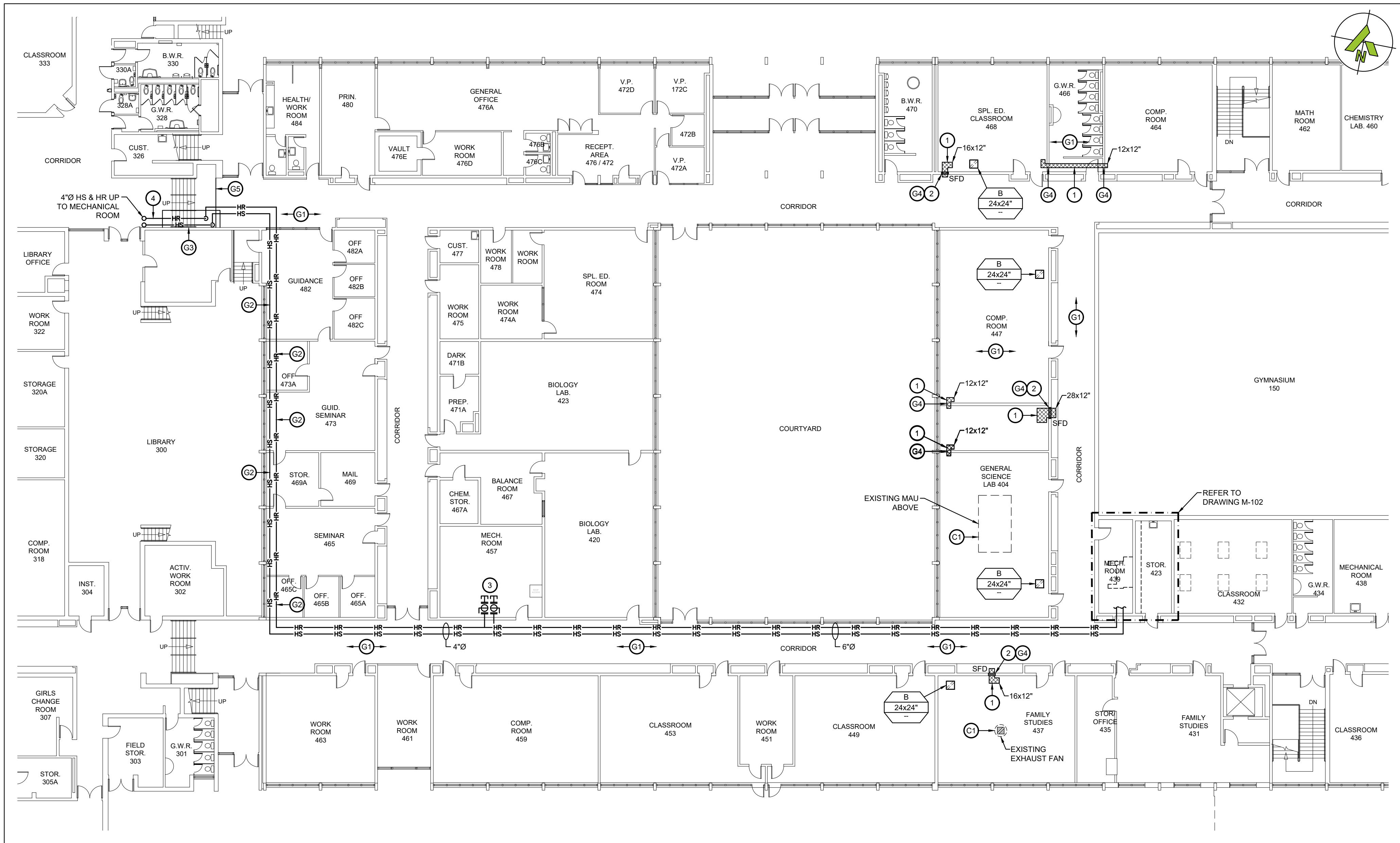
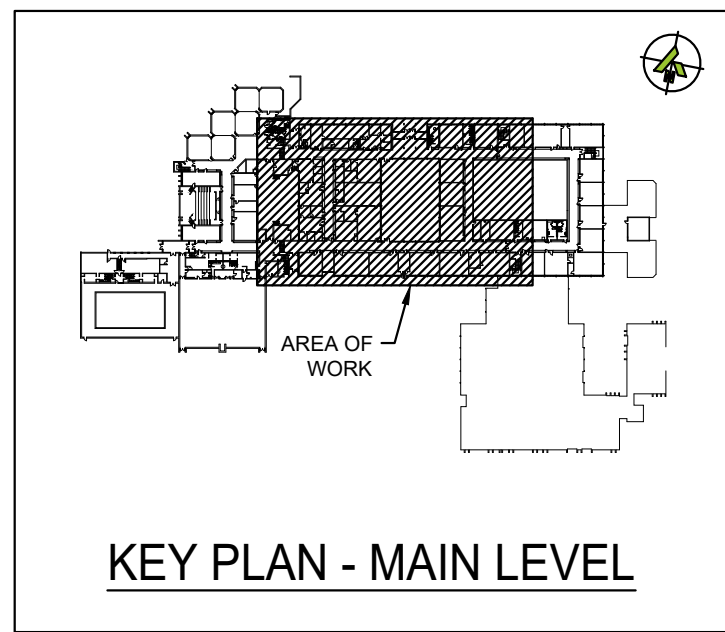


PROJECT NAME: DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE: PARTIAL LOWER LEVEL
NEW LAYOUT

DISCIPLINE: MECHANICAL

DRAWER: MRC	SCALE: AS NOTED
DESIGNER: LIZ	DATE: 2025-01-07
APPROVER: BRT	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	M-104



1 PARTIAL MAIN LEVEL - NEW LAYOUT
M-105 SCALE: 1/16"=1'

NEW WORKING NOTES - MECHANICAL:

- 1 PROVIDE NEW ACOUSTICALLY LINED TRANSFER ELBOW. REFER TO DETAIL.
- 2 PROVIDE NEW COMBINATION SMOKE AND FIRE DAMPER IN NEW WALL PENETRATION. COORDINATE WIRING OF SMOKE DETECTOR WITH ELECTRICAL CONTRACTOR.
- 3 PROVIDE 4"Ø TAKEOFF FROM NEW HEATING MAINS INTO MECHANICAL ROOM 457. PROVIDE BUTTERFLY VALVES AND CAP FOR FUTURE USE.
- 4 RUN HEATING PIPING UP ALONG WALL TO HIGH LEVEL AT AN ANGLE TO SUIT CEILING SLOPE. PIPING TO BE ENCLOSED BY DRYWALL CHASE. RUN UP THROUGH FLOOR ABOVE TO MECHANICAL ROOM.

NEW WORKING NOTES - GENERAL TRADES:

- G1 REINSTALL T-BAR CEILINGS TO NEAT AND LEVEL CONDITION AS PER EXISTING. PROVIDE NEW GRID AND TILES WHERE GRID WAS REMOVED FOR PIPING INSTALLATION. REUSE OF TILES IS AT THE DISCRETION OF THE DDSB. TILES MUST NOT BE STAINED OR DAMAGED.
- G2 RESTORE STUD AND DRYWALL BULKHEAD TO FINISHED CONDITION FOLLOWING INSTALLATION OF NEW PIPING. PRIME AND PAINT WITH TWO COATS OF WHITE.
- G3 PROVIDE NEW FINISHED STUD AND DRYWALL BULKHEAD TO CONCEAL HEATING PIPING ALONG WALL. PRIME AND PAINT WITH TWO COATS OF WHITE.
- G4 PROVIDE NEW WALL OPENING AND LINTEL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.

NEW WORKING NOTES - CONTROLS:

- C1 PROVIDE STATUS FOR EXISTING EXHAUST FAN TO SLOW DOWN AHU-8 RETURN FAN.

GENERAL NEW MECHANICAL NOTES:

- 1 WORK TO BE COMPLETED OUTSIDE REGULAR HOURS:
 - 1 ANY WORK THAT CREATES DISRUPTION TO REGULAR SCHOOL OR OCCUPANT ACTIVITIES AND OPERATIONS SHALL BE DONE OUTSIDE OF REGULAR BUSINESS SCHOOL HOURS. THIS INCLUDES BUT IS NOT LIMITED TO SERVICE INTERRUPTIONS, WORK THAT GENERATES NOISE, WORK THAT GENERATES VIBRATIONS, WORK THAT GENERATES FUMES/SMELLS, ETC.
 - 2 ANY WORK INSIDE OR OUTSIDE THAT CREATES RISK TO BUILDING OCCUPANTS SHALL BE DONE OUTSIDE OF REGULAR SCHOOL HOURS.
 - 3 ANY WELDING SHALL BE DONE OUTSIDE REGULAR SCHOOL HOURS.
- 2 THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- 3 PRE-CONSTRUCTION PHOTOS: THE CONTRACTOR SHALL TAKE PHOTOS OF THE SITE, BUILDING, SERVICES AND FINISHES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH PHOTOS SHALL INCLUDE ALL AREAS THAT FORM A PART OF THE CONSTRUCTION, BOTH INTERIOR AND EXTERIOR, AND WILL PROVIDE RECORD OF THE GENERAL CONDITION OF THE SITE PRIOR TO CONSTRUCTION. PHOTOS SHALL BE SHARED WITH THE OWNER AND CONSULTANT PRIOR TO ANY CONSTRUCTION STARTING.
- 4 ENSURE ALL SERVICES ARE CONCEALED WITHIN AVAILABLE CEILING SPACE. RUN ALL NEW SERVICES UP IN JOIST SPACE AND BETWEEN LIGHTS AS NOTED OR AS REQUIRED.
- 5 COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.
- 6 INSULATE AND LABEL ALL NEW PIPING. PROVIDE PVC JACKET ON ALL EXPOSED PIPING.
- 7 FIRE STOP ALL NEW PIPING THROUGH RATED WALLS AND FLOORS IN AREA OF WORK.
- 8 TEMPORARILY SEAL ALL OPEN DUCTS THROUGHOUT CONSTRUCTION TO PREVENT DUST AND DIRT FROM ENTERING THE SYSTEM. WHERE THE CONTRACTOR DOES NOT CONFORM THEY ARE RESPONSIBLE FOR CLEANING OF THE SYSTEMS IN A MANNER APPROVED BY THE CONSULTANT.

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1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT
No.	Date	Description	By

STAMPE:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**PARTIAL MAIN LEVEL
NEW LAYOUT**

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

SCALE:

AS NOTED

DESIGNER:

LIZ

DATE:

2025-01-07

APPROVER:

BRT

APPROVER:

PROJECT No:

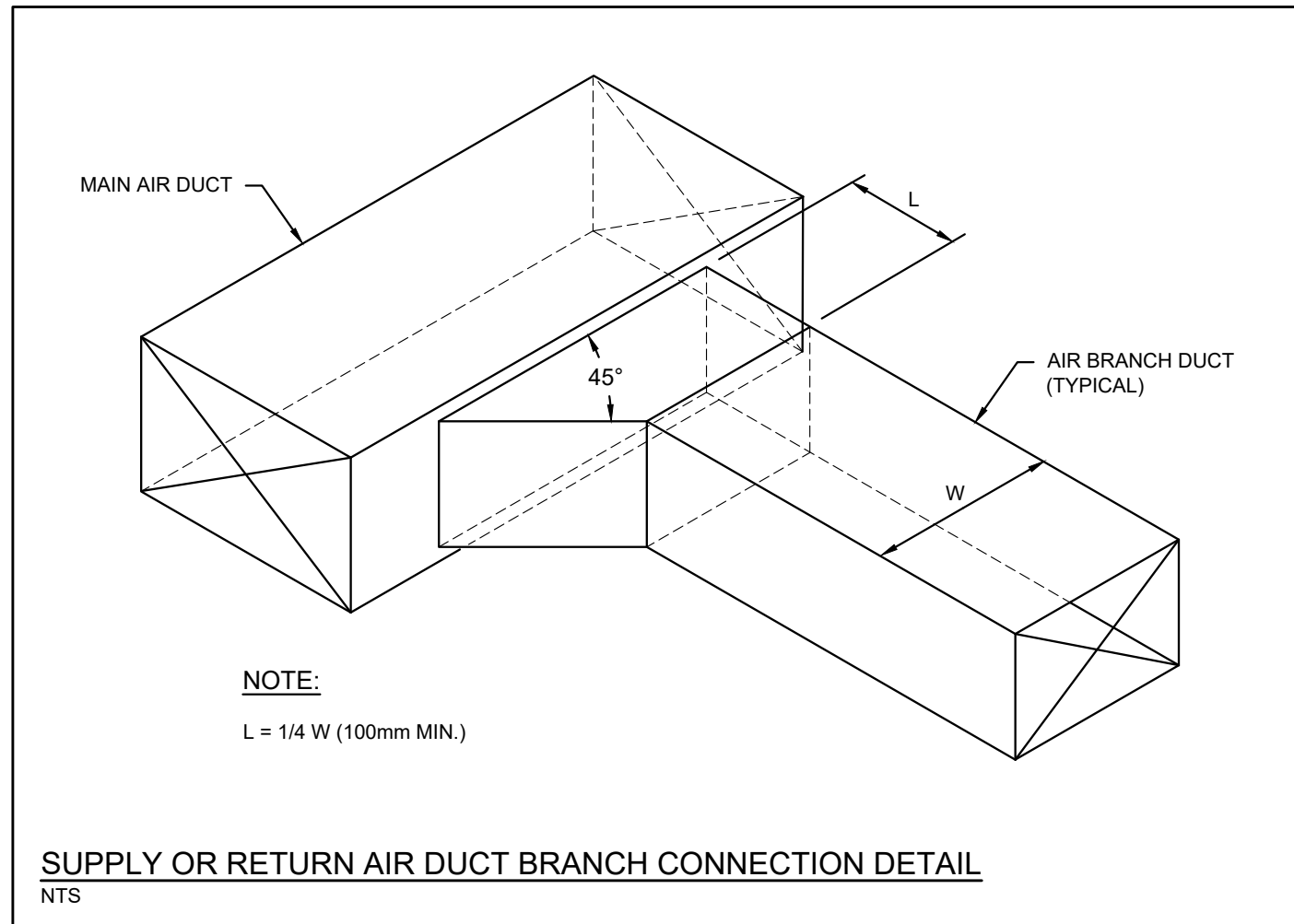
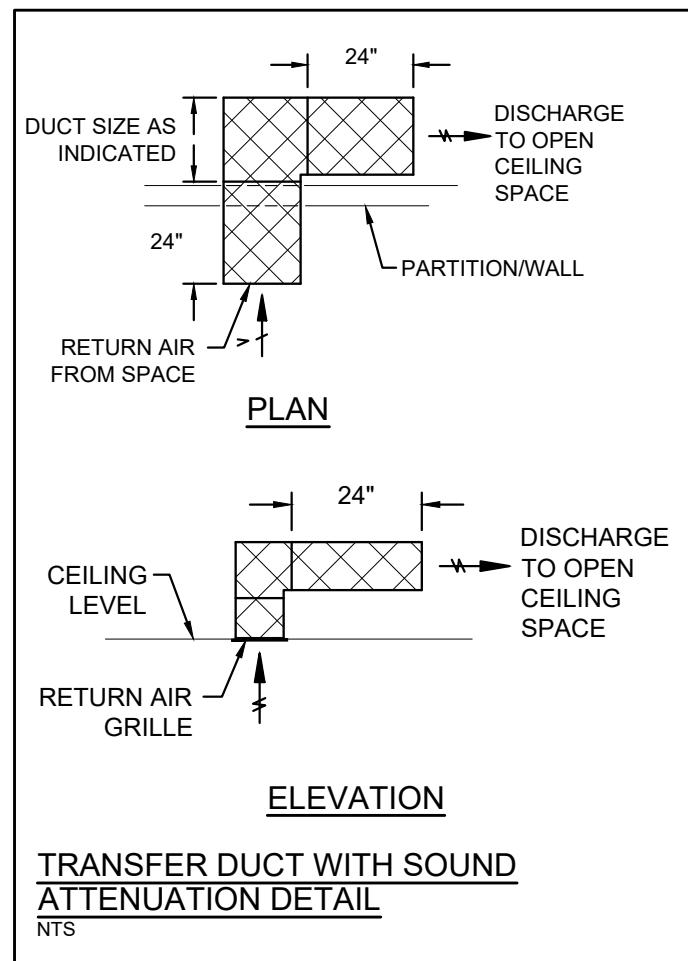
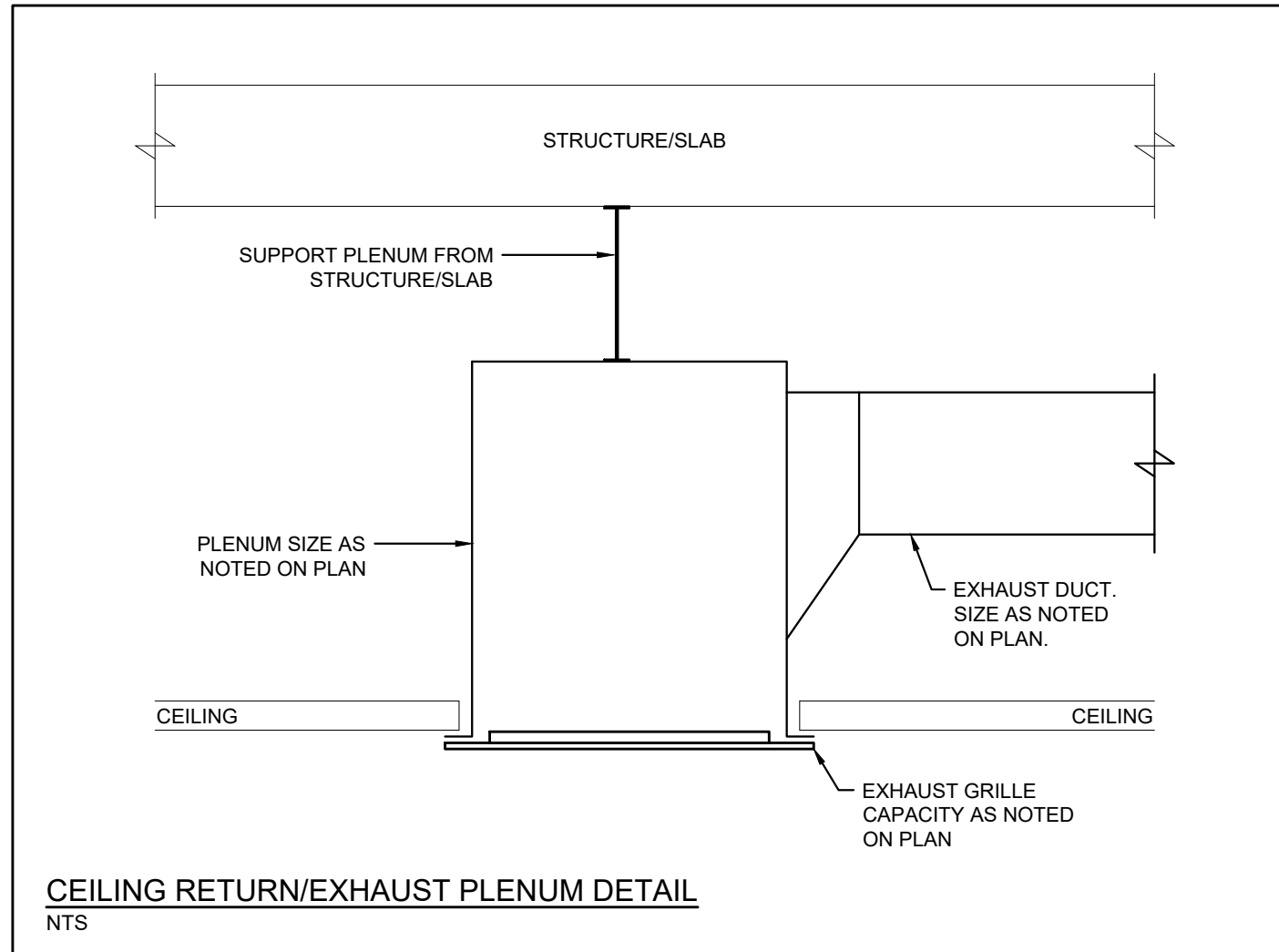
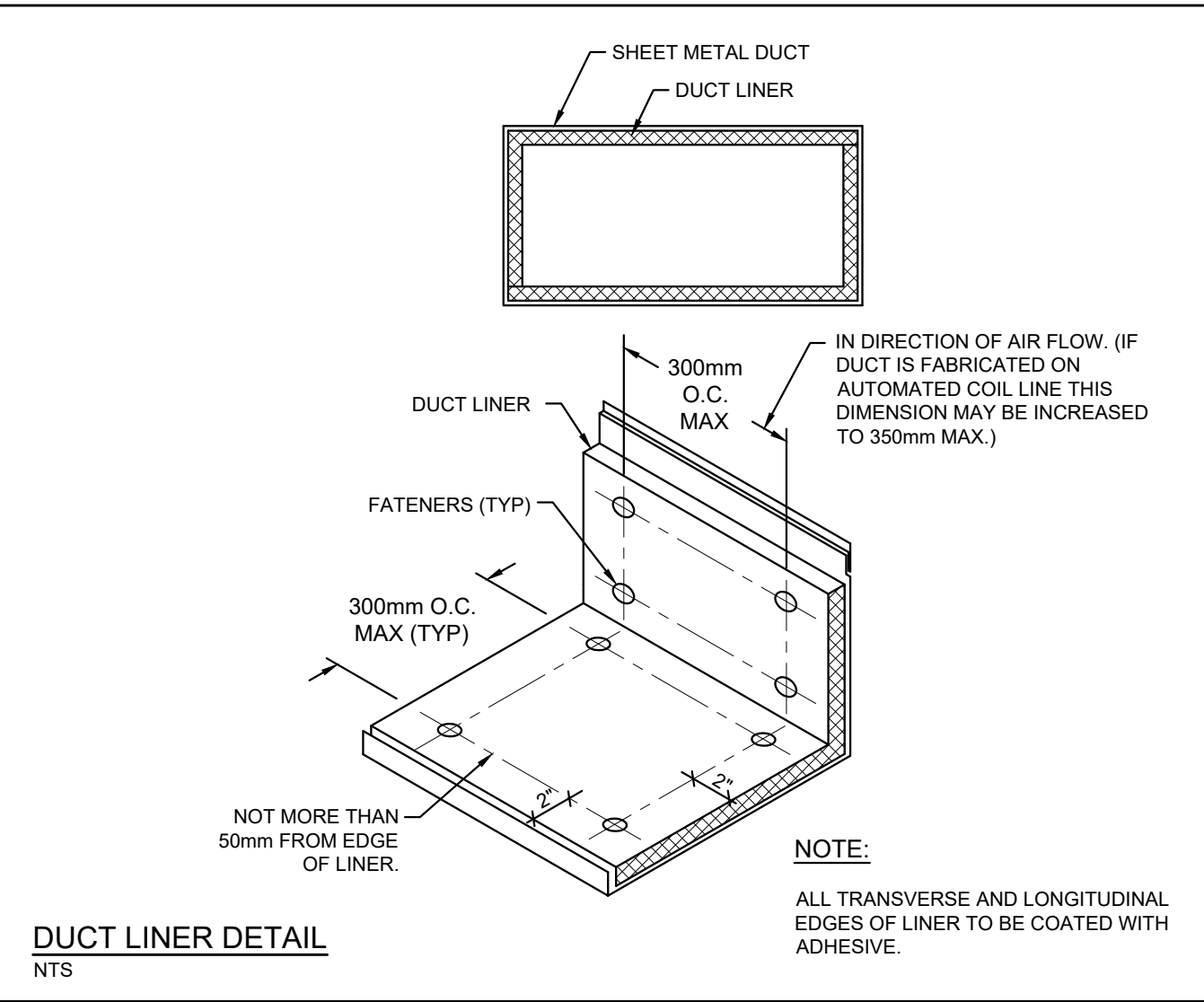
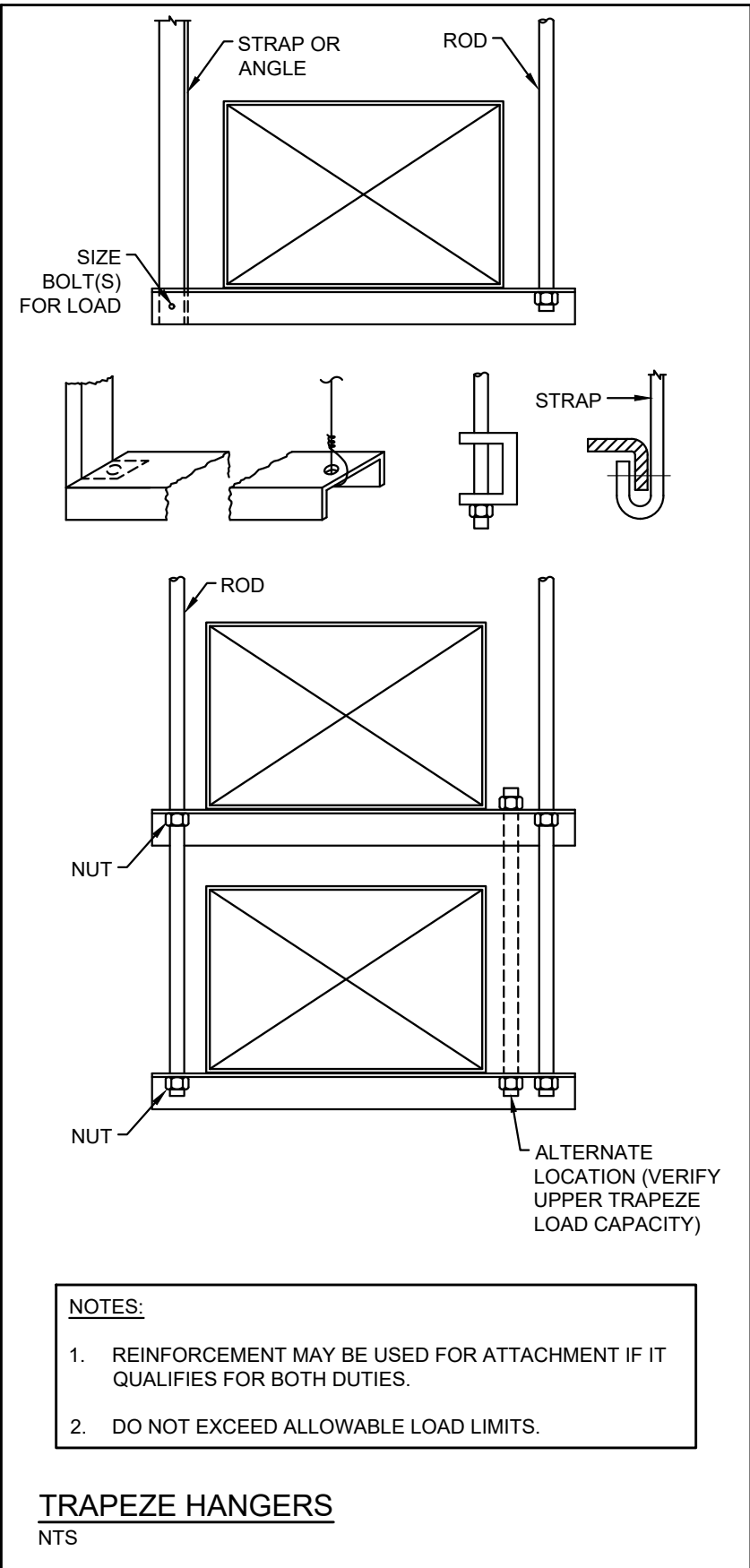
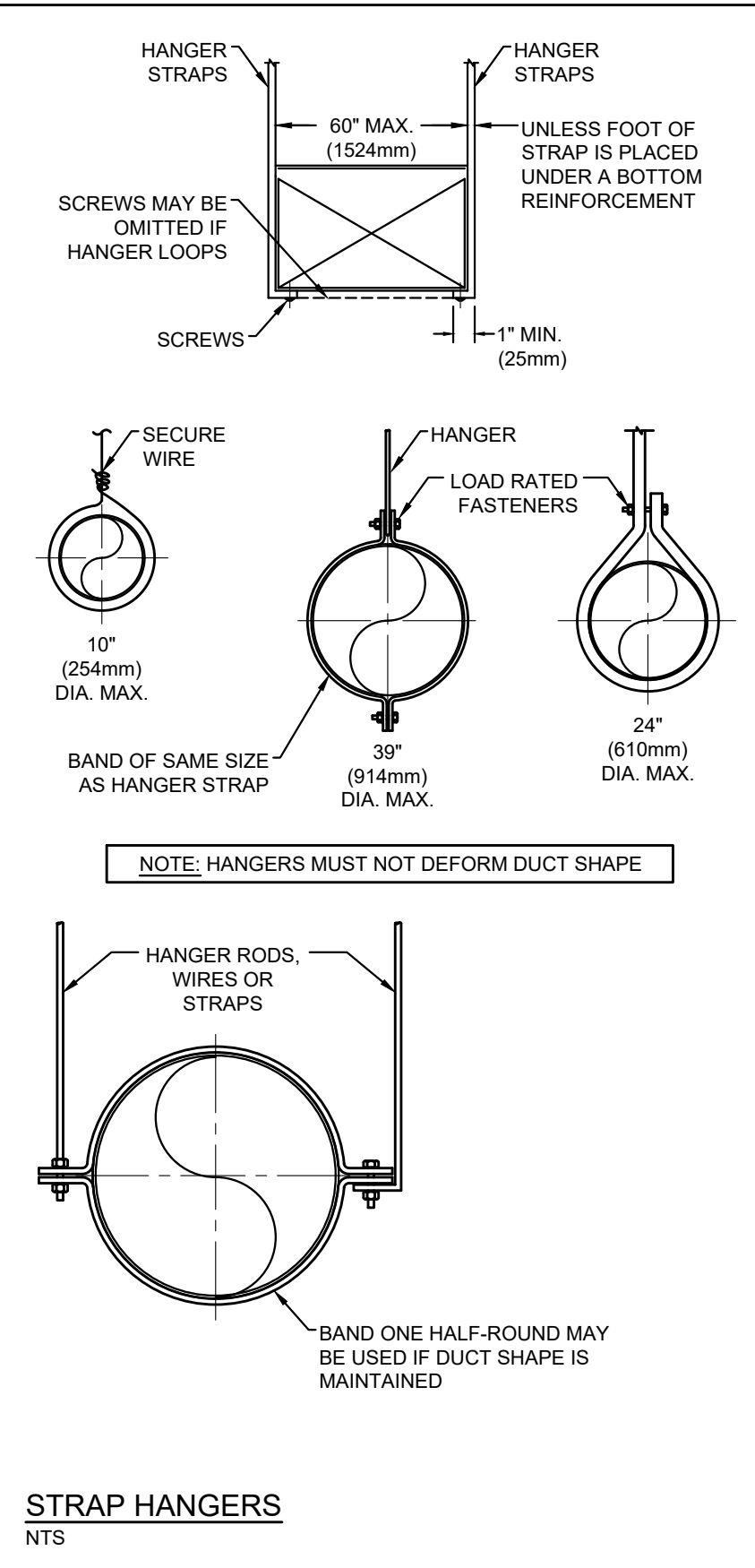
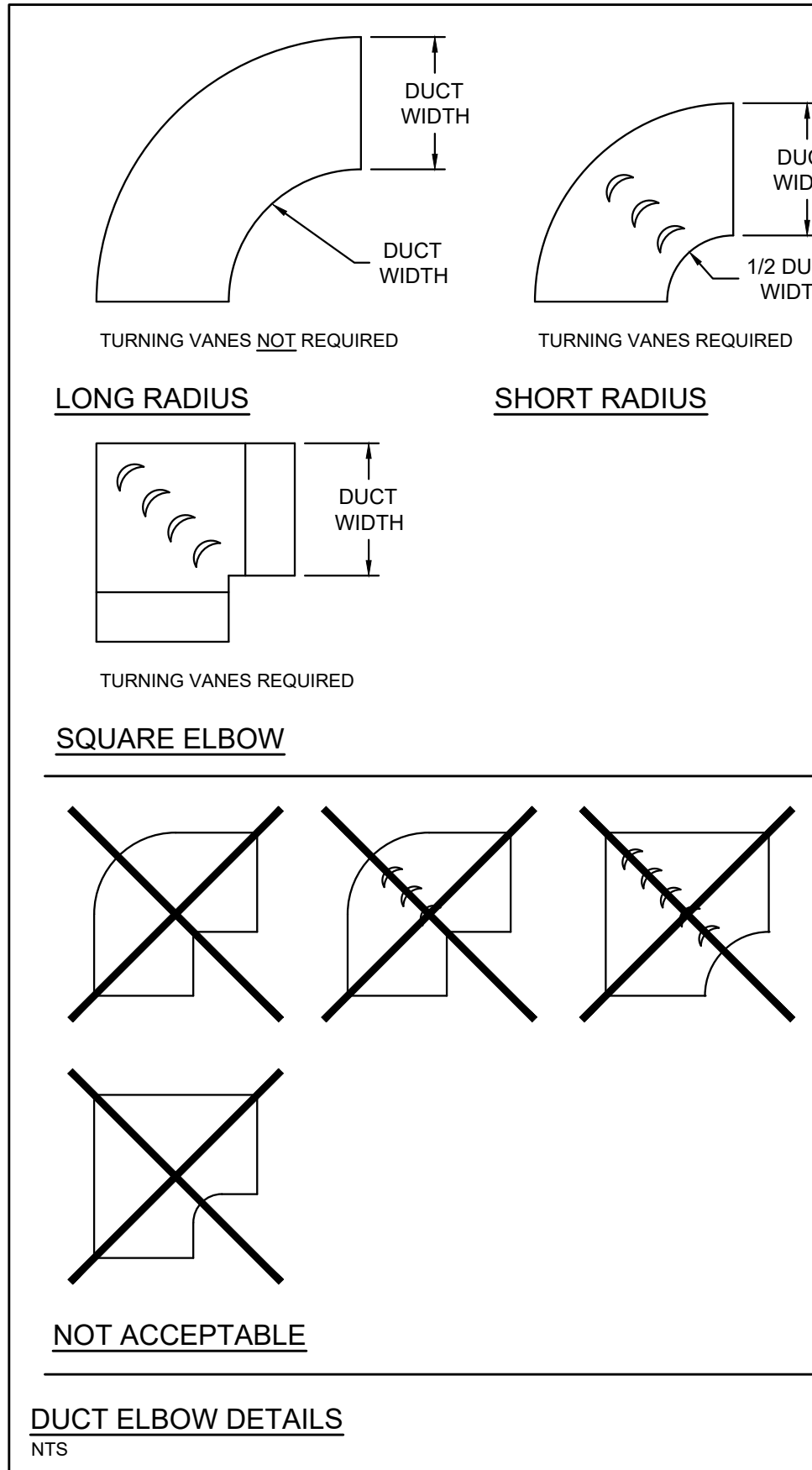
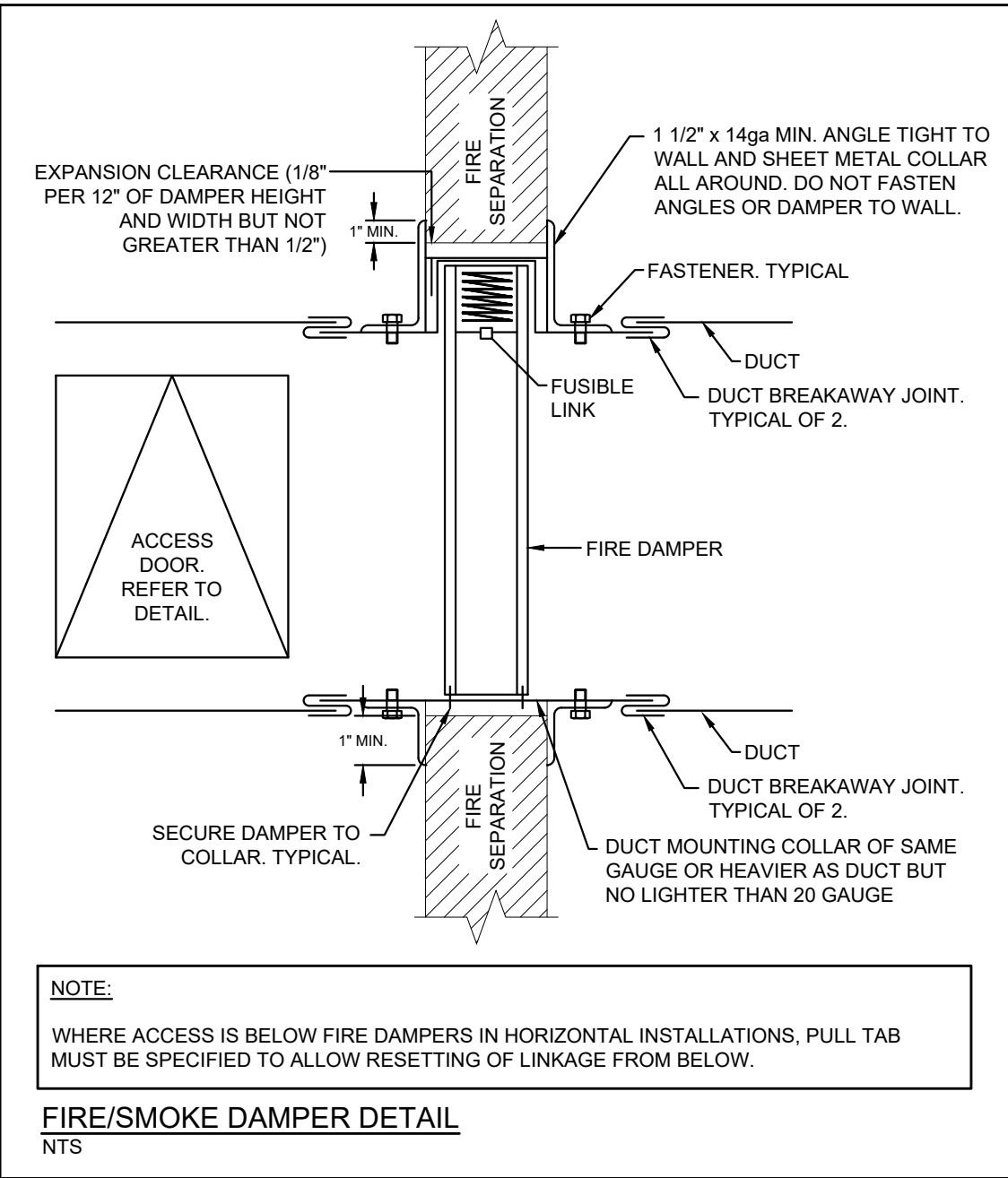
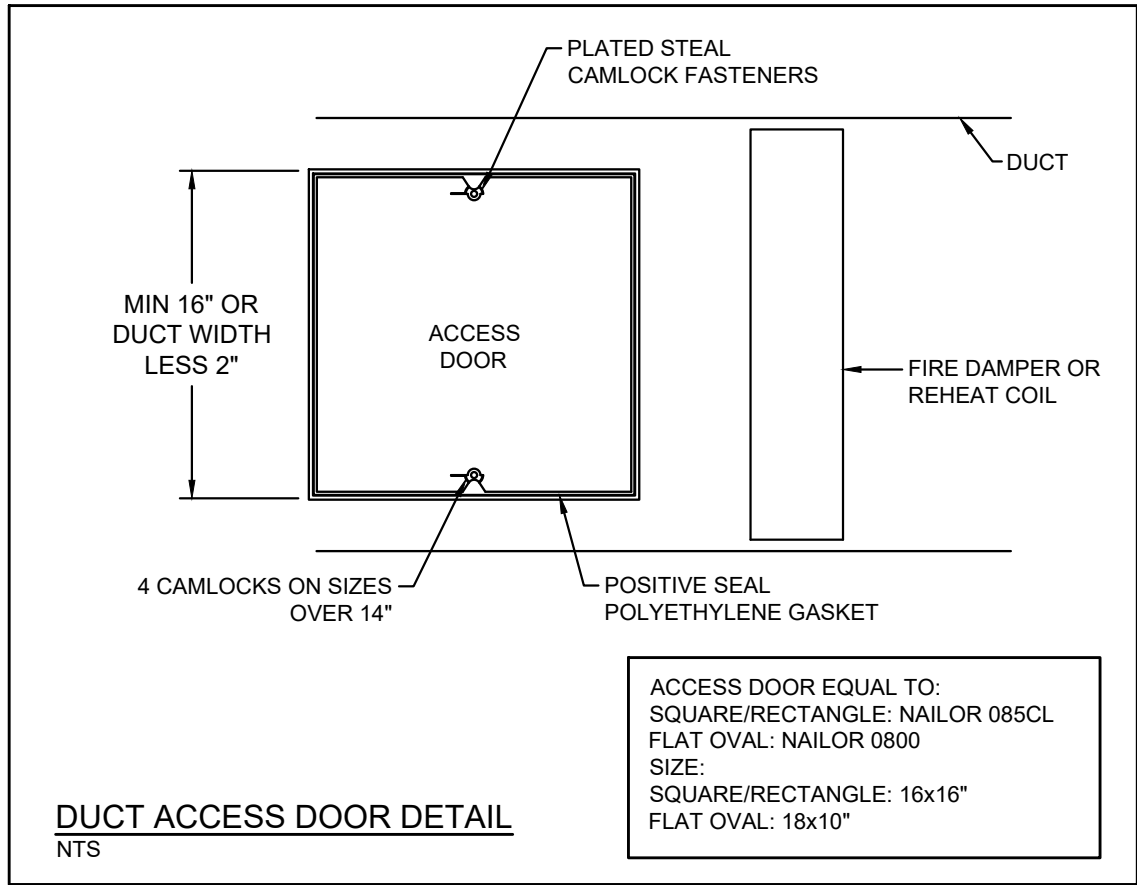
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DRAWING No:

SHEET No:

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No.	Date	Description	By
1	2026-01-08	Issued for Tender	BRT
0	2026-01-07	Issued for Pre-Tender Review	BRT

STAMPE:

ENGINEER:

CLIENT:

PROJECT NAME: DUNBARTON HS STEAM DECOMMISSIONING PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE: DUCTWORK DETAILS

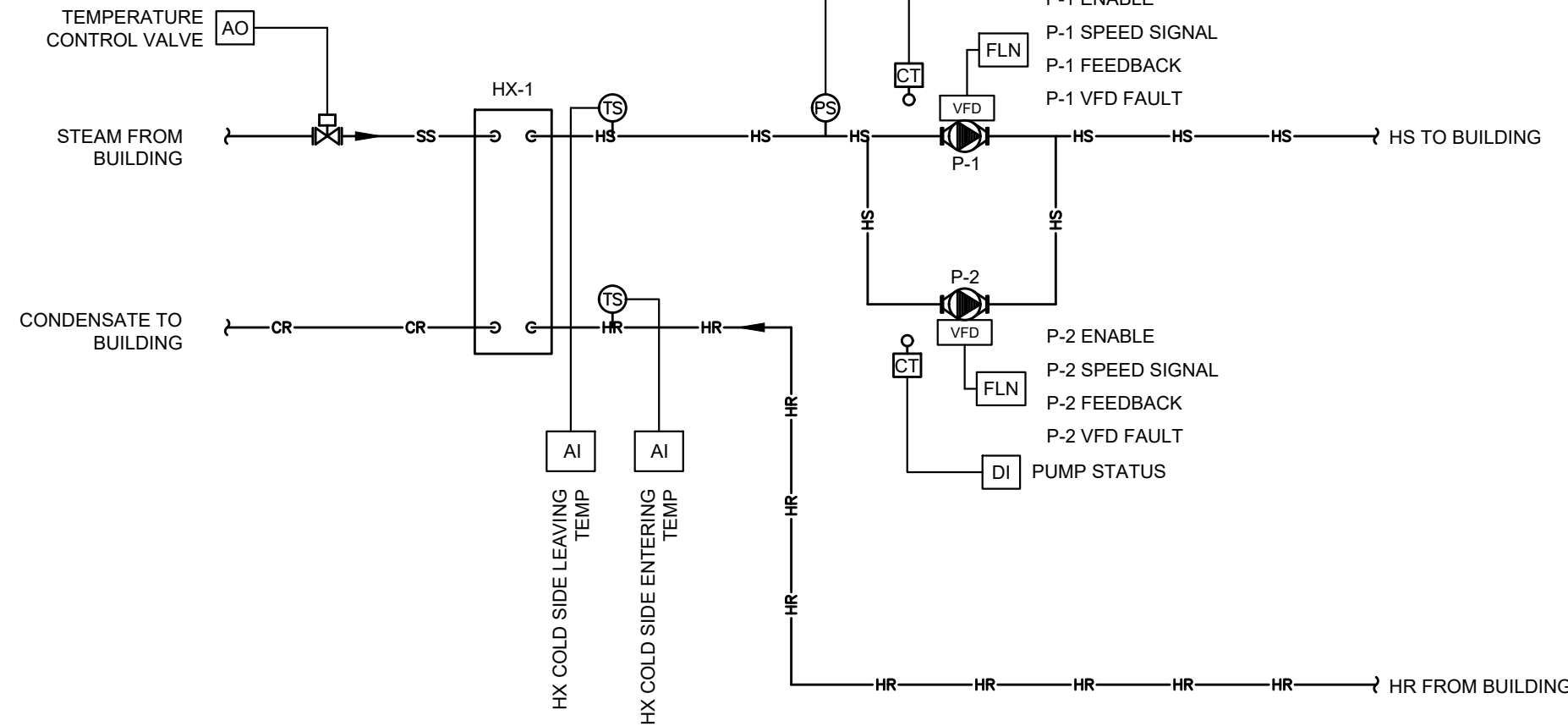
DISCIPLINE: MECHANICAL

DRAWER: MRC
DESIGNER: LIZ
APPROVER: BRT

SCALE: NTS
DATE: 2026-01-07
PROJECT No: A0001060
SHEET No: 13 of 16

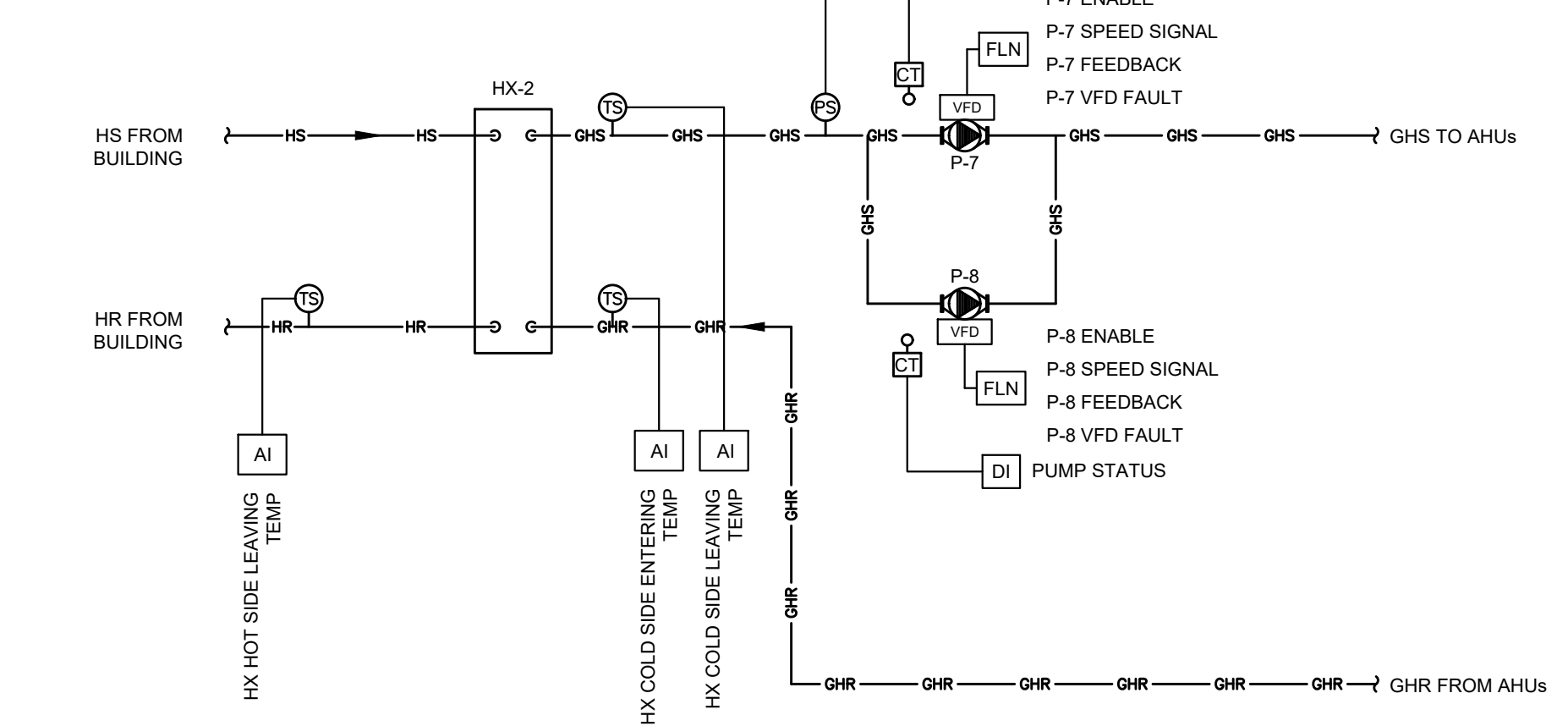
M-502

NOTE:
1. CONTROLS CONTRACTOR SHALL SUPPLY ALL TEMPERATURE SENSOR WELLS TO THE MECHANICAL CONTRACTOR FOR INSTALLATION.



HEAT EXCHANGER AND HEATING PUMPS SYSTEM CONTROL
NTS

NOTE:
1. CONTROLS CONTRACTOR SHALL SUPPLY ALL TEMPERATURE SENSOR WELLS TO THE MECHANICAL CONTRACTOR FOR INSTALLATION.



HEAT EXCHANGER AND GLYCOL PUMPS SYSTEM CONTROL
NTS

NEW CONTROL VALVE SCHEDULE

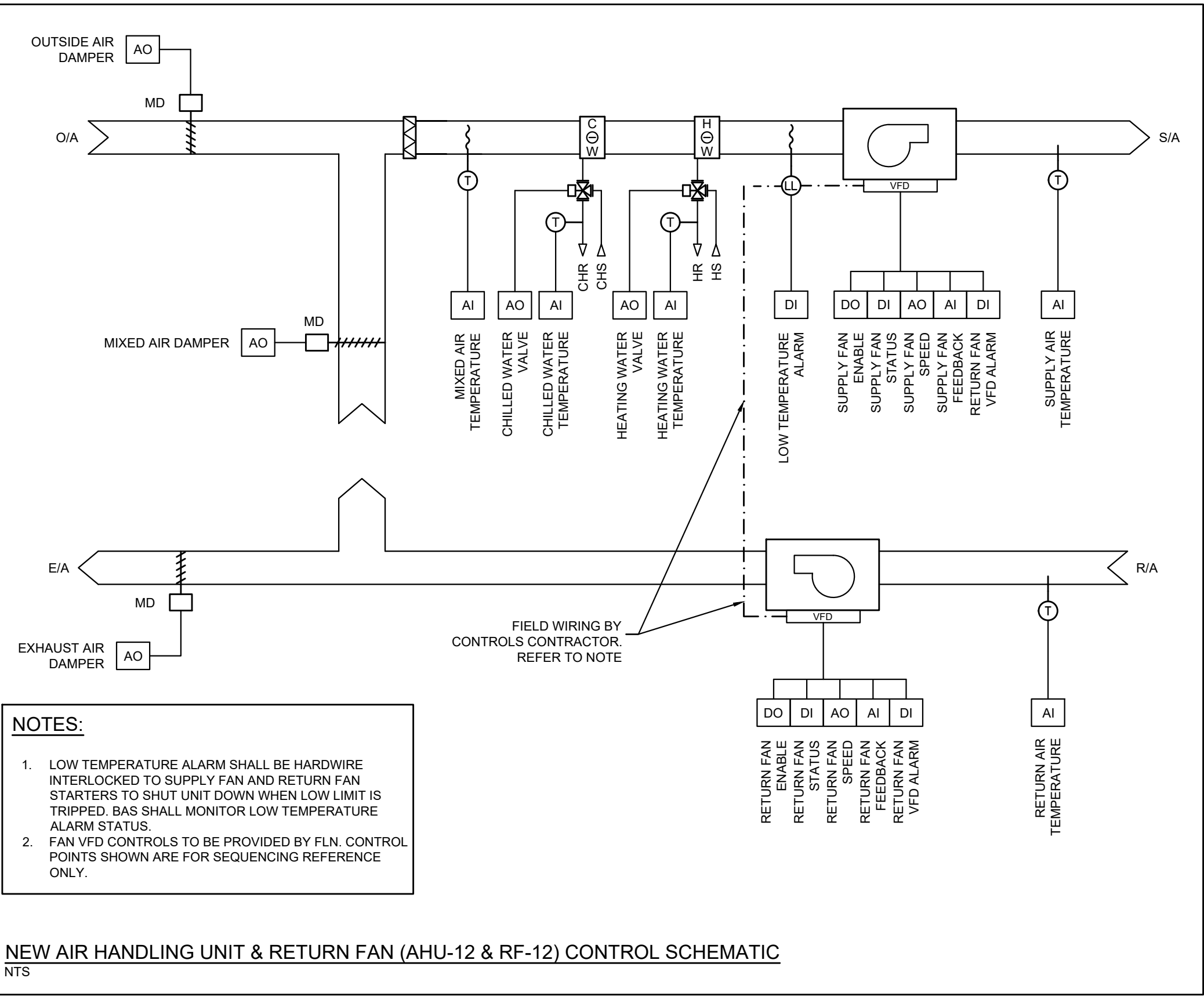
SERVICE		AHU-5	AHU-8	AHU-10	AHU-12
APPLICATION		HOT WATER COIL	HOT WATER COIL	HOT WATER COIL	HOT WATER COIL
MANUFACTURER		SIEMENS	SIEMENS	SIEMENS	SIEMENS
VALVE TYPE/SERIES		FLOWRITE 599	FLOWRITE 599	FLOWRITE 599	FLOWRITE 599
ASSEMBLY PART NUMBER		298-03205	298-03205	298-03205	298-03205
VALVE PART NUMBER		599-03205	599-03205	599-03205	599-03205
ACTUATOR PART NUMBER		599-03609	599-03609	599-03609	599-03609
FLOW	gpm	26.6	26.6	37.5	56.3
MEDIUM		40% PROP. GLYCOL	40% PROP. GLYCOL	40% PROP. GLYCOL	100% WATER
MAX DESIGN PRES DROP	psi	2.0	2.0	3.0	6.0
VALVE CV		25	25	25	25
ACTUAL PRES DROP	psi	1.13	1.13	2.25	5.07
VALVE SIZE	inches	1-1/2	1-1/2	1-1/2	1-1/2
PORTING		3-WAY	3-WAY	3-WAY	3-WAY
TRIM		BRONZE	BRONZE	BRONZE	BRONZE
CONNECTION		FxF NPT	FxF NPT	FxF NPT	FxF NPT
FAIL POSITION		N.O. TO COIL	N.O. TO COIL	N.O. TO COIL	N.O. TO COIL
ACTUATOR SIGNAL		0-10VDC	0-10VDC	0-10VDC	0-10VDC
NOTES		-VALVES AND ACTUATORS SUPPLIED BY CONTROLS CONTRACTOR. VALVES TURNED OVER TO MECHANICAL CONTRACTOR FOR INSTALLATION. ACTUATORS WIRED AND INSTALLED BY CONTROLS CONTRACTOR.			

NOTES:

1. LOW TEMPERATURE ALARM SHALL BE HARDWIRE INTERLOCKED TO SUPPLY FAN AND RETURN FAN STARTERS TO SHUT UNIT DOWN WHEN LOW LIMIT IS TRIPPED. BAS SHALL MONITOR LOW TEMPERATURE ALARM STATUS.
2. FAN VFD CONTROLS TO BE PROVIDED BY FLN. CONTROL POINTS SHOWN ARE FOR SEQUENCING REFERENCE ONLY.

NEW AIR HANDLING UNITS (AHU-5, AHU-8 & AHU-10) CONTROL SCHEMATIC

NTS



NOTES:

1. LOW TEMPERATURE ALARM SHALL BE HARDWIRE INTERLOCKED TO SUPPLY FAN AND RETURN FAN STARTERS TO SHUT UNIT DOWN WHEN LOW LIMIT IS TRIPPED. BAS SHALL MONITOR LOW TEMPERATURE ALARM STATUS.
2. FAN VFD CONTROLS TO BE PROVIDED BY FLN. CONTROL POINTS SHOWN ARE FOR SEQUENCING REFERENCE ONLY.

NEW AIR HANDLING UNIT & RETURN FAN (AHU-12 & RF-12) CONTROL SCHEMATIC

NTS

CONTROLS:

1. THE DRAWINGS AND SPECIFICATIONS DESCRIBE THE SCOPE OF WORK. PROVIDE ALL REQUIREMENTS INDICATED AND SPECIFIED.
2. COORDINATE ALL REQUIREMENTS THROUGH SHOP DRAWINGS AND BEFORE STARTING INSTALLATION.
3. EXISTING BAS SYSTEM IS JOHNSON CONTROLS. THE MECHANICAL CONTRACTOR SHALL RETAIN THE SERVICES OF TOTAL CONTROL FOR ALL CONTROLS WORK.
3. THE MECHANICAL CONTRACTOR SHALL RETAIN THE SERVICES OF ANALYSTS OF PNEUMATIC SYSTEMS (APS) TO REMOVE ALL REDUNDANT PNEUMATIC THERMOSTATS, DEVICES, AND ASSOCIATED TUBING THROUGHOUT. DISPOSE OF ALL REMOVED DEVICES AND TUBING IN AN APPROVED MANNER. PROVIDE BLANK OFF PLATES OVER ALL REMOVED PNEUMATIC THERMOSTATS WHERE APPLICABLE. REFER TO SPECIFICATIONS.
3. EXISTING BAS DEVICES AND WIRING TO REMAIN EXCEPT AS NOTED. SCHEMATICS PROVIDED FOR REFERENCE. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. THE BAS CONTRACTOR SHALL UPDATE ALL EXISTING PROGRAMMING, GRAPHICS, PANELS, ETC. TO SUIT CURRENT SCOPE OF WORK.
5. COORDINATE ALL SEQUENCES OF OPERATION AND ALARMING WITH DDSB REPRESENTATIVE. CONTROLS CONTRACTOR SHALL COMPLY WITH ALL DDSB CONTROLS STANDARDS. COORDINATE FINAL UNIT TAGGING WITH EXISTING NAMING CONVENTION ON SITE TO ENSURE NO DUPLICATION.
6. ALL EXISTING BAS CONTROLS AND NETWORK COMMUNICATIONS SHALL REMAIN FULLY FUNCTIONAL AND OPERATIONAL DURING THE EXECUTION OF THE WORK. PROVIDE TEMPORARY WIRING AS REQUIRED TO MAINTAIN SYSTEM UPTIME AND INTEGRITY.
7. WORKING HOURS
 1. ALL WORK SHALL BE DONE OUTSIDE OF SCHOOL HOURS UNLESS PRE-APPROVED BY CLIENT. THIS WILL BE STRICTLY ENFORCED. REFER TO DETAILS IN TENDER PACKAGE.
 2. ANY WORK THAT DISRUPTS THE BUILDING SERVICES SHALL BE DONE AFTER HOURS. ALL SERVICES SHALL REMAIN FULLY OPERATIONAL DURING REGULAR HOURS.

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No.	Date	Description	By

STAMPE:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

CONTROLS

DISCIPLINE:

MECHANICAL

DRAFTER:

MRC

DESIGNER:

UIZ

APPROVER:

BRT

PROJECT No:

A0001060

SHEET No:

SCALE:

NTS

DATE:









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



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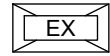
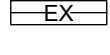
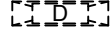
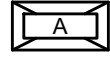
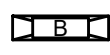
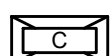


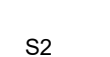
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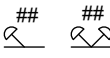
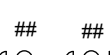
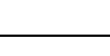
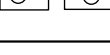
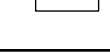
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








COMMUNICATIONS LEGEND		
TAG	DESCRIPTION	MAKE/MODEL
	EXISTING WALL MOUNTED TELEVISION VIDEO OUTLET	EXISTING
	SCHOOL BELL	EXISTING
	ACCESS POINT	EXISTING
	CEILING MOUNTED P.A. SPEAKER	EXISTING
	LED PRIMEX TIME LAPSE CLOCK	EXISTING
	BATTERY OPERATED CLOCK AT 7' ABOVE FLOOR	EXISTING
	SECURITY CAMERA WALL MOUNTED	EXISTING
	EXISTING MOTION SENSOR	EXISTING

ELECTRICAL ABBREVIATIONS	
EX	EXISTING TO REMAIN
D	EXISTING TO BE REMOVED C/W CONDUIT/WIRING BACK TO SOURCE
RR	EXISTING TO BE REMOVED & REINSTALLED IN SAME LOCATION.
x#	QUANTITY OF DEVICES
H/L	HIGH LEVEL
C/W	COMPLETE WITH

FIRE ALARM LEGEND	
	EXISTING FIRE ALARM BELL
	EXISTING STROBE
	SMOKE DETECTOR C/W INDICATION LIGHT
	FIRE ALARM PULL STATION WITH CLEAR, TAMPER-PROOF, POLYCARBONATE SHIELD THAT EMITS AN ALARM WHEN ACCESSED
	FIRE ALARM CONTROL PANEL
	HEAT DETECTOR FIXED TEMPERATURE [135°/200°]
	ANNUNCIATOR PANEL
	DUCT SMOKE DETECTOR

LIGHT FIXTURE SCHEDULE			
TAG	DESCRIPTION	MAKE / MODEL	ALTERNATE
	EXISTING 2x4 LUMINAIRE	EXISTING	N/A
\$	EXISTING LIGHT SWITCH	EXISTING	N/A
	EXISTING FREE HANGING 4' FLUORESCENT STRIP LIGHT, WRAP AROUND CAGE, CHAIN SET, SINGLE ELECTRONIC BALLAST, 2-14W LED TUBES, 120V	EXISTING	N/A
	EXISTING RECESSED DRYWALL MOUNTED 1x4 LUMINAIRE TO BE DEMOLISHED	EXISTING	N/A
	RECESSED TROFFER 2x4 LED LUMINAIRE, DIFFUSE LENS, 4200 LUMENS, 4000K, 120V 0-10V DIMMING	VISIONEERING LRTL2X4-LED-8040K050LUNV	LITHONIA PEERLESS-ELECTRIC COOPER [NO PET] CREE LIGHTING
	LAY-IN T-BAR 1x4 FLUORESCENT FIXTURE, STANDARD LENS, ELECTRONIC BALLAST, 2-T8 TUBES, 120V	CFI FLUORESCENT AA248120SOVA	LITHONIA PEERLESS-ELECTRIC COOPER [NO PET] CREE LIGHTING
	RECESSED FLAT PANEL 2x4 LED LUMINAIRE, DIFFUSE LENS, 4000 LUMENS, 4000K, 120V 0-10V DIMMING	LITHONIA LIGHTING CPX2X44000LM80CRI40KA12MIN102T120	LITHONIA PEERLESS-ELECTRIC COOPER [NO PET] CREE LIGHTING
	SURFACE MOUNTED 4' LED STRIP LIGHT, FROSTED LENS, DIMMABLE DRIVER, 3000 LUMENS, 4000K, 120V, C/W CAGE.	PHILIPS FSS430L840-UNV-DIM C/W FSSWG4	LITHONIA PEERLESS-ELECTRIC COOPER [NO PET] CREE LIGHTING
	SURFACE MOUNTED 4' LED STRIP LIGHT, FROSTED LENS, DIMMABLE DRIVER, 3000 LUMENS, 4000K, 120V, C/W CAGE & STEM MOUNT KIT.	PHILIPS FSS430L840-UNV-DIM C/W FSSWG4	LITHONIA PEERLESS-ELECTRIC COOPER [NO PET] CREE LIGHTING
	LIGHT SWITCH WITH SLIDE DIMMER, ON/OFF SWITCH, 0-10V LED RATED, 120V	LEVITON RF DECORA 25057-30Z (347V)	HUBBELL LEGRAND COOPER

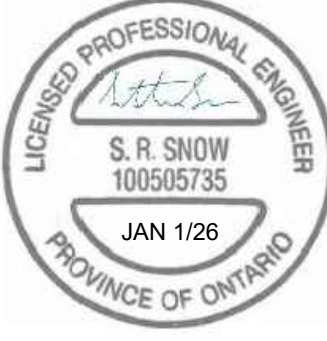
EMERGENCY LIGHTING SCHEDULE		
TAG	DESCRIPTION	MAKE / MODEL
	EXISTING RED LETTER EXIT SIGN	EXISTING
	EXISTING WALL MOUNTED REMOTE HEAD	EXISTING
	EXISTING CEILING MOUNTED EMERGENCY LIGHT	EQUAL TO LUMACELL MQM-LD7 (OR VOLTAGE TO MATCH EXISTING BATTERY UNITS)
	EXISTING CEILING MOUNTED REMOTE HEAD C/W VANDAL COVER	EXISTING
	EXISTING BATTERY UNIT WITH DUAL HEAD	EXISTING
	WALL MOUNTED REMOTE DUAL HEAD 12V 4W LED EMERGENCY LIGHT, INJECTION MOLDED IMPACT RESISTANT FLAME RETARDANT THERMOPLASTIC, ADJUSTABLE LENSES, SUITABLE FOR INSTALLATION ON 4" OCTAGON BOX, MOUNTED 2.13 (7") AFF. EXACT MOUNTING HEIGHT TO BE COORDINATED ON-SITE WITH FINAL CONDITIONS.	EQUAL TO LUMACELL MQM2-LD7 (OR VOLTAGE TO MATCH EXISTING BATTERY UNITS)
APPROVED ALTERNATES: LUMACELL, BEGHELLI, UNIGLO, EMERGH-LITE		
NOTE: 1. ## DENOTES BATTERY UNIT. 2. ALLOW 20% SAFETY ON BACK-UP BATTERY PACK SIZING. 3. ALL UNITS TO BE CSA CERTIFIED.		

POWER LEGEND		
TAG	DESCRIPTION	MAKE/MODEL
	EXISTING RECEPTACLE	EXISTING
	EXISTING MANUAL MOTOR STARTER	EXISTING
	EXISTING JUNCTION BOX	EXISTING
	EXISTING PANEL	REFER TO SPECIFICATIONS
	120V 1PH GROUNDED DIRECT EQUIPMENT CONNECTION	EXISTING
	208V 3PH GROUNDED DIRECT EQUIPMENT CONNECTION	EXISTING
	EXISTING DISCONNECT SWITCH	EXISTING
	EXISTING TRANSFORMER	EXISTING
	EXISTING FAN SWITCH	EXISTING
	VFD SUPPLIED BY MECHANICAL INSTALLED BY ELECTRICAL	


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1	2026-01-08	Issued for Tender	SS
0	2026-01-07	Issued for Pre-Tender Review	SS
No.	Date	Description	By

STAMPE:




ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

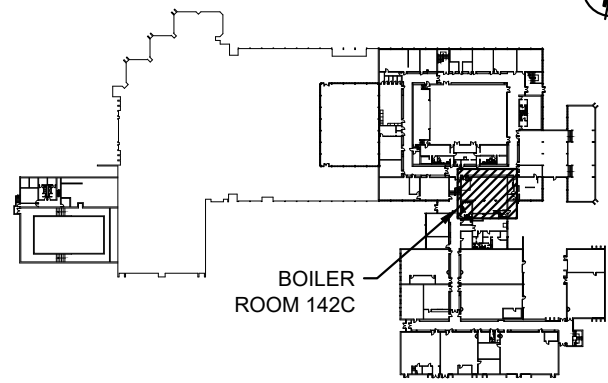
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DISCIPLINE:

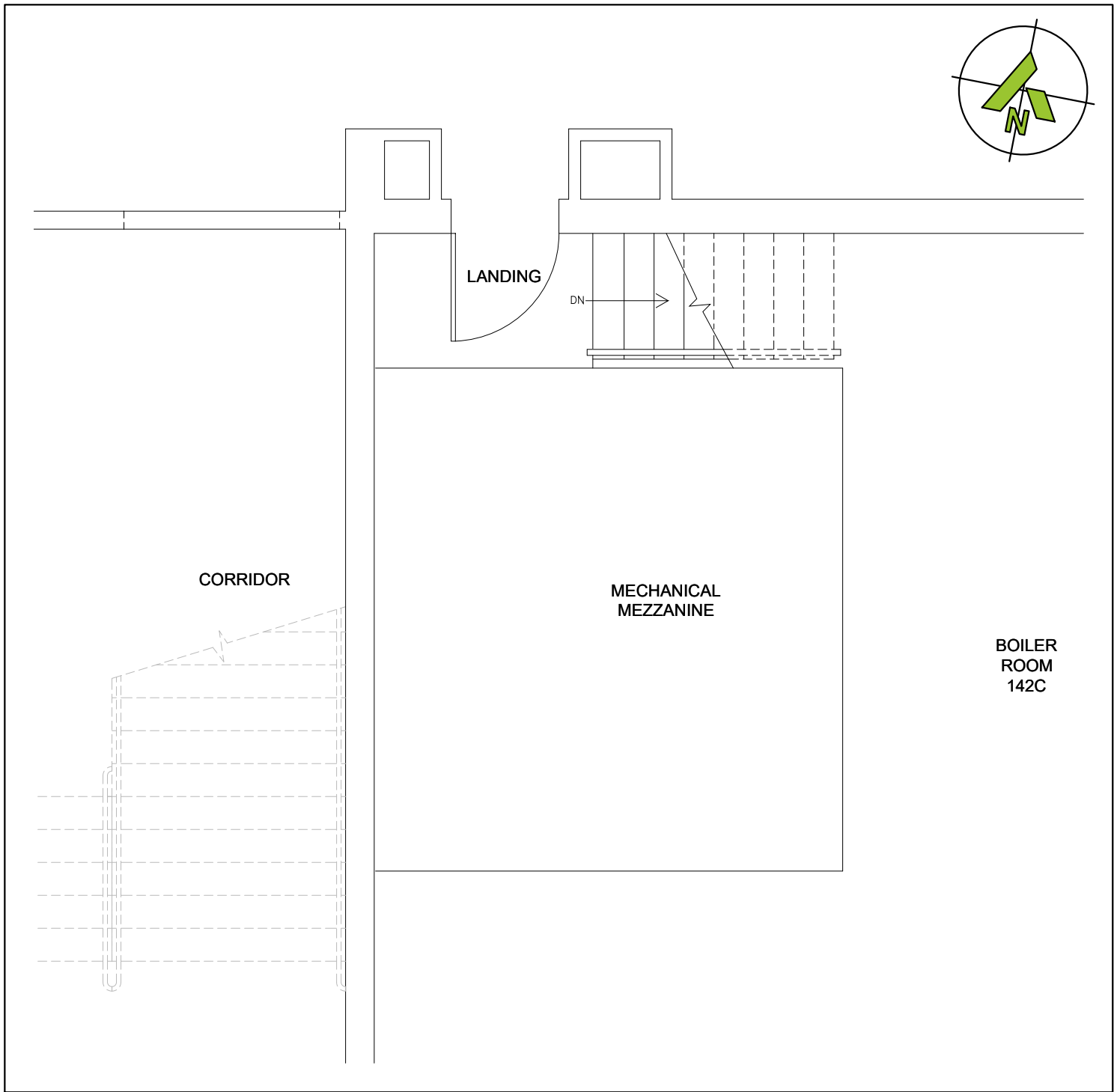
ELECTRICAL

DRAFTER: JB	SCALE: NTS
DESIGNER: SS	DATE: 2025-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	E-002

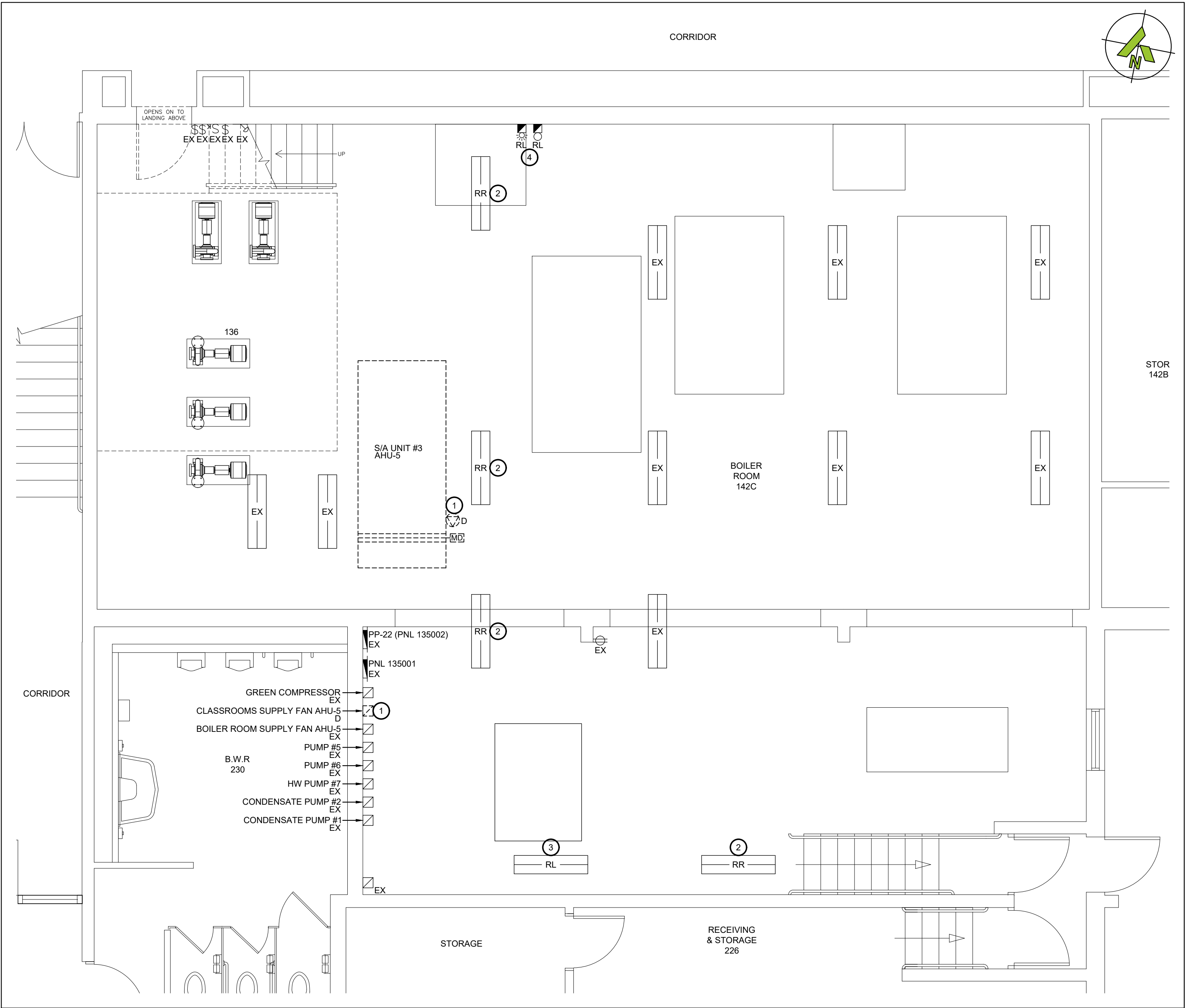
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KEY PLAN - LOWER LEVEL



1 BOILER ROOM 142C - MEZZANINE - DEMO LAYOUT
ED101 SCALE: 1/4"=1'



2 BOILER ROOM 142C - DEMO LAYOUT
ED101 SCALE: 1/4"=1'

- WORKING NOTES:
- DEMOLISH POWER AND STARTERS FOR AIR HANDLER BACK TO SOURCE.
 - DISCONNECT AND REMOVE CEILING DEVICES AS REQUIRED TO ALLOW DUCT REWORK TO SUIT MECHANICAL. RETAIN FOR REINSTALLATION.
 - RELOCATE EXISTING LIGHT TO NEW LOCATION TO SUIT NEW AIR HANDLER. EXTEND CONDUIT AND WIRING TO SUIT. EXACT LOCATION TO BE COORDINATED ON SITE.
 - RELOCATE EXISTING FIRE ALARM STROBE AND BELL INTERFERING WITH NEW DUCT WORK. COORDINATE FINAL LOCATION ON SITE. EXTEND CONDUIT AND WIRING TO SUIT FINAL LOCATION.

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1	2026-01-08	Issued for Tender	SS
0	2026-01-07	Issued for Pre-Tender Review	SS
No.	Date	Description	By

STAMPE:



ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

BOILER ROOM 142C
DEMOLITION LAYOUT

DISCIPLINE:

ELECTRICAL

DRAFTER:

JB

SCALE:

AS NOTED

DESIGNER:

SS

DATE:

2026-01-07

APPROVER:

LC

APPROVER:

PROJECT No:

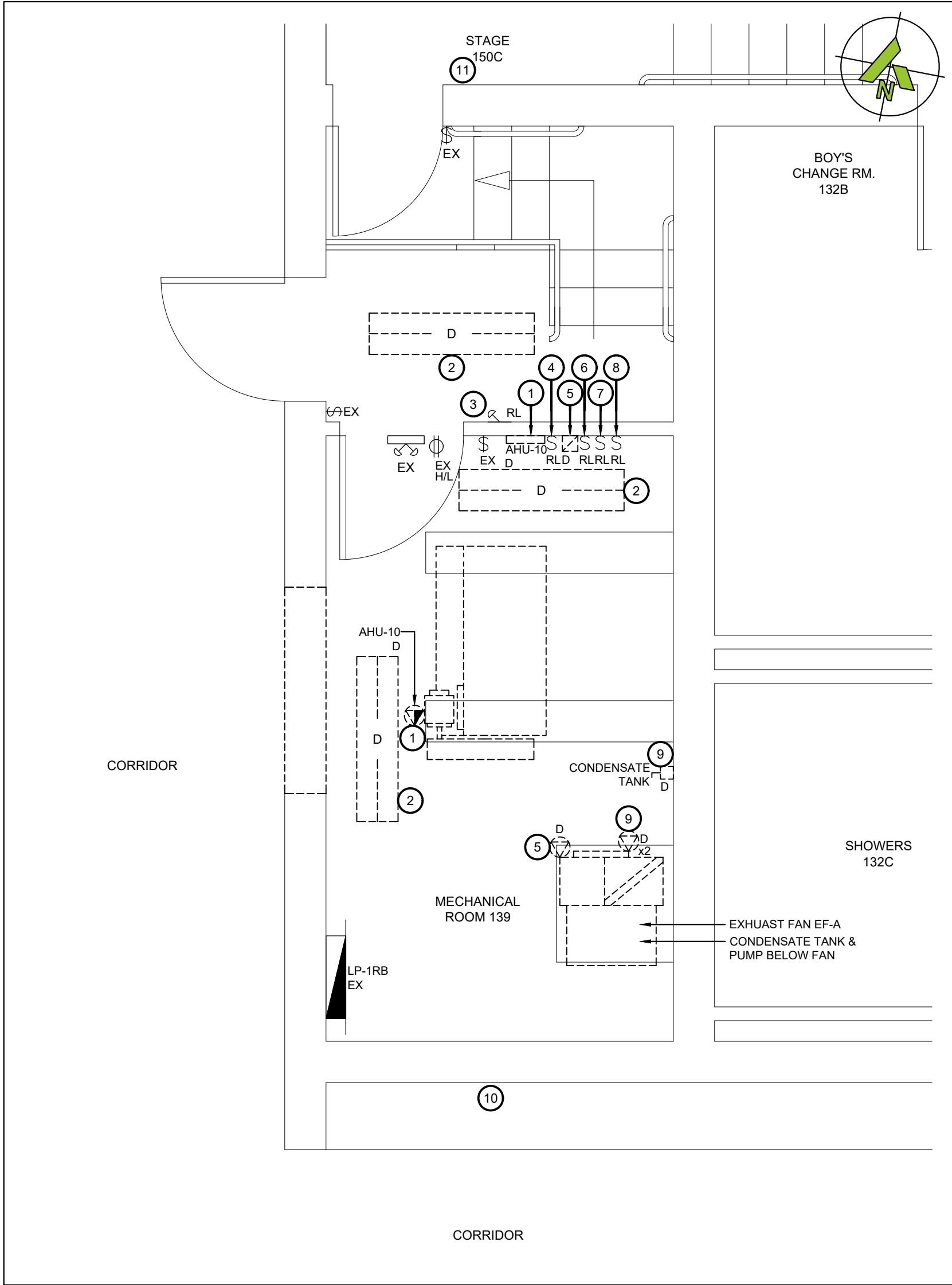
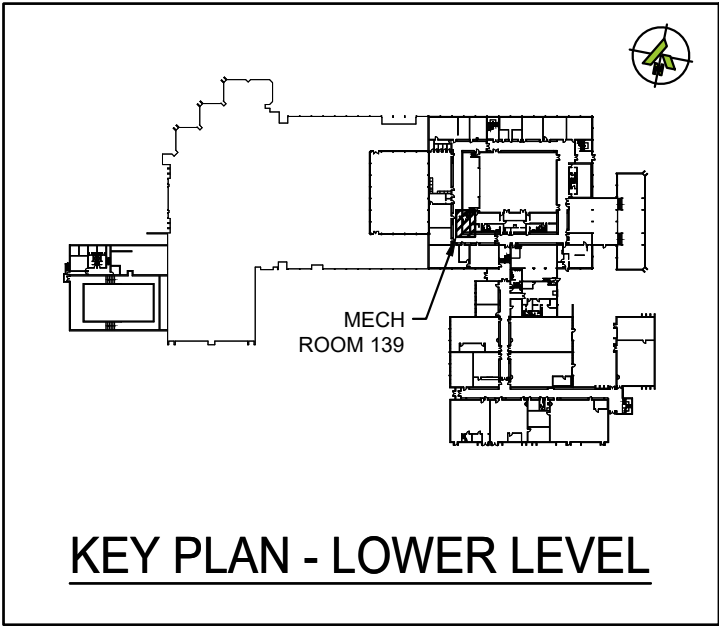
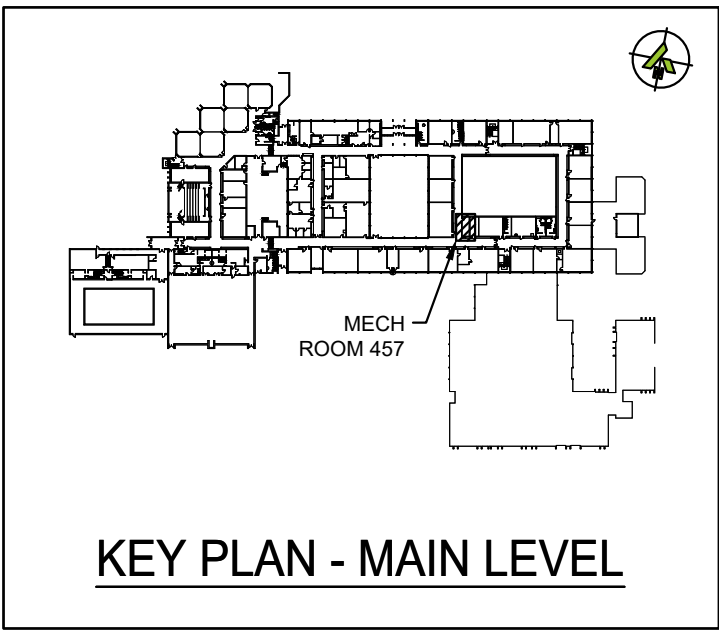
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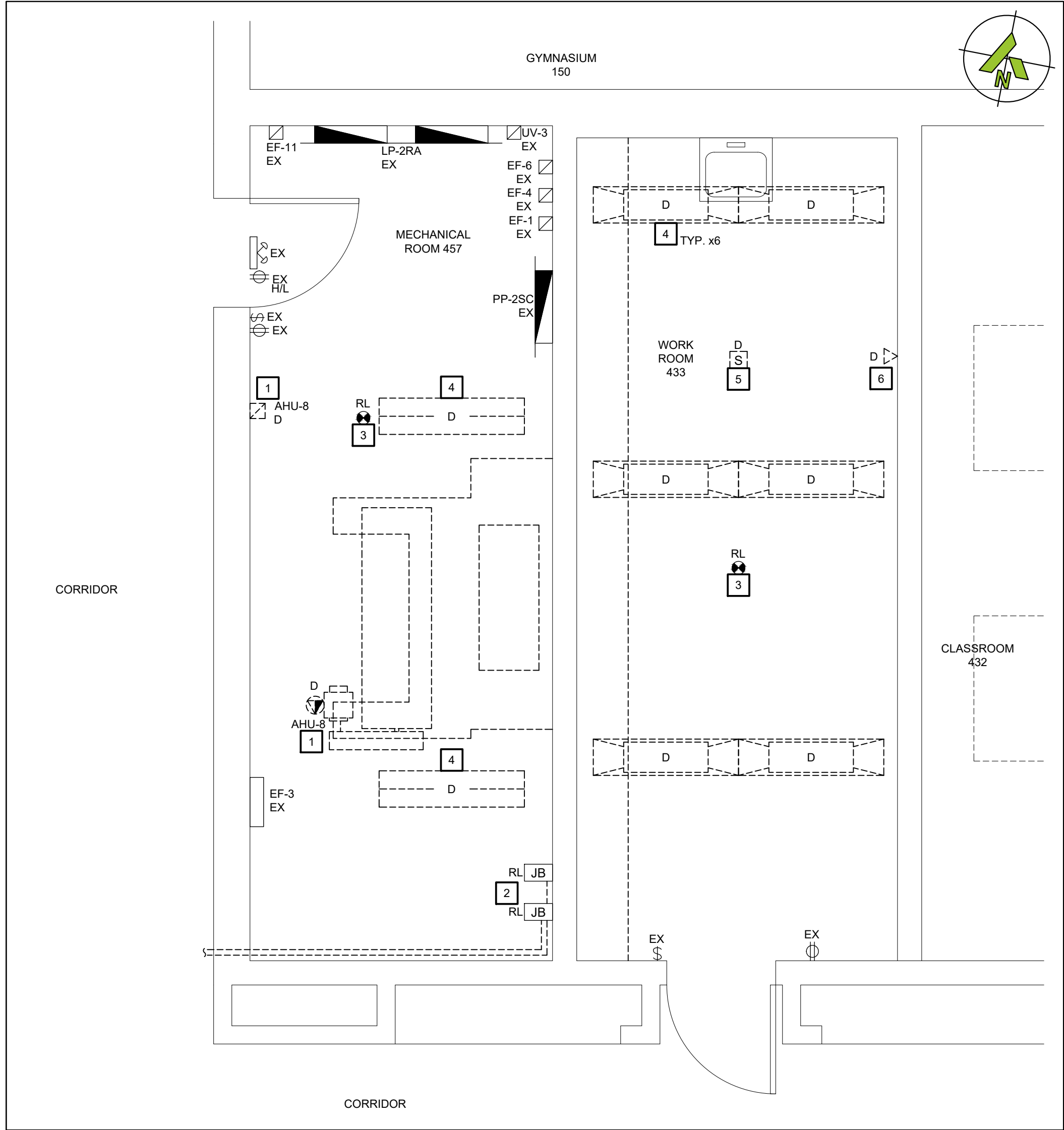
ED101

SHEET No:

3 of 14



1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT
SCALE: 3/8"=1'
ED102



2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT
SCALE: 3/8"=1'
ED102

- MECHANICAL ROOM 139 WORKING NOTES:**
- DEMOLISH AHU-10 CONTROLLER & POWER BACK TO PANEL LP-1J LOCATED IN CORRIDOR OUTSIDE OF MECHANICAL.
 - DEMOLISH EXISTING LIGHTING BACK TO SOURCE.
 - RELOCATE EXISTING REMOTE HEAD TO SUIT DUCT WORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
 - RELOCATE EXISTING AHU-8 SUPPLY FAN SWITCH TO SUIT MECHANICAL WORK.
 - DEMOLISH EXHAUST FAN 3A CONTROLS AND POWER BACK TO SOURCE.
 - RELOCATE EXHAUST FAN 13 GIRLS WASHROOM TO SUIT MECHANICAL WORK.
 - RELOCATE EXHAUST FAN CONTROL SWITCH FOR ROOM 445 TO SUIT MECHANICAL WORK.
 - CONTRACTOR TO INVESTIGATE AND TRACE EXISTING CONTROL SWITCH. ALLOW FOR RE-TAGGING AND RELOCATION TO SUIT MECHANICAL.
 - DEMOLISH CONDENSATE TANK AND PUMP POWER AND DISCONNECT BACK TO SOURCE.
 - REWORK FIRE ALARM CONDUIT INTERFERING WITH NEW DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
 - RELOCATE SECURITY CONDUIT FEED INTERFERING WITH DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.

- MECHANICAL ROOM 457 WORKING NOTES:**
- DEMOLISH AHU-8 CONTROLLER & POWER BACK TO PANEL LP-2G LOCATED IN CORRIDOR OUTSIDE OF MECHANICAL ROOM.
 - PULL BACK AND RELOCATE EXISTING COMMUNICATIONS, PA CONDUIT AND WIRE TO SUIT NEW MECHANICAL UNIT.
 - DISCONNECT AND REMOVE CEILING DEVICES AS REQUIRED TO ALLOW CEILING REMOVAL TO SUIT MECHANICAL WORK. RETAIN FOR REINSTALLATION.
 - DEMOLISH EXISTING LIGHTING BACK TO SOURCE.
 - DEMOLISH EXISTING CEILING SPEAKER BACK TO SOURCE.
 - DEMOLISH EXISTING DATA OUTLET BACK TO SOURCE.

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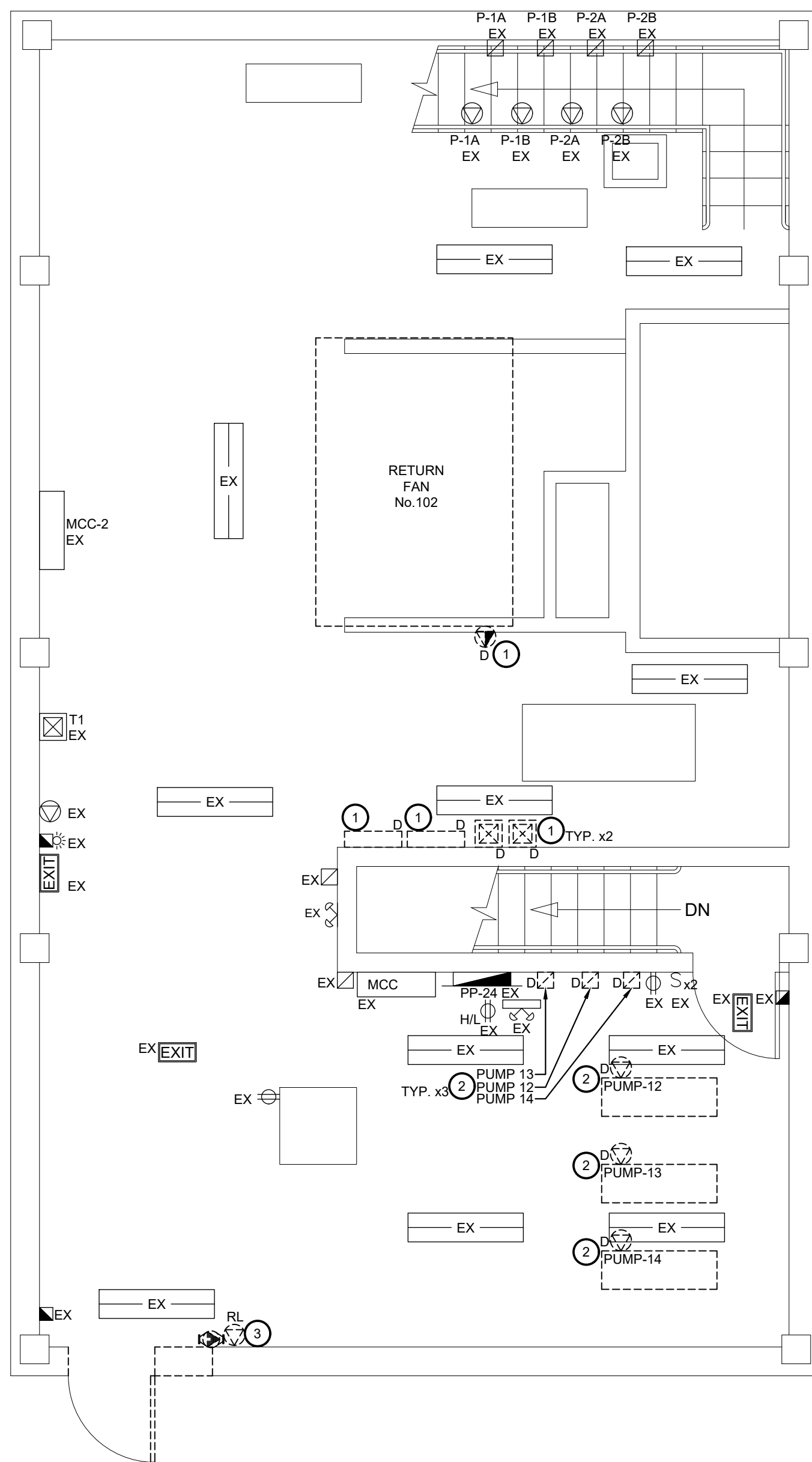


PROJECT NAME:
**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

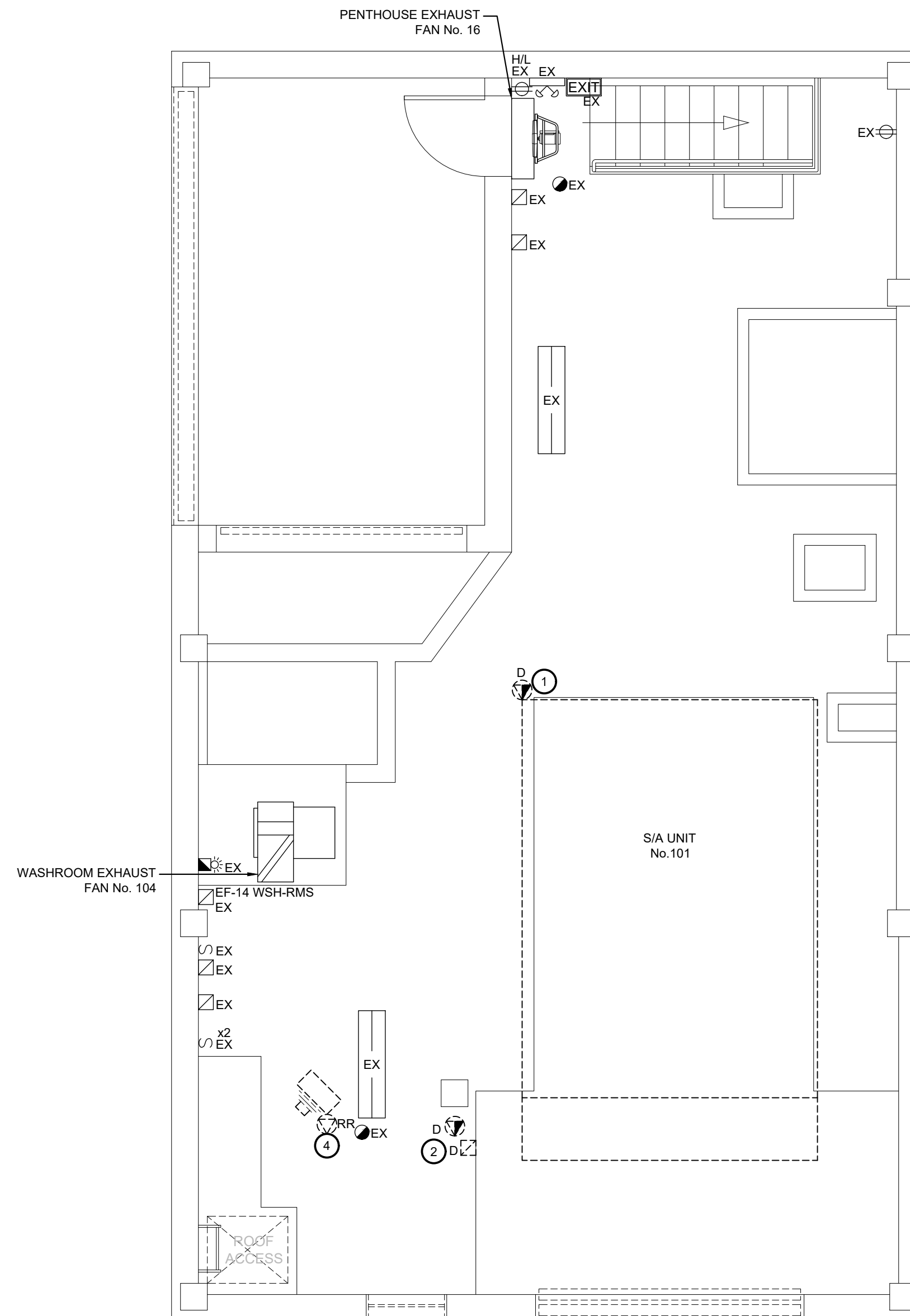
SHEET TITLE:
**MECHANICAL ROOMS
139A AND 457
DEMOLITION LAYOUT**

DISCIPLINE:
ELECTRICAL

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2025-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	ED102



1 PENTHOUSE - LOW LEVEL - DEMOLITION LAYOUT
ED103 SCALE: 1/4"=1'



2 PENTHOUSE - HIGH LEVEL - DEMOLITION LAYOUT
ED103 SCALE: 1/4"=1'

- WORKING NOTES:
- 1 DEMOLISH POWER AND STARTERS FOR AIR HANDLER BACK TO SOURCE.
 - 2 DEMOLISH POWER AND STARTERS FOR PUMP BACK TO SOURCE.
 - 3 RELOCATE CIRCULATING PUMP TO SUIT NEW DOOR OPENING. COORDINATE FINAL LOCATION WITH MECHANICAL. EXTEND CONDUIT AND WIRING TO SUIT FINAL LOCATION.
 - 4 UNIT HEATER TO BE REPLACED WITH NEW ON EXISTING CIRCUIT. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.

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No.	Date	Description	By

STAMPS



ENGINEER



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



SUBJECT NAME _____

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PENTHOUSE DEMOLITION LAYOUT

DISCIPLINE:

ELECTRICAL

AFTER:

AS NOTED

DESIGNER:

DATE: 0000 04 07

APPROVER:

C

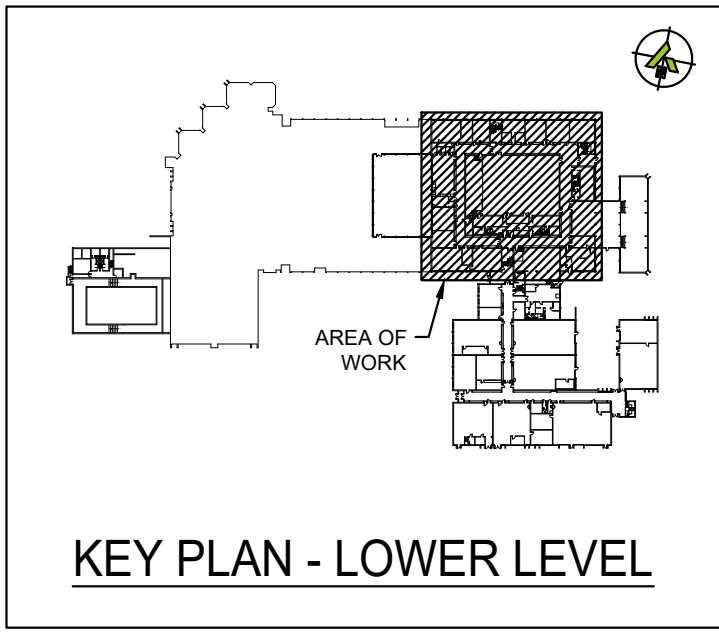
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PROJECT R

DRAWING NO:

100

5 of 14



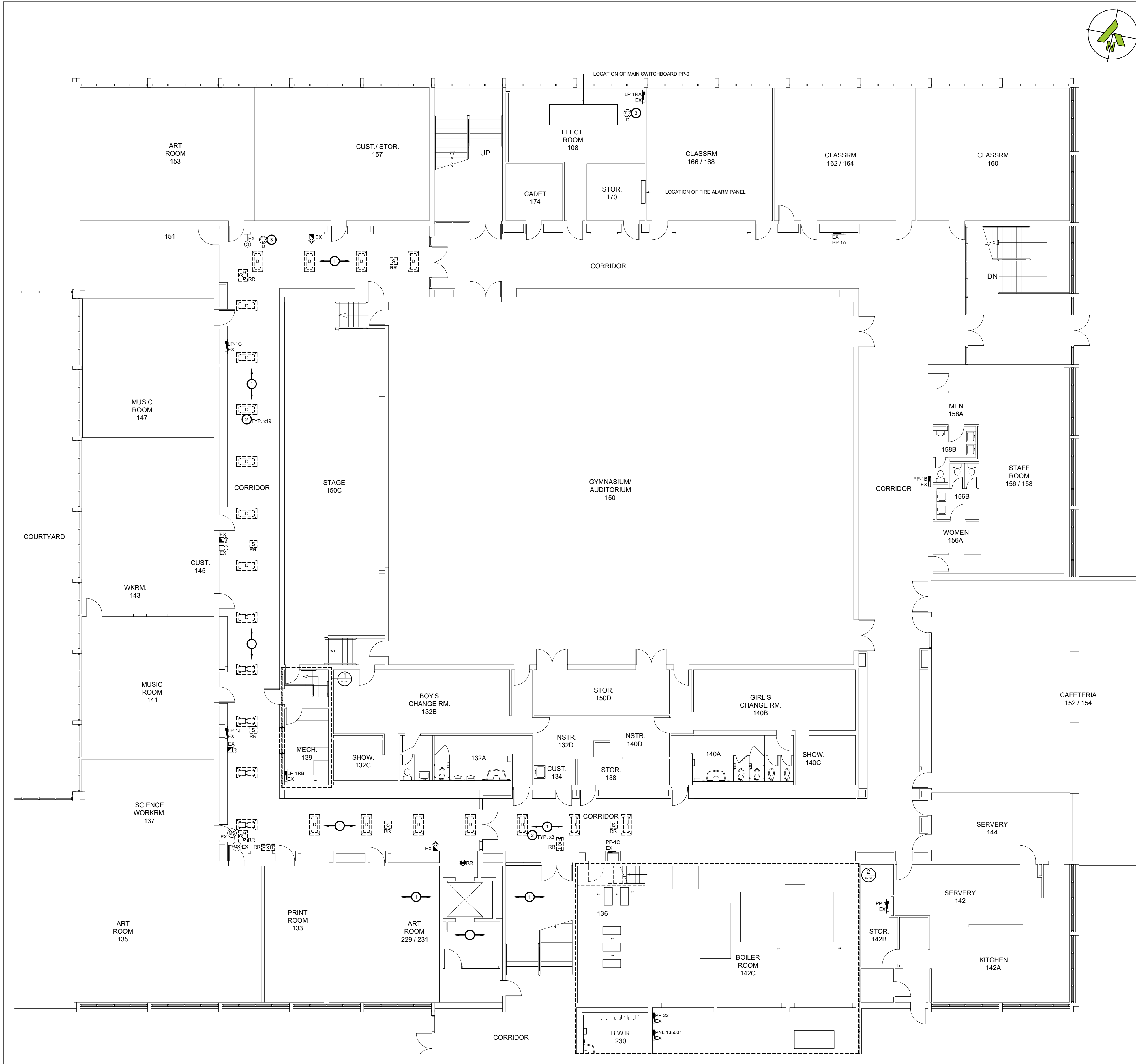
WORKING NOTES:

- 1 DISCONNECT AND REMOVE CEILING DEVICES TO SUIT MECHANICAL WORK AND RETAIN FOR REINSTALLATION. REINSTALL AFTER MECHANICAL WORK IS COMPLETE.
- 2 DEMOLISH EXISTING LUMINAIRE AND TURN OVER TO DDSB. RETAIN FEEDS FOR NEW LIGHTING.
- 3 DEMOLISH EXHAUST FAN ON ROOF BACK TO SOURCE.
- 4 TEMPORARILY DISCONNECT AND REMOVE ALL CEILING DEVICE TO SUIT MECHANICAL PIPING REWORK. RETAIN FOR REINSTALLATION AFTER MECHANICAL WORK IS COMPLETED.

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.



1 PARTIAL LOWER LEVEL - DEMOLITION LAYOUT
ED104 SCALE: 3/32"=1'

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CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL
DEMOLITION LAYOUT

DISCIPLINE:

ELECTRICAL

DRAFTER:

JB

SCALE:

AS NOTED

DESIGNER:

SS

DATE:

2026-01-07

APPROVER:

LC

APPROVER:

PROJECT No:

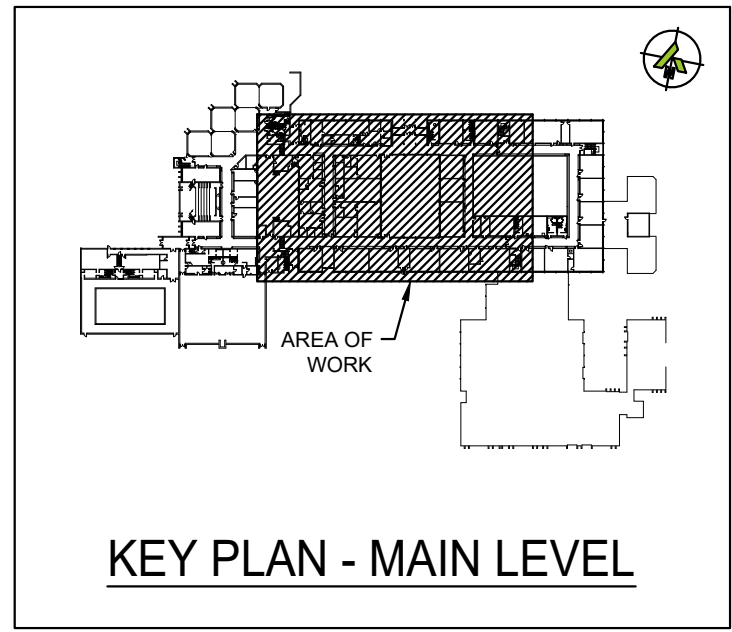
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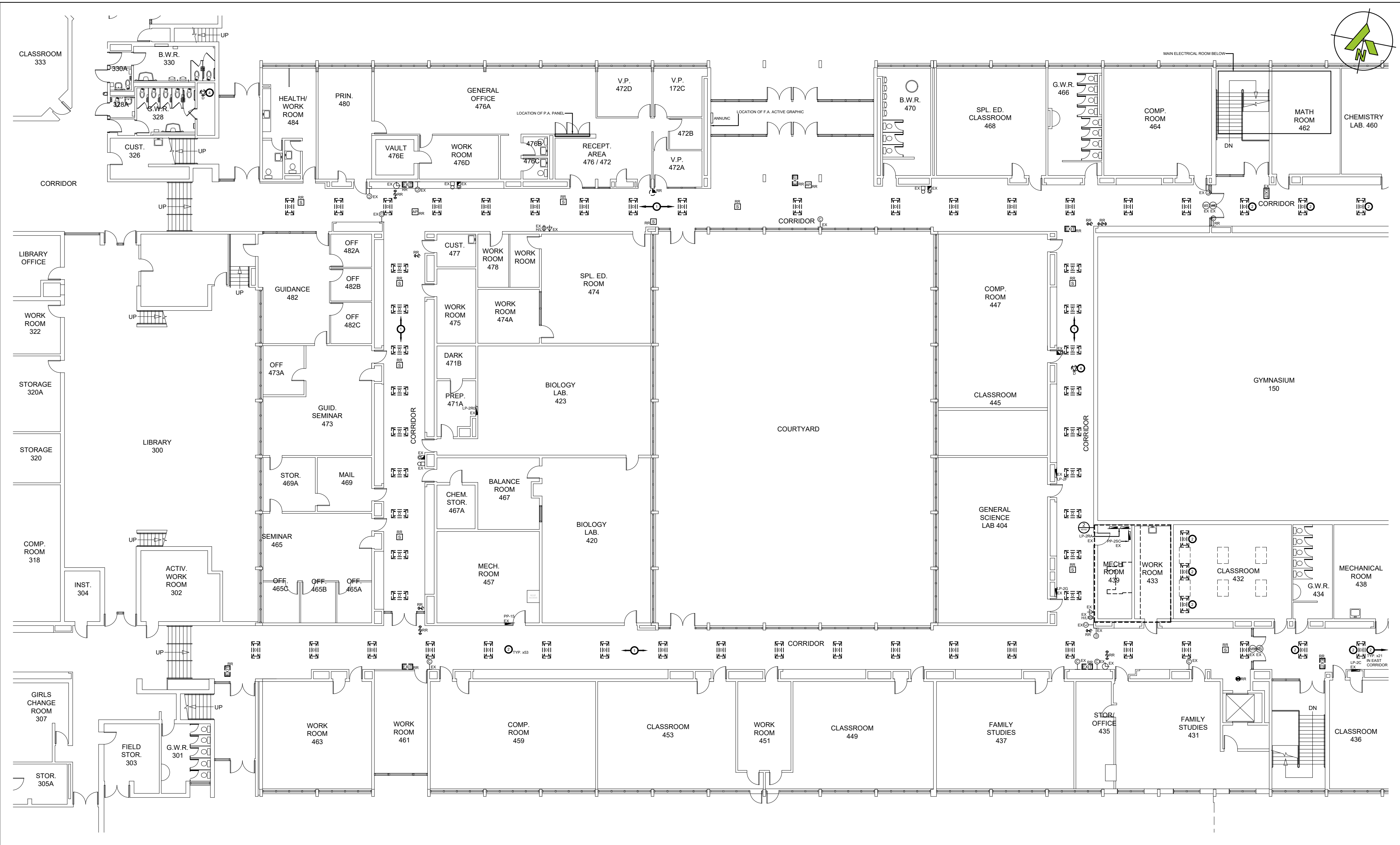
ED104

SHEET No:

6 of 14



- WORKING NOTES:**
1. DISCONNECT AND REMOVE CEILING DEVICES TO SUIT MECHANICAL WORK AND RETAIN FOR REINSTALLATION. REINSTALL AFTER MECHANICAL WORK IS COMPLETE.
 2. DEMOLISH EXISTING LUMINAIRE AND TURN OVER TO DDSB. RETAIN FEEDS FOR NEW LIGHTING.
 3. DEMOLISH EXHAUST FAN ON ROOF BACK TO SOURCE.
 4. DEMOLISH EXISTING CONDENSATE PUMP AND ASSOCIATED ACCESSORIES BACK TO SOURCE.
- OPTIONAL PRICES:**
- PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:
1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.



1 PARTIAL MAIN LEVEL - DEMOLITION LAYOUT
ED105 SCALE: 1/16"=1'

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PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

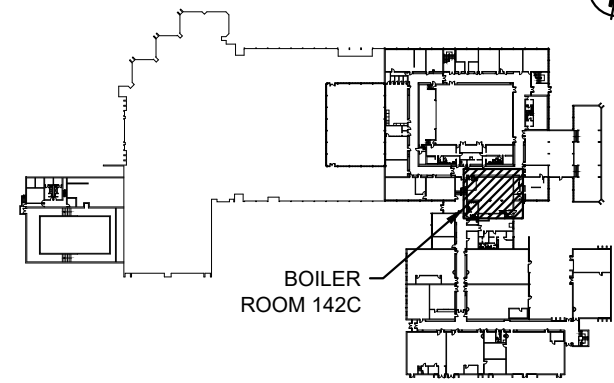
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PARTIAL MAIN LEVEL
DEMOLITION LAYOUT

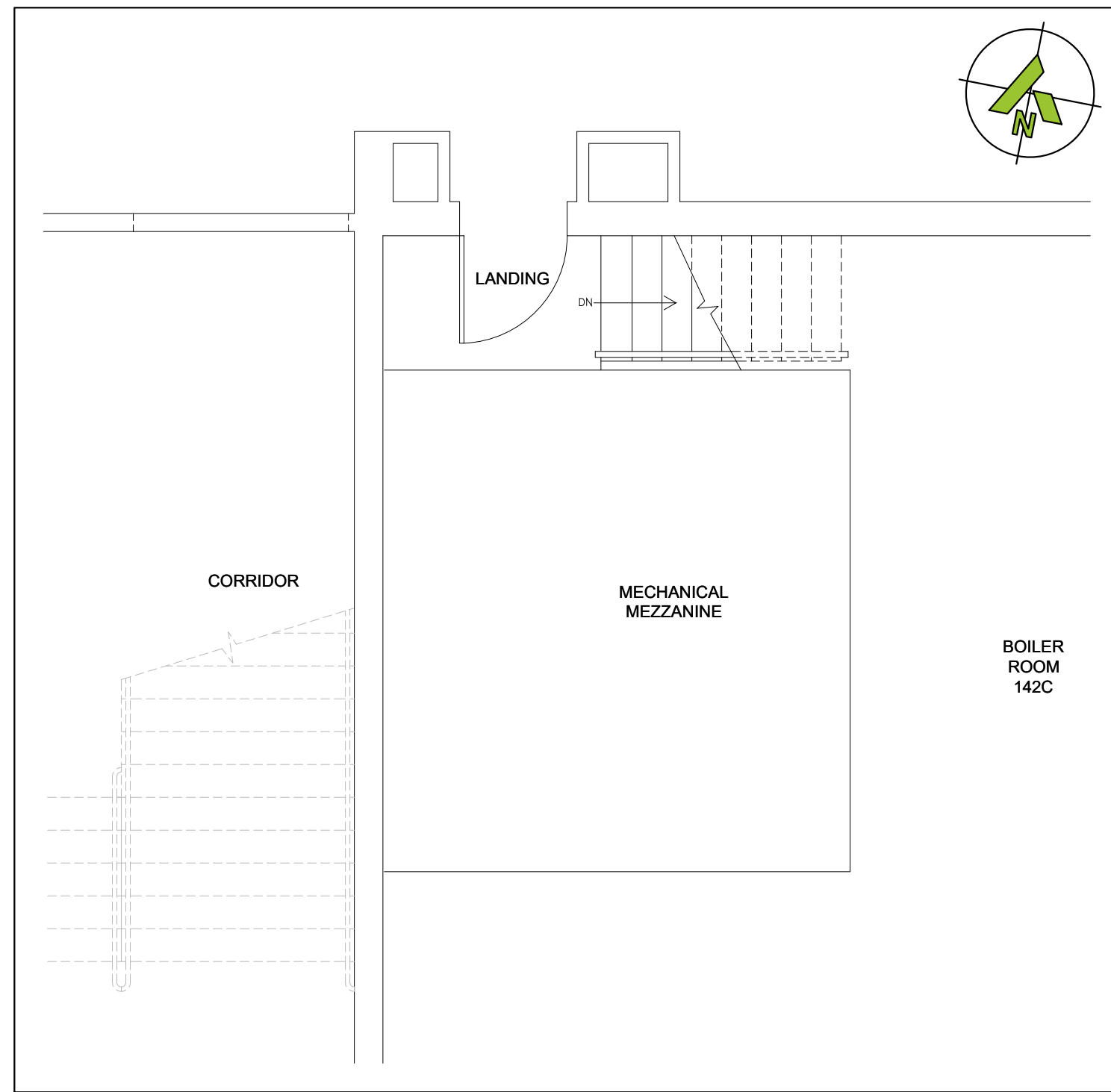
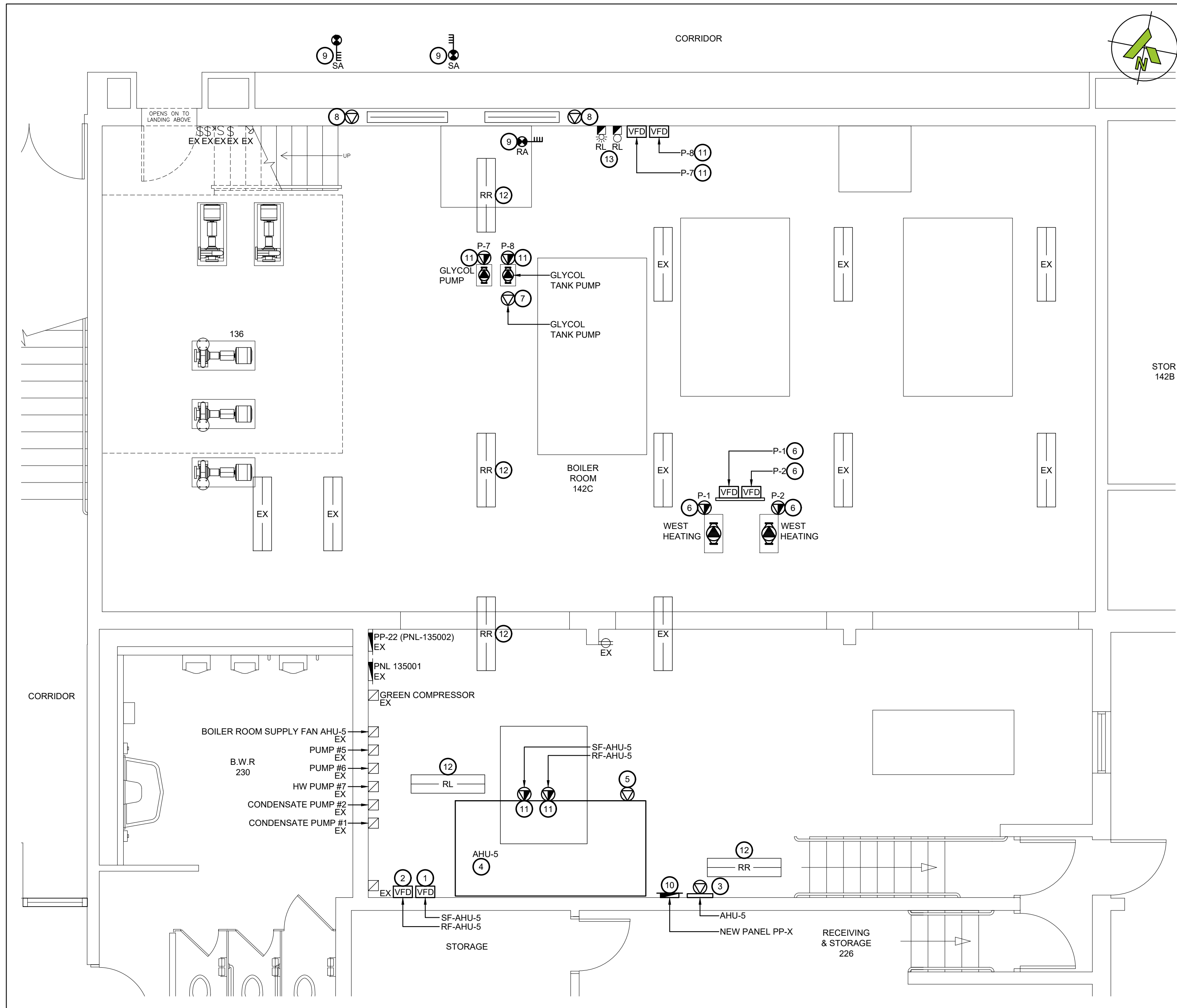
DISCIPLINE:

ELECTRICAL

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2025-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	ED105



KEY PLAN - LOWER LEVEL

**1** BOILER ROOM 142C - MEZZANINE - NEW LAYOUT
E-101 SCALE: 1/4"=1'**2** BOILER ROOM 142C - NEW LAYOUT
E-101 SCALE: 1/4"=1'

WORKING NOTES:

- VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SF. PROVIDE NEW POWER FED FROM NEW PANEL TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#8 CU + #6 GND IN 1".
- VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RF. PROVIDE NEW POWER FED FROM NEW PANEL TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
- PROVIDE 120V POWER FOR BAS CONTROL PANEL FROM NEW PANEL. COORDINATE FINAL LOCATION WITH MECHANICAL CONTRACTOR.
- TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
- PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FROM NEW PANEL. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
- VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR WEST HEATING PUMP. PROVIDE NEW POWER FED FROM PANEL TO VFD AND VFD TO FINAL PUMP LOCATION. FEED WITH 3#6AWG CU + #6 GND IN 1.5".
- PROVIDE 120V POWER FOR GLYCOL TANK PUMP C/W ISOLATION SWITCH. ALLOW FOR RECEPTACLE FOR CONNECTION. COORDINATE FINAL LOCATION WITH MECHANICAL CONTRACTOR.
- PROVIDE 120V POWER FOR SMOKE FIRE DAMPERS FROM NEW PANEL. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E501.
- PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONE AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
- PROVIDE NEW 120/208V PANEL C/W NEW FEEDER FROM SQUARE D MAIN SWITCHBOARD PP-0, ON NEW 200A-3P BREAKER. FEED WITH 4#3/0AWG + GND IN 2.5".
- VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR GLYCOL PUMP. PROVIDE NEW POWER FED FROM NEW PANEL TO VFD AND FROM VFD TO FINAL PUMP LOCATION. FEED WITH 3#10AWG CU + #6 GND IN 3/4".
- REINSTALL RETAINED CEILING DEVICES.
- RELOCATE EXISTING FIRE ALARM STROBE AND BELL INTERFERING WITH NEW DUCT WORK. COORDINATE FINAL LOCATION ON SITE. EXTEND CONDUIT AND WIRING TO SUIT FINAL LOCATION.

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ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

BOILER ROOM 142C
NEW LAYOUT

DISCIPLINE:

ELECTRICAL

DRAFTER:

JB

DESIGNER:

SS

APPROVER:

LC

PROJECT No:

A0001060

SHEET No:

8 of 14

SCALE:

AS NOTED

DATE:

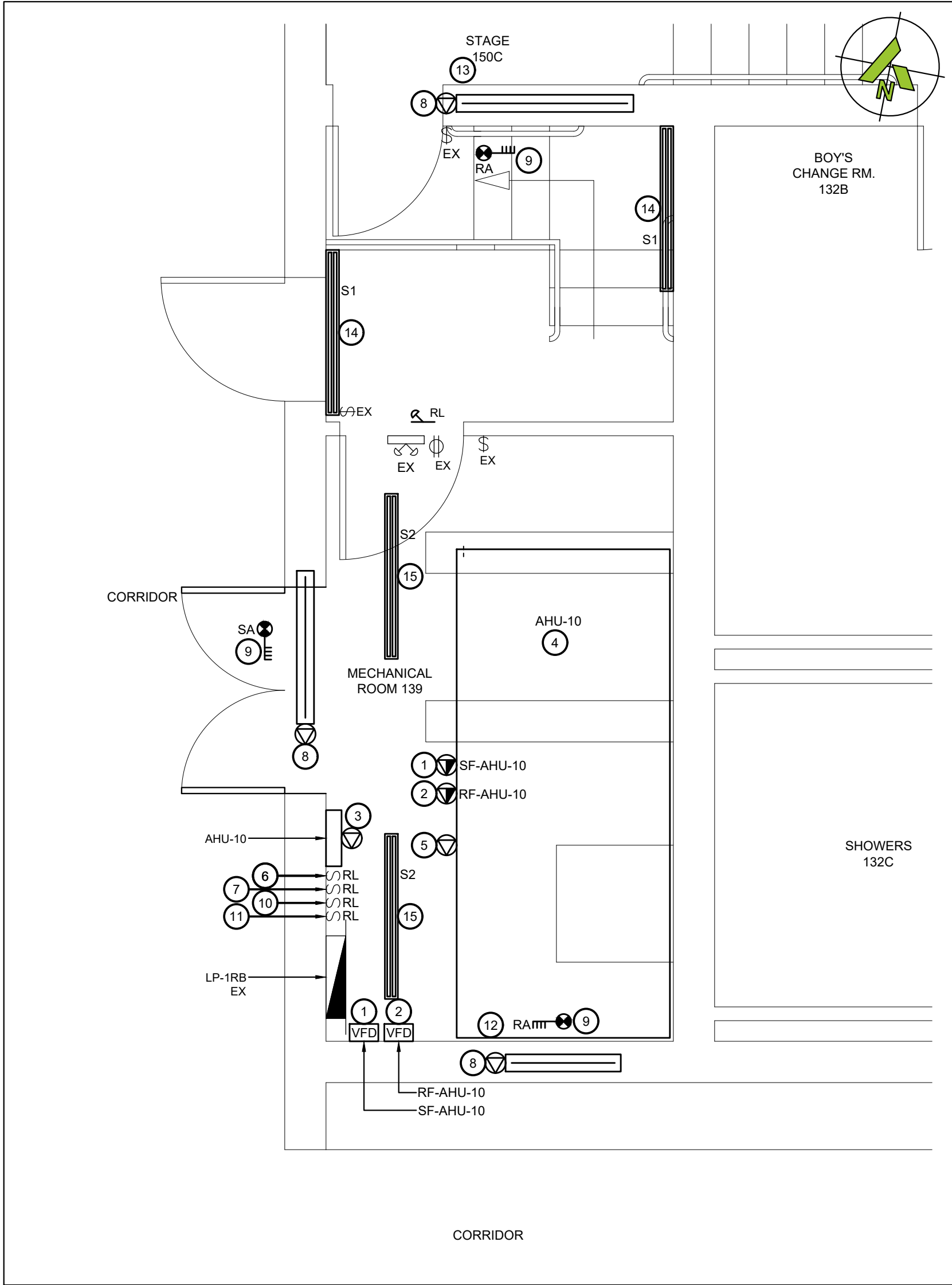
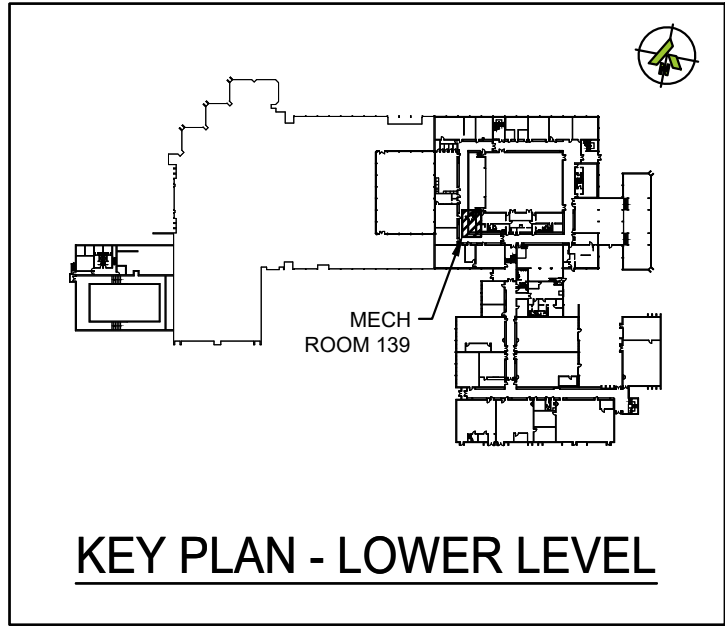
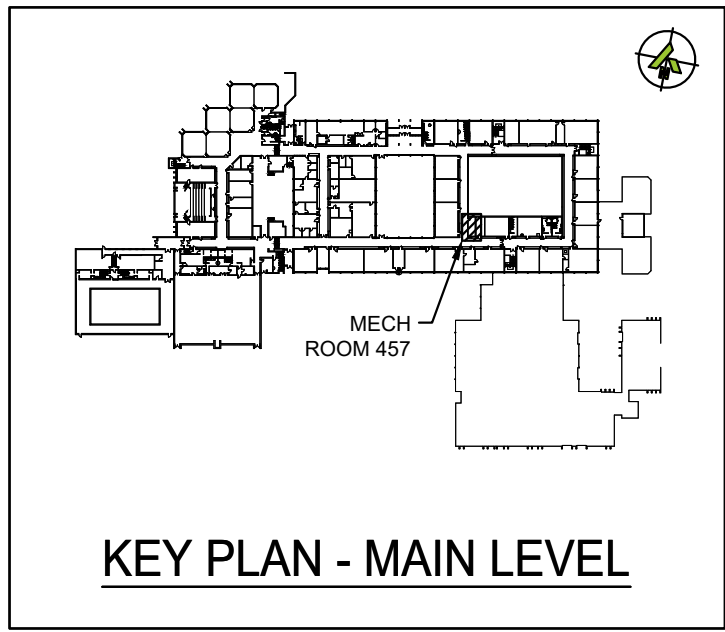
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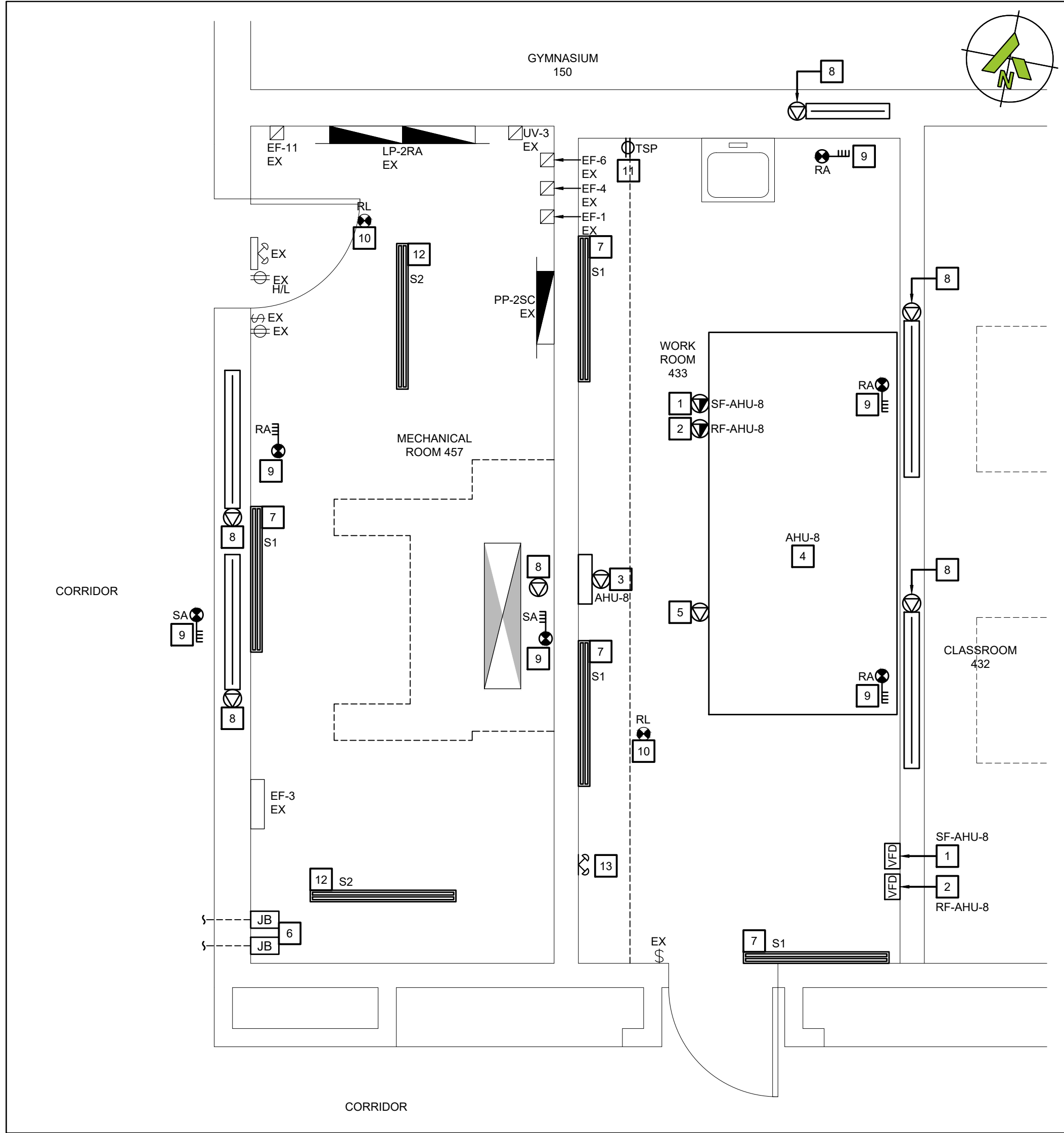
APPROVER:

DRAWING No:

E-101



1 MECHANICAL ROOM 139 - DEMOLITION LAYOUT
SCALE: 3/8"=1'



2 MECHANICAL ROOM 457 - DEMOLITION LAYOUT
SCALE: 3/8"=1'

- MECHANICAL ROOM 139 WORKING NOTES:**
- VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SF. PROVIDE NEW POWER FED FROM LP-1RB TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
 - VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RF. PROVIDE NEW POWER FED FROM LP-1RB TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
 - PROVIDE 120V POWER FOR BAS CONTROL PANEL FED FROM LP-1RB. COORDINATE FINAL LOCATION WITH MECHANICAL CONTRACTOR.
 - TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
 - PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FED FROM LP-1RB. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
 - RELOCATE EXISTING AHU-8 SUPPLY FAN SWITCH TO SUIT MECHANICAL WORK.
 - RELOCATE EXHAUST FAN 13 GIRLS WASHROOM TO SUIT MECHANICAL WORK.
 - PROVIDE 120V POWER FOR SMOKE FIRE DAMPERS FROM LP-1RB. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E-501.
 - PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONE AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
 - RELOCATE EXHAUST FAN CONTROL SWITCH FOR ROOM 445 TO SUIT MECHANICAL WORK.
 - CONTRACTOR TO INVESTIGATE AND TRACE EXISTING CONTROL SWITCH. ALLOW FOR RE-TAGGING AND RELOCATION TO SUIT MECHANICAL.
 - REWORK FIRE ALARM CONDUIT INTERFERING WITH NEW DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
 - RELOCATE SECURITY CONDUIT FEED INTERFERING WITH DUCTWORK. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
 - PROVIDE NEW WALL MOUNTED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.
 - PROVIDE NEW SUSPENDED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.

- MECHANICAL ROOM 457 WORKING NOTES:**
- VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SF. PROVIDE NEW POWER FED FROM PP-2SC TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
 - VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RF. PROVIDE NEW POWER FED FROM PP-2SC TO VFD AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4".
 - PROVIDE 120V POWER FOR BAS CONTROL PANEL FED FROM LP-2RA. COORDINATE WITH MECHANICAL CONTRACTOR.
 - TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
 - PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FED FROM LP-2RA. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
 - PULL BACK AND RELOCATE EXISTING COMMUNICATIONS, PA CONDUIT AND WIRE TO SUIT NEW MECHANICAL UNIT.
 - PROVIDE NEW WALL MOUNTED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.
 - PROVIDE 120V POWER FOR SMOKE FIRE DAMPERS FROM LP-2RA. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E-501.
 - PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONE AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
 - INSTALL RETAINED CEILING DEVICE AT NEW LOCATION.
 - PROVIDE NEW RECEPTACLE AS NOTED FED FROM LP-2RA.
 - PROVIDE NEW SUSPENDED FIXTURE. CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL RETAINED FROM DEMOLITION.
 - PROVIDE NEW REMOTE HEAD CONNECTED TO EXISTING BATTERY UNIT IN MECHANICAL ROOM 457. CONTRACTOR TO VERIFY EXISTING VOLTAGE ON SITE.

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ENGINEER:

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415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

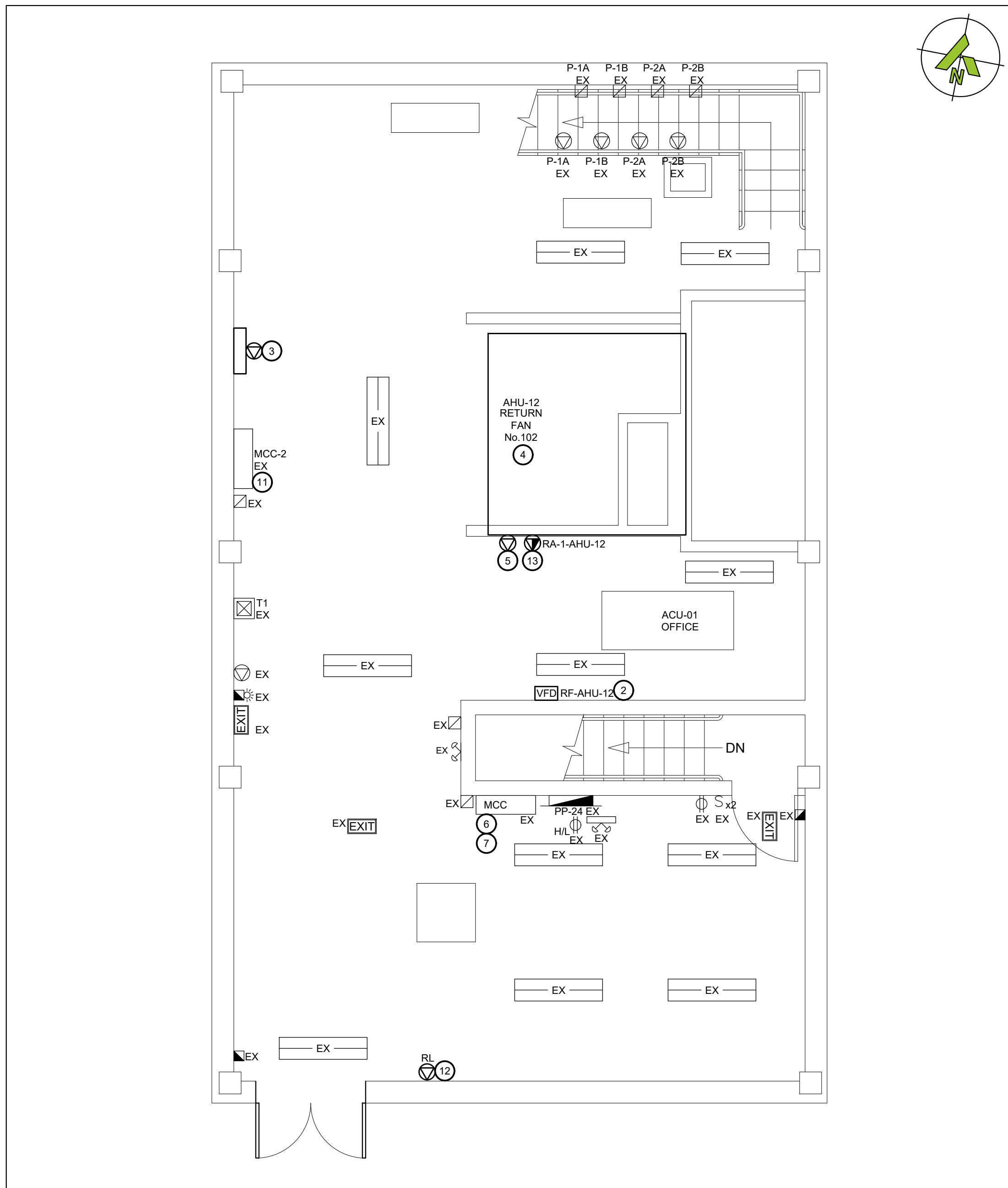
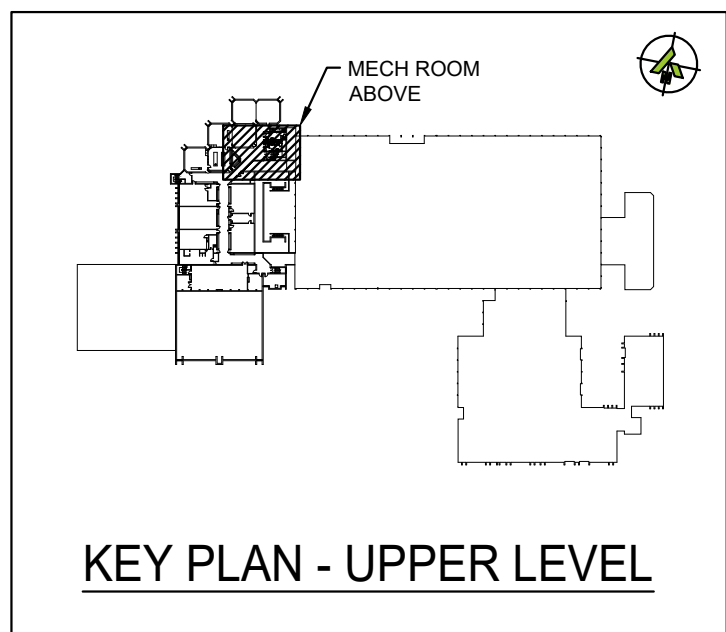
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**MECHANICAL ROOMS
139A AND 457
NEW LAYOUT**

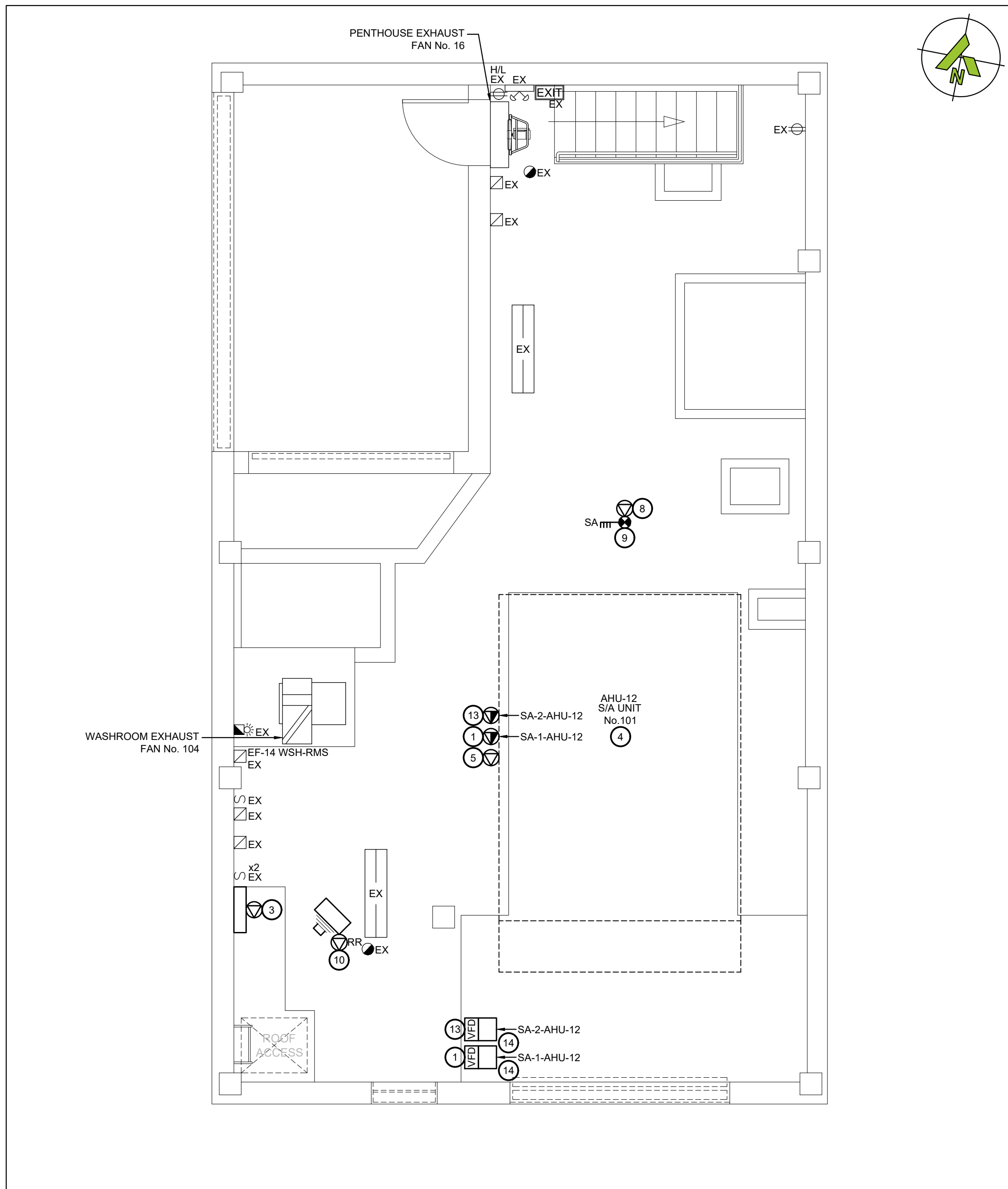
DISCIPLINE:

ELECTRICAL

DRAFTER: JB	SCALE: AS NOTED
DESIGNER: SS	DATE: 2026-01-07
APPROVER: LC	APPROVER:
PROJECT No: A0001060	DRAWING No:
SHEET No:	E-102



1 PENTHOUSE - LOW LEVEL - NEW LAYOUT
E-103 SCALE: 1/4"=1'



2 PENTHOUSE - HIGH LEVEL - NEW LAYOUT
E-103 SCALE: 1/4"=1'

WORKING NOTES:

- 1 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SUPPLY FAN 1. PROVIDE NEW POWER FED FROM MCC TO HARMONIC FILTER, FROM HARMONIC FILTER TO VFD, AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#6 CU + #1 GND IN 2" C. COORDINATE FINAL LOCATION AND WALL MOUNTING ARRANGEMENT WITH MECHANICAL ON SITE.
- 2 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR RETURN FAN 1. PROVIDE NEW POWER FED FROM MCC TO HARMONIC FILTER, FROM HARMONIC FILTER TO VFD, AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#10 CU + #10 GND IN 3/4" C. COORDINATE FINAL LOCATION AND WALL MOUNTING ARRANGEMENT WITH MECHANICAL ON SITE.
- 3 PROVIDE 120V POWER FOR BAS CONTROL PANEL FED FROM PP-24. COORDINATE WITH MECHANICAL CONTRACTOR.
- 4 TIE NEW AHU INTO FIRE ALARM CONTROL PANEL FOR FAN SHUT DOWN.
- 5 PROVIDE 120V POWER FOR AHU LIGHTING AND RECEPTACLES FED FROM PP-24. ALLOW FOR INTERLOCK WIRING BETWEEN UNITS. COORDINATE WITH MECHANICAL CONTRACTOR.
- 6 PROVIDE NEW 125A/125AF FUSIBLE DISCONNECT ONLY BUCKET INSIDE MCC TO REPLACE EXISTING COMBINATION STARTER/DISCONNECT FOR AHU-12 SUPPLY FAN 1. EXISTING MCC IS A SIEMENS TIASTAR STYLE 89DS92662001.
- 7 PROVIDE NEW 60A/30AF FUSIBLE DISCONNECT ONLY BUCKET INSIDE MCC TO REPLACE EXISTING DISCONNECT FOR AHU-12 RETURN FAN. EXISTING MCC IS A SIEMENS TIASTAR STYLE 89DS92662001.
- 8 PROVIDE 120V POWER FOR FIRE SMOKE DAMPERS FROM PP-24. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. REFER TO DUCT SMOKE CONTROL DETAIL ON DRAWING E-501.
- 9 PROVIDE NEW DUCT DETECTOR IN SUPPLY DUCT C/W NEW DEDICATED FIRE ALARM ZONE FOR FAN SHUTDOWN. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
- 10 UNIT HEATER TO BE REPLACED WITH NEW ON EXISTING CIRCUIT. ALLOW FOR EXTENSION OF CONDUIT AND WIRING TO SUIT.
- 11 PROVIDE NEW 125A/125AF FUSIBLE DISCONNECT ONLY BUCKET INSIDE MCC-2 IN EMPTY SECTION FOR AHU-12 SUPPLY FAN. EXISTING MCC IS A SIEMENS TIASTAR STYLE 89DS92662001.
- 12 RELOCATE CIRCULATING PUMP TO SUIT NEW DOOR OPENING. COORDINATE FINAL LOCATION WITH MECHANICAL. EXTEND CONDUIT AND WIRING TO SUIT FINAL LOCATION.
- 13 VFD SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR FOR SUPPLY FAN 2. PROVIDE NEW POWER FEED FROM MCC TO HARMONIC FILTER, FROM HARMONIC FILTER TO VFD, AND FROM VFD TO JUNCTION BOX MOUNTED ON UNIT. FEED WITH 3#1 CU + #6AWG IN 2" C. COORDINATE FINAL LOCATION AND WALL MOUNTING ARRANGEMENT WITH MECHANICAL ON SITE.
- 14 HARMONIC FILTERS MOUNTED BELOW VFDS. COORDINATE WITH MECHANICAL FOR UNISTRUT MOUNTING SUCH THAT FACES OF VFD AND HARMONIC FILTERS ARE FLUSH WITH EACH OTHER.

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1	2026-01-08	Issued for Tender	SS
0	2026-01-07	Issued for Pre-Tender Review	SS
No.	Date	Description	By

STAMPE:



ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

**DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1**
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

**PENTHOUSE
NEW LAYOUT**

DISCIPLINE:

ELECTRICAL

DRAFTER:

JB

DESIGNER:

SS

APPROVER:

LC

PROJECT No:

A0001060

SHEET No:

10 of 14

SCALE:

AS NOTED

DATE:

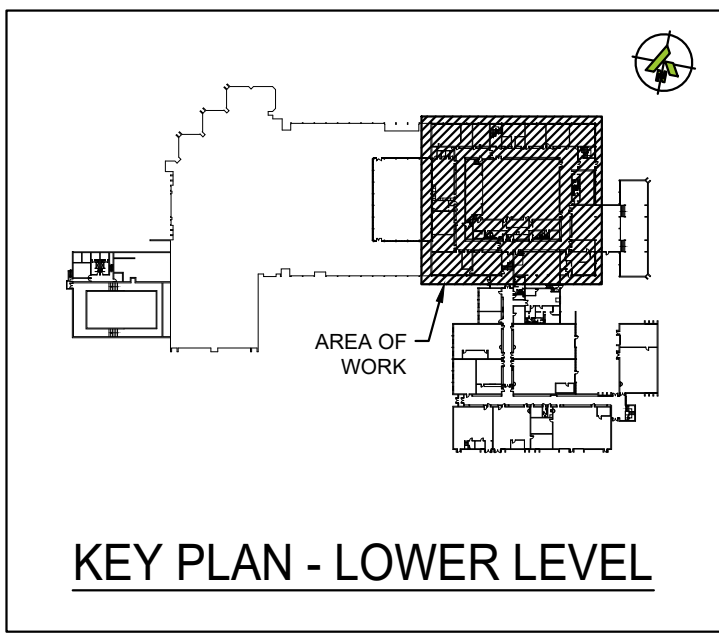
2026-01-07

APPROVER:

APPROVER:

DRAWING No:

E-103



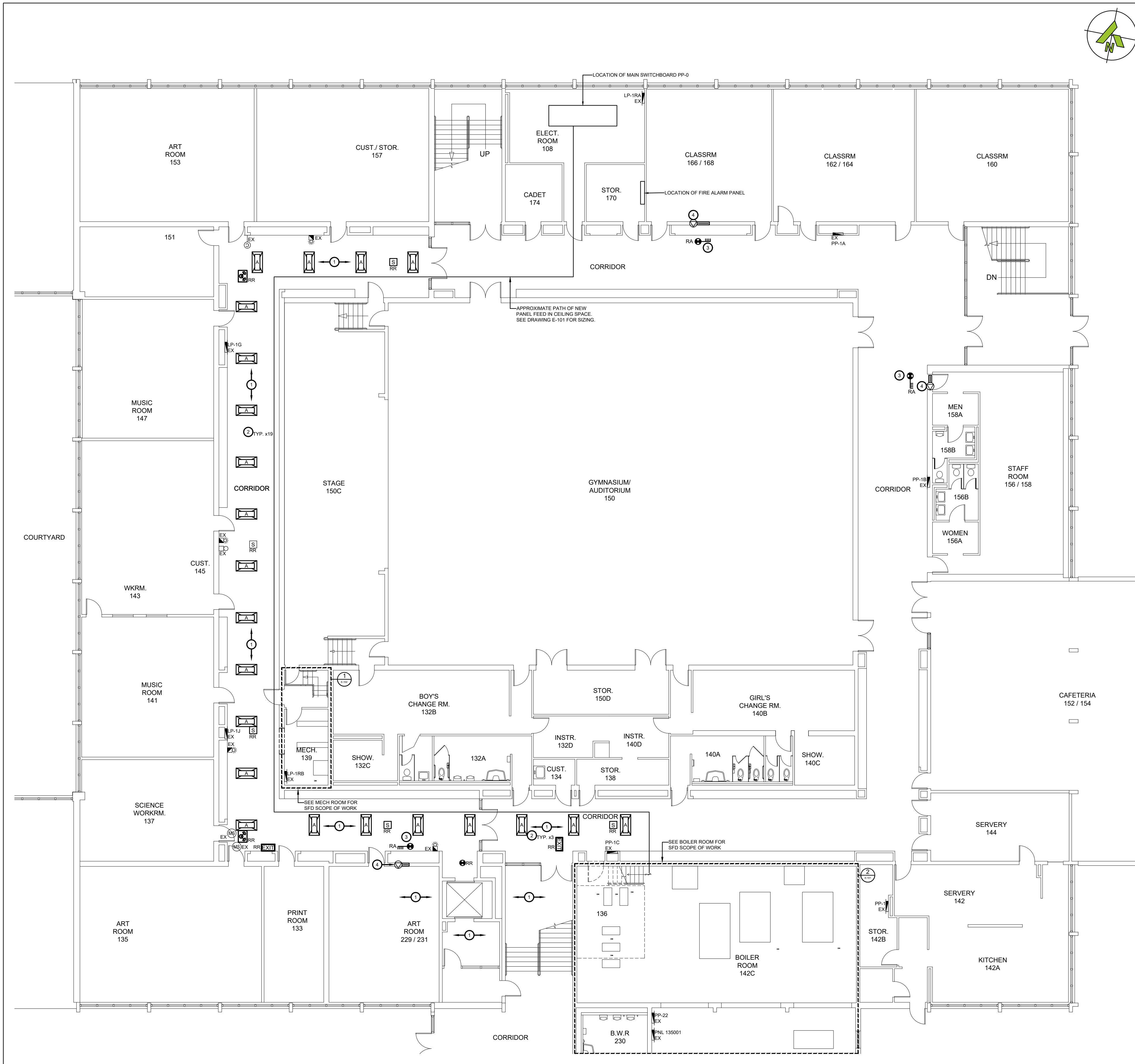
WORKING NOTES:

1. INSTALL ALL RETAINED CEILING DEVICES ONTO NEW CEILING.
2. PROVIDE NEW LED CORRIDOR FIXTURES. REUSE RETAINED CIRCUITING FROM DEMOLITION. EXTEND CONDUIT AND WIRING TO SUIT.
3. PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONES AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
4. PROVIDE 120V POWER FOR SMOKE DAMPERS FROM PANEL LP-2RA C/W NEW 20A BREAKER C/W LOCK ON DEVICE. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. COORDINATE WITH MECHANICAL CONTRACTOR.

OPTIONAL PRICES:

PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:

1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.



1 PARTIAL LOWER LEVEL - NEW LAYOUT
E-104 SCALE: 3/32"=1'

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ENGINEER:

CIMA+
T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PARTIAL LOWER LEVEL
NEW LAYOUT

DISCIPLINE:

ELECTRICAL

DRAFTER:

JB

SCALE:

AS NOTED

DESIGNER:

SS

DATE:

2025-01-07

APPROVER:

LC

APPROVER:

PROJECT No:

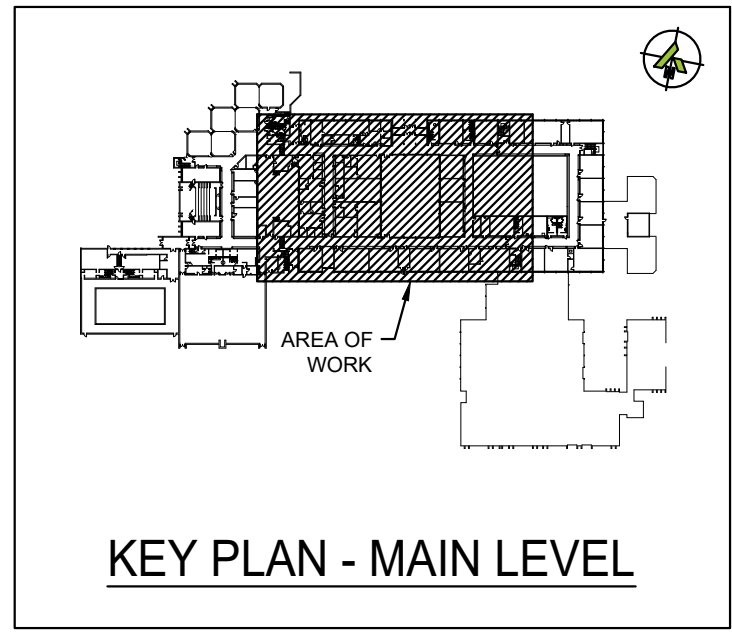
A0001060

DRAWING No:

E-104

SHEET No:

11 of 14



- WORKING NOTES:**
1. INSTALL ALL RETAINED CEILING DEVICES ONTO NEW CEILING.
 2. PROVIDE NEW LED CORRIDOR FIXTURES. REUSE RETAINED CIRCUITING FROM DEMOLITION. EXTEND CONDUIT AND WIRING TO SUIT.
 3. PROVIDE NEW DUCT SMOKE DETECTOR IN DUCT C/W NEW DEDICATED FIRE ALARM ZONES AND DEDICATED MONITOR/RELAY MODULE FOR CONTROL OF FIRE DAMPERS. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR AND INSTALL AS PER CAN/ULC-S524 REQUIREMENTS.
 4. PROVIDE 120V POWER FOR SMOKE DAMPERS FROM PANEL LP-2RA C/W NEW 20A BREAKER C/W LOCK ON DEVICE. TIE INTO DUCT SMOKE DETECTOR FOR CONTROL. COORDINATE WITH MECHANICAL CONTRACTOR.
 5. PROVIDE NEW DIMMER SWITCH IN LINE WITH EXISTING SWITCHES FOR NEW FLAT PANEL LED FIXTURES AS INDICATED.
 6. PROVIDE NEW FLAT PANEL LED FIXTURE. REUSE CIRCUITING RETAINED FROM DEMOLITION AND CONNECT TO NEW DIMMER SWITCH.

- OPTIONAL PRICES:**
- PROVIDE THE FOLLOWING SCOPE UNDER OPTIONAL PRICE No.3 AS PER THE FRONT END DOCUMENTS:
1. ALL SCOPE RELATED TO THE NEW LIGHTING IN THE CORRIDOR INCLUDING THE DEMOLITION OF THE EXISTING LIGHTING. IF OPTIONAL PRICE IS NOT SELECTED CONTRACTOR TO ALLOW FOR REMOVAL AND REINSTALLATION OF LIGHTING.

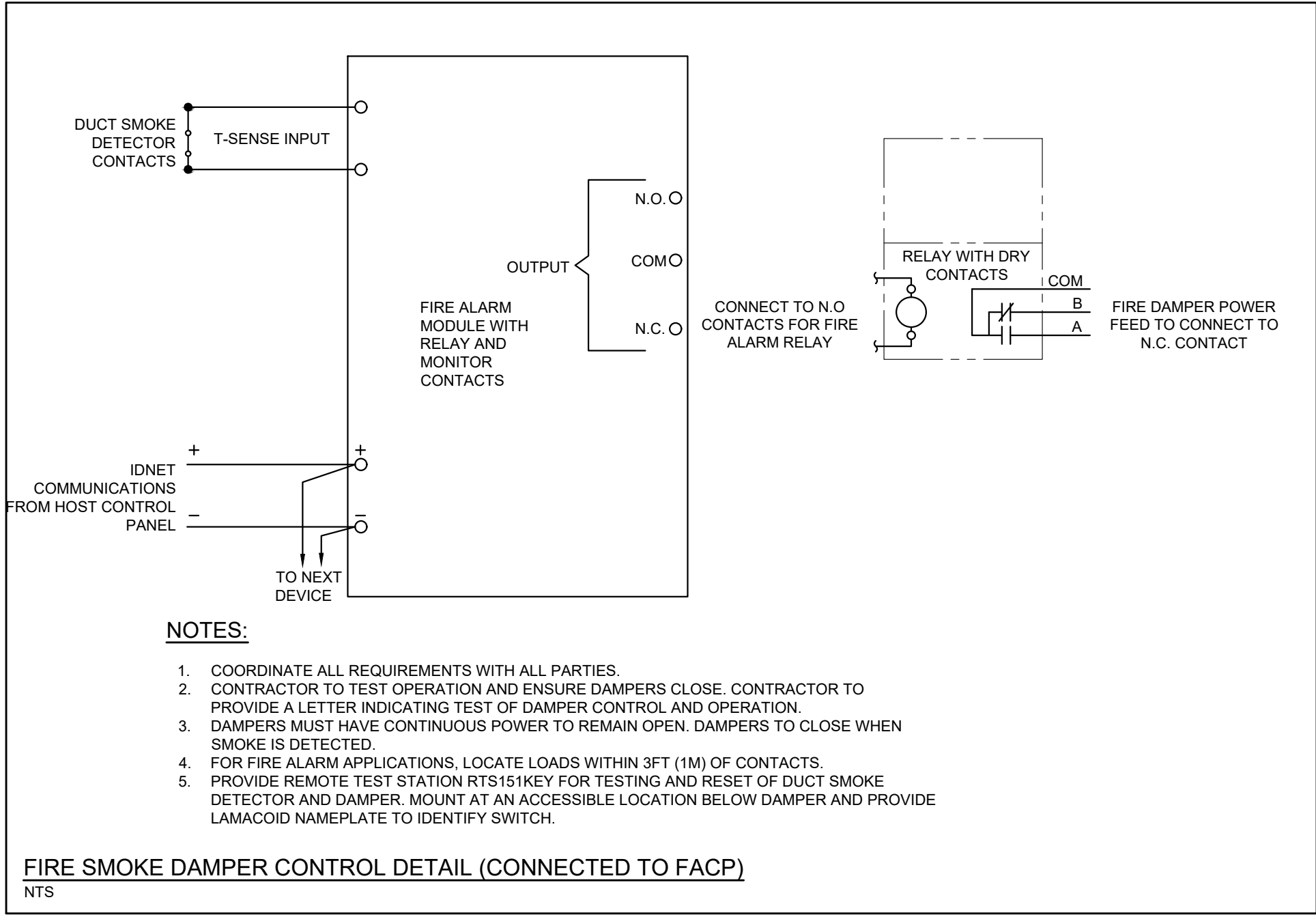


NEW PANEL 'PP-X'

200A, 60 CIRCUIT, 3Φ, 4W, 120/208V VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD
WITH MAIN LUGS ONLY & COPPER BUS

** DENOTES 'ARC FAULT' BREAKER

DESCRIPTION	BKR	CCT	S/N —	CCT	BKR	DESCRIPTION
SF-AHU-5 CLASSROOMS	20A 3P	1 3 5	● ● ●	2 4 6	15A 3P	RF-AHU-5 CLASSROOMS
AHU-5 LTG + RECEPT	15A	7	●	8	15A 3P	P-7 GLYCOL PUMP
SMOKE/FIRE DAMPERS	*15A	9	●	10		
SMOKE/FIRE DAMPERS	*15A	11	●	12		
BAS CONTROL PANEL	15A	13	●	14	15A 3P	P-8 GLYCOL PUMP
	20A	15	●	16		
SPARE	20A	17	●	18		
SPARE	20A	19	●	20	60A 3P	P-1 WEST HEATING
GLYCOL TANK PUMP	15A	21	●	22		
		23	●	24		
		25	●	26	60A 3P	P-1 WEST HEATING
		27	●	28		
		29	●	30		
		31	●	32		
		33	●	34		
		35	●	36		
		37	●	38		
		39	●	40		
		41	●	42		
		43	●	44		
		45	●	46		
		47	●	48		
		49	●	50		
		51	●	52		
		53	●	54		
		55	●	56		
		57	●	58		
		59	●	60		



REVISED PANEL 'PP-24'						
EXISTING MANUFACTURER: SQUARE D						
250A, 42 CIRCUIT, 3φ, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS						
* DENOTES BREAKER LOCK-ON DEVICE						
** DENOTES 'ARC FAULT' BREAKER						
++ DENOTES NEW BREAKER REQUIRED						
DESCRIPTION	BKR	CCT	SIN	CCT	BKR	DESCRIPTION
PENTHOUSE EXHAUST FAN	15A	1	●	2	15A	UNKNOWN LOAD
PANEL RECEPTACLE	15A	3	●	4	15A	DHWP 2
UNIT HEATER	20A	5	●	6	15A	EMERGENCY LIGHT RECEPTACLE
EMS CONTROL	15A	7	●	8	15A++	AHU-12 RECEPTACLE
SMOKE DAMPERS	*20A++	9	●	10	20A++	BAS PANEL LOWER LEVEL
SMOKE DAMPERS	*20A++	11	●	12	20A++	BAS PANEL UPPER LEVEL
SMOKE DAMPERS	*20A++	13	●	14		
SPARE	15A 3P	15	●	16	15A 3P	WASHROOM EXHAUST FAN
		17	●	18		
		19	●	20		
UNKNOWN LOAD	20A 3P	21	●	22	15A 3P	CONDENSATION PUMP
		23	●	24		
		25	●	26	15A	DOMESTIC HOT WATER PUMP
ROLL FILTER	15A	27	●	28	30A 2P	UNKNOWN LOAD
DOMESTIC HOT WATER PUMP 02	15A	29	●	30		
HEAT TRACE	*15A	31	●	32		
UNKNOWN LOAD	20A 3P	33	●	34	70A 3P	ACU 01 OFFICE AC UNIT
		35	●	36		
		37	●	38		
LEAK DETECTION PANEL	15A	39	●	40	50A 3P	CARRIER AC UNIT GUIDANCE
WATER TREATMENT CONTROL	15A	41	●	42		

REVISED PANEL '135001'						
EXISTING MANUFACTURER: SQUARE D						
225A, 30 CIRCUIT, 3φ, 4W, 240 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS						
DESCRIPTION	BKR	CCT	SIN	CCT	BKR	DESCRIPTION
BIG GREEN COMPRESSOR	20A 3P	1	●	2	15A 3P	WORKSHOP DRILL PRESS
		3	●	4		
		5	●	6		
PUMP #7	15A 3P	7	●	8	15A 3P	PUMP #6
		9	●	10		
		11	●	12		
COND. PUMP #2	15A 3P	13	●	14	15A 3P	PUMP #5
		15	●	16		
		17	●	18		
BOILER #2	15A 3P	19	●	20	15A 3P	AIR #1 (COMBUSTION AIR UNIT)
		21	●	22		
		23	●	24		
BOILER #1	15A 3P	25	●	26	15A 3P	SPARE
		27	●	28		
		29	●	30		

EXISTING MANUFACTURER: SIEMENS						
600A, 30 CIRCUIT, 3ø, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD						
WITH MAIN LUGS ONLY & COPPER BUS						
++ DENOTES NEW BREAKER REQUIRED						
DESCRIPTION	BKR	CCT	SIN	CCT	BKR	DESCRIPTION
AHU-8 RA	15A++ 3P	1	2	3	30A++ 3P	AHU-8 SA
		4	5	6		
		7	8	9		
		10	11	12		
UNKNOWN LOAD	60A	13	14	60A	LP-2S1	
UNKNOWN LOAD	60A	15	16	60A	UNKNOWN LOAD	
UNKNOWN LOAD	60A	17	18	60A	LP-2S4	
LP-2S10	60A	19	20	60A	LP-2S5	
LP-2S9	60A	21	22	60A	LP-2S6	
LP-2SW	60A	23	24	60A	LP-2S3	
LP-2RC	100A	25	26	100A	LP-1RB	
		27	28			
		29	30	200A	LP-2FS	

EXISTING MANUFACTURER: SQUARE D						
250A, 42 CIRCUIT, 3φ, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS						
DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
PENTHOUSE EXHAUST FAN	15A	1	●	2	15A	UNKNOWN LOAD
PANEL RECEPTACLE	15A	3	●	4	15A	DHWP 2
UNIT HEATER	20A	5	●	6	15A	EMERGENCY LIGHT RECEPTACLE
EMS CONTROL	15A	7	●	8	15A 3P	PUMP 13
PUMP 12	15A 3P	9	●	10		
		11	●	12		
PUMP 14	15A 3P	13	●	14	15A 3P	WASHROOM EXHAUST FAN
		15	●	16		
		17	●	18		
UNKNOWN LOAD	20A 3P	19	●	20	15A 3P	CONDENSATION PUMP
		21	●	22		
		23	●	24		
		25	●	26	15A	DOMESTIC HOT WATER PUMP
ROLL FILTER	15A	27	●	28	30A 2P	UNKNOWN LOAD
DOMESTIC HOT WATER PUMP 02	15A	29	●	30		
HEAT TRACE	15A	31	●	32	70A 3P	ACU 01 OFFICE AC UNIT
UNKNOWN LOAD	20A 3P	33	●	34		
		35	●	36		
		37	●	38		
LEAK DETECTION PANEL	15A	39	●	40	50A 3P	CARRIER AC UNIT GUIDANCE
WATER TREATMENT CONTROL	15A	41	●	42		

EXISTING MANUFACTURER: SQUARE D						
225A, 30 CIRCUIT, 3φ, 4W, 240 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS						
DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
BIG GREEN COMPRESSOR	20A 3P	1	●	2	15A 3P	WORKSHOP DRILL PRESS
		3	●	4		
		5	●	6		
PUMP #7	15A 3P	7	●	8	15A 3P	PUMP #6
		9	●	10		
		11	●	12		
COND. PUMP #2	15A 3P	13	●	14	15A 3P	PUMP #5
		15	●	16		
		17	●	18		
BOILER #2	15A 3P	19	●	20	15A 3P	AIR #1 (COMBUSTION AIR UNIT)
		21	●	22		
		23	●	24		
BOILER #1	15A 3P	25	●	26	15A 3P	AIR #5 CLASSROOMS
		27	●	28		
		29	●	30		

EXISTING MANUFACTURER: SIEMENS						
600A, 30 CIRCUIT, 3ø, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS						
DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION
		1	●	2		
		3	●	4		
		5	●	6		
		7	●	8		
		9	●	10		
UNKNOWN LOAD	60A	11	●	12	60A	LP-2S1
UNKNOWN LOAD	60A	13	●	14	60A	UNKNOWN LOAD
UNKNOWN LOAD	60A	15	●	16	60A	LP-2S4
LP-2S10	60A	17	●	18	60A	LP-2S5
LP-2S9	60A	19	●	20	60A	LP-2S6
LP-2SW	60A	21	●	22	60A	LP-2S3
LP-2RC	100A	23	●	24	100A	LP-1RB
		25	●	26		
		27	●	28		
LP-2RA		29	●	30	200A	LP-2FS

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ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

PANEL SCHEDULES AND DETAILS

DISCIPLINE:

ELECTRICAL

DRAFTER:

JB

DESIGNER:

SS

APPROVER:

LC

PROJECT N:

A000101

SCALE:

NTS

DATE:

2026-01

APPROVER

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DRAWING 1

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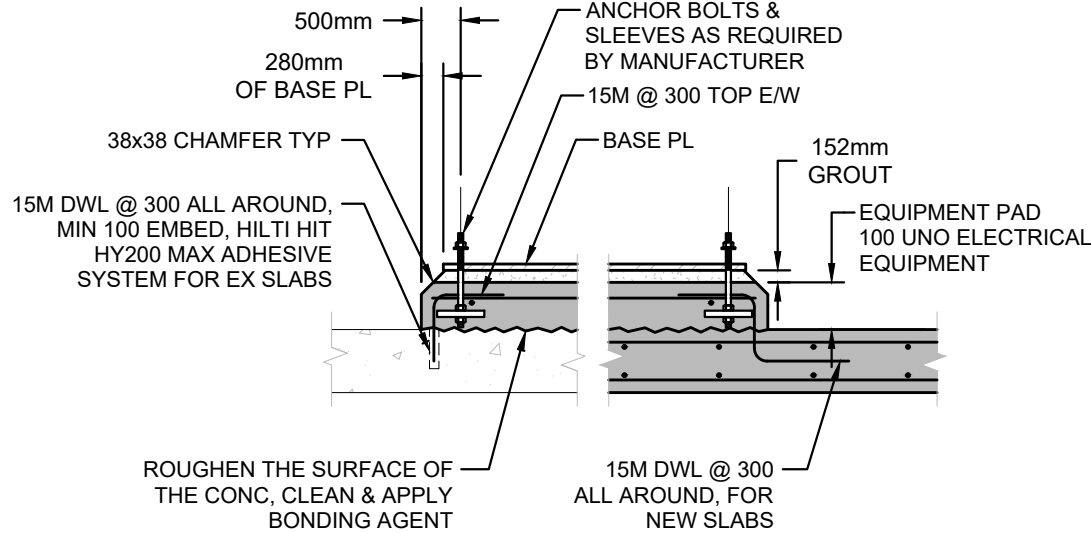
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E-601

REVISED PANEL 'LP-2RA' LEFT SIDE						REVISED PANEL 'LP-2RA' RIGHT SIDE						EXISTING PANEL 'LP-2RA' LEFT SIDE						EXISTING PANEL 'LP-2RA' RIGHT SIDE													
EXISTING MANUFACTURER: SIEMENS 250A, 84 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS * DENOTES BREAKER LOCK-ON DEVICE ++ DENOTES NEW BREAKER REQUIRED						EXISTING MANUFACTURER: SIEMENS 250A, 84 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS * DENOTES BREAKER LOCK-ON DEVICE ++ DENOTES NEW BREAKER REQUIRED						EXISTING MANUFACTURER: SIEMENS 250A, 84 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS						EXISTING MANUFACTURER: SIEMENS 250A, 84 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS													
DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION	DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION	DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION	DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION				
LIGHTS RM. 447	20A	1	●		2	20A	LIGHTS RM. 436	20A	43	●		44	*20A++	CORRIDOR SMOKE DAMPER	LIGHTS RM. 447	20A	1	●		2	20A	LIGHTS RM. 436	20A	43	●		44	20A	SPARE		
LIGHTS RM. 445	20A	3	●		4	20A	LIGHTS RM. 411 & 440	20A	45	●		46	20A	SPARE	LIGHTS RM. 445	20A	3	●		4	20A	LIGHTS RM. 411 & 440	20A	45	●		46	20A	SPARE		
LIGHTS RM. 443	20A	5	●		6	20A	LIGHTS RM. 446	20A	47	●		48	20A	SPARE	LIGHTS RM. 443	20A	5	●		6	20A	LIGHTS RM. 446	20A	47	●		48	20A	SPARE		
LIGHTS RM. 437 & 435	20A	7	●		8	20A	I.G. RECEPTACLE RM. 411	20A	49	●		50	20A	BAS PANEL	LIGHTS RM. 437 & 435	20A	7	●		8	20A	I.G. RECEPTACLE RM. 411	20A	49	●		50	20A	SPARE		
LIGHTS RM. 431	20A	9	●		10	15A	I.G. RECEPTACLE RM. 411	20A	51	●		52	15A	FAN - F4 ROOM 436	LIGHTS RM. 431	20A	9	●		10	15A	I.G. RECEPTACLE RM. 411	20A	51	●		52	15A	FAN - F4 ROOM 436		
RECEPTACLES RM. 443 - 447	15A	11	●		12	15A	RECEPTACLE CP RM. 436 - 446	15A	53	●		54	15A	FUME HOOD FAN	RECEPTACLES RM. 443 - 447	15A	11	●		12	15A	RECEPTACLE CP RM. 436 - 446	15A	53	●		54	15A	FUME HOOD FAN		
GAS SOLENOID FUME HOOD	15A	13	●		14	15A	UNKNOWN LOAD	15A	55	●		56	15A	FAN F6 ROOM 446	GAS SOLENOID FUME HOOD	15A	13	●		14	15A	UNKNOWN LOAD	15A	55	●		56	15A	FAN F6 ROOM 446		
RECEPTACLE RM. 445	15A	15	●		16	15A	RECEPTACLE RM. 440	15A	57	●		58	15A	ROOM 430 A.C. UNIT	RECEPTACLE RM. 445	15A	15	●		16	15A	RECEPTACLE RM. 440	15A	57	●		58	15A	ROOM 430 A.C. UNIT		
RECEPTACLE RM. 445	15A	17	●		18	15A	RECEPTACLE RM. 440	15A	59	●		60	15A	ROOM 430 A.C. UNIT	RECEPTACLE RM. 445	15A	17	●		18	15A	RECEPTACLE RM. 440	15A	59	●		60	15A	ROOM 430 A.C. UNIT		
RECEPTACLE RM. 445	15A	19	●		20	15A	RECEPTACLE RM. 440	15A	61	●		62	20A 3P	UNKNOWN LOAD	RECEPTACLE RM. 445	15A	19	●		20	15A	RECEPTACLE RM. 440	15A	61	●		62	20A 3P	UNKNOWN LOAD		
RECEPTACLE RM. 445	15A	21	●		22	15A	RECEPTACLE RM. 440	15A	63	●		64			RECEPTACLE RM. 445	15A	21	●		22	15A	RECEPTACLE RM. 440	15A	63	●		64				
FRIDGE RECEPTACLE RM. 445	15A	23	●		24	15A	FUME HOOD LIGHT & RECEPTACLE	15A	65	●		66	15A	FRIDGE RECEPTACLE RM. 445	15A	23	●		24	15A	FUME HOOD LIGHT & RECEPTACLE	15A	65	●		66	15A	FRIDGE RECEPTACLE RM. 445			
FUME HOOD RECEPTACLE & LIGHT	15A	25	●		26	15A	RECEPTACLE RM. 440	15A	67	●		68	15A	SP	FUME HOOD RECEPTACLE & LIGHT	15A	25	●		26	15A	RECEPTACLE RM. 440	15A	67	●		68	15A	SP		
RECEPTACLE CP 431-437	15A	27	●		28	15A	GFI RECEPTACLE ROOM 441	15A	69	●		70	15A	SP	RECEPTACLE CP 431-437	15A	27	●		28	15A	GFI RECEPTACLE ROOM 441	15A	69	●		70	15A	SP		
FUME GAS SOLENOID	15A	29	●		30	15A	FRIDGE RECEPTACLE ROOM 411	15A	71	●		72	15A++	TRAP SEAL PRIMER RECEPTACLE	FUME GAS SOLENOID	15A	29	●		30	15A	FRIDGE RECEPTACLE ROOM 411	15A	71	●		72	15A	SP		
RECEPTACLE RM. 435	15A	31	●		32	15A	RECEPT. RACEWAY N. WALL RM. 411	15A	73	●		74	15A++	AHU-8 RECEPTACLE	RECEPTACLE RM. 435	15A	31	●		32	15A	RECEPT. RACEWAY N. WALL RM. 411	15A	73	●		74	15A	RECEPT. RACEWAY N. WALL RM. 411		
RECEPTACLE RM. 435	15A	33	●		34	15A	RECEPT. RACEWAY N. WALL RM. 411	20A	75	●		76	*20A++	SMOKE DAMPERS	RECEPTACLE RM. 435	15A	33	●		34	15A	RECEPT. RACEWAY N. WALL RM. 411	20A	75	●		76	15A	RECEPT. RACEWAY N. WALL RM. 411		
RECEPTACLE RM. 435	15A	35	●		36	15A	RECEPT. RACEWAY S. WALL RM. 411	15A	77	●		78	*20A++	SMOKE DAMPERS	RECEPTACLE RM. 435	15A	35	●		36	15A	RECEPT. RACEWAY S. WALL RM. 411	15A	77	●		78	15A	RECEPT. RACEWAY S. WALL RM. 411		
FUME HOOD RECEPTACLE & LIGHTS	15A	37	●		38	15A	RECEPT. RACEWAY S. WALL RM. 411	C4-1	20A 2P	79	●		80	*20A++	SMOKE DAMPERS	FUME HOOD RECEPTACLE & LIGHTS	15A	37	●		38	15A	RECEPT. RACEWAY S. WALL RM. 411	C4-1	20A 2P	79	●		80	15A	RECEPT. RACEWAY S. WALL RM. 411
UNKNOWN LOAD	15A	39	●		40	15A	RECEPT. RACEWAY E. WALL RM. 411		81	●		82	*20A++	SMOKE DAMPERS	UNKNOWN LOAD	15A	39	●		40	15A	RECEPT. RACEWAY E. WALL RM. 411	81		●		82	15A	RECEPT. RACEWAY E. WALL RM. 411		
UNKNOWN LOAD	15A	41	●		42	15A	RECEPT. RACEWAY E. WALL RM. 411	SMOKE DAMPERS	*20A++	83	●		84	*20A++	SMOKE DAMPERS	UNKNOWN LOAD	15A	41	●		42	15A	RECEPT. RACEWAY E. WALL RM. 411			83	●		84		

REVISED PANEL 'LP-1RB'											
EXISTING MANUFACTURER: SIEMENS 250A, 66 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS * DENOTES BREAKER LOCK-ON DEVICE ++ DENOTES NEW BREAKER REQUIRED											
DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION					
RECEPT. RM. 132	15A	1	●	2	15A	RECEPT. RM. 149					
RECEPT. RM. 132	15A	3	●	4	15A	RECEPT. RM. 149					
CEILING RECEPT. #131	15A	5	●	6	15A	CEILING RECEPT. #149					
RECEPT. RM. 132	15A	7	●	8	15A	RCWY. RECEPT. RM. 149					
DOOR OPENER	15A	9	●	10	15A	RCWY. RECEPT. #149					
SUMP-PUMP CONTROL	15A	11	●	12	15A	RECEPT. RM. 143					
RECEPTACLE RM. 135	15A	13	●	14	15A	RECEPT. RM. 143					
RECEPTACLE RM. 135	15A	15	●	16	15A	PROJECTOR RECEPT. #122 CEILING RECEPT. #143					
CEILING RECEPT. #135 PROJECTOR RECEPT. RM. #128	15A	17	●	18	15A	RCWY. RECEPT. #143					
RCWY. RECEPT. #135	15A	19	●	20	15A	RCWY. RECEPT. #143					
RCWY. RECEPT. #135	15A	21	●	22	15A	RCWY. RECEPT. #141					
C.P. RECEPTACLE	15A	23	●	24	15A	RCWY. RECEPT. #141					
PROJECTOR RECEPT. RM. #126 RCWY. RECEPT. #137	15A	25	●	26	15A	CEILING RECEPT. #131					
RCWY. RECEPT. #137	15A	27	●	28	15A	ACID NEUTRALIZER					
RCWY. RECEPT. #137	15A	29	●	30	15A	RECEPTACLE RM. 133					
RCWY. RECEPT. #137	15A	31	●	32	15A	EXHUAST FAN F26					
VEST/LOBBY LIGHTS	15A	33	●	34	15A	RECEPTACLE RM. 133					
POT LIGHT/REC.	15A	35	●	36	20A	20A COPIER REC. RM. 130					
TRAP PRIMER	15A	37	●	38	15A	REC. H32/HALL					
SANITARY SUMP	15A	39	●	40	15A	REC. RM. 1132					
EXIT	15A	41	●	42	15A	REC. VEST/LOBBY					
AHU-10 RECEPTACLE	15A++	43	●	44	30A++ 3P	AHU-10 SA					
BAS PANEL	20A++	45	●	46							
SMOKE DAMPER	*20A++	47	●	48	15A++ 3P	AHU-10 RA					
SMOKE DAMPER	*20A++	49	●	50							
SMOKE DAMPER	*20A++	51	●	52							
CORRIDOR SMOKE DAMPER	*20A++	53	●	54							
		55	●	56							
		57	●	58							
		59	●	60							
		61	●	62							
		63	●	64							
		65	●	66							

EXISTING PANEL 'LP-1RB'											
EXISTING MANUFACTURER: SIEMENS 250A, 66 CIRCUIT, 3P, 4W, 120/208 VOLT SURFACE MOUNTED BOLT-ON CIRCUIT BREAKER PANEL BOARD WITH MAIN LUGS ONLY & COPPER BUS											
DESCRIPTION	BKR	CCT	S/N	CCT	BKR	DESCRIPTION					
RECEPT. RM. 132	15A	1	●	2	15A	RECEPT. RM. 149					
RECEPT. RM. 132	15A	3	●	4	15A	RECEPT. RM. 149					
CEILING RECEPT. #131	15A	5	●	6	15A	CEILING RECEPT. #149					
RECEPT. RM. 132	15A	7	●	8	15A	RCWY. RECEPT. RM. 149					
DOOR OPENER	15A	9	●	10	15A	RCWY. RECEPT. #149					
SUMP-PUMP CONTROL	15A	11	●	12	15A	RECEPT. RM. 143					
RECEPTACLE RM. 135	15A	13	●	14	15A	RECEPT. RM. 143					
RECEPTACLE RM. 135	15A	15	●	16	15A	PROJECTOR RECEPT. #122 CEILING RECEPT. #143					
CEILING RECEPT. #135 PROJECTOR RECEPT. RM. #128	15A	17	●	18	15A	RCWY. RECEPT. #143					
RCWY. RECEPT. #135	15A	19	●	20	15A	RCWY. RECEPT. #143					
RCWY. RECEPT. #135	15A	21	●	22	15A	RCWY. RECEPT. #141					
C.P. RECEPTACLE	15A	23	●	24	15A	RCWY. RECEPT. #141					
PROJECTOR RECEPT. RM. #126 RCWY. RECEPT. #137	15A	25	●	26	15A	CEILING RECEPT. #131					
RCWY. RECEPT. #137	15A	27	●	28	15A	ACID NEUTRALIZER					
RCWY. RECEPT. #137	15A	29	●	30	15A	RECEPTACLE RM. 133					
RCWY. RECEPT. #137	15A	31	●	32	15A	EXHUAUST FAN F26					
VEST/LOBBY LIGHTS	15A	33	●	34	15A	RECEPTACLE RM. 133					
POT LIGHT/REC.	15A	35	●	36	20A	20A COPIER REC. RM. 130					
TRAP PRIMER	15A	37	●	38	15A	REC. H32/HALL					
SANITARY SUMP	15A	39	●	40	15A	REC. RM. 1132					
EXIT	15A	41	●	42	15A	REC. VEST/LOBBY					
		43	●	44							
		45	●	46							
		47	●	48							
		49	●	50							
		51	●	52							
		53	●	54							
		55	●	56							
		57	●	58							
		59	●	60							
		61	●	62							
		63	●	64							
		65	●	66							



- NOTES :
- ANY APERTURES IN SLAB OR PAD, REQUIRED BY THE MANUFACTURER, TO BE COORDINATED W/ CONTRACTOR.
 - FOR PLAN DIMENSIONS & LOCATION SEE PLAN.
 - WHERE ANCHOR SLEEVES ARE USED, INCREASE MIN EDGE DISTANCE AS REQUIRED BY MANUFACTURER TO PREVENT INTERRUPTION OF REBAR.

1 EQUIPMENT PAD DETAIL

S-001 SCALE: 1/8"=1'

GENERAL NOTES:

- READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE REMAINDER OF THE CONTRACT DRAWINGS AND DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- STRUCTURAL DESIGN IS BASED ON THE LATEST EDITION OF THE NATIONAL AND ONTARIO BUILDING CODES.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- SCAN ALL CONCRETE AND MASONRY FOR EMBEDDED UTILITIES PRIOR TO DRILLING OR REMOVALS.
- PROVIDE TEMPORARY SHORING FOR EXISTING MASONRY WALLS FOR THE INSTALLATION OF NEW LINTELS.

MATERIALS:

- MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH: STRUCTURAL CONCRETE: 30MPa, CLASS N
- ALL REINFORCING BAR SHALL BE GRADE 400MPa, DEFORMED, CAN/CSA-G30.18.
- CONCRETE BLOCK SHALL CONFORM TO THE LATEST EDITION OF THE RELEVANT CODES AND STANDARDS AND THE BLOCK STRENGTH SHALL BE 15MPa ON NET AREA.
- MORTAR SHALL BE TYPE "S" UNLESS NOTED OTHERWISE.
- CONCRETE FILL IN REINFORCED MASONRY SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 20MPa.
- STRUCTURAL STEEL TO CONFORM TO CAN/CSA-G40.21, UNO.
W SECTIONS: GRADE 350W
L AND C SECTIONS: GRADE 300W
HSS SECTIONS: GRADE 350 CLASS 'H'
- THE WELDING ELECTRODES SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W48 (LATEST EDITION).
- STEEL SHALL BE THOROUGHLY CLEANED AND BE GIVEN ONE SHOP COAT OF ANTI-CORROSIVE PRIMER. AREAS AFFECTED BY WEATHERING, OR ANY OTHER DAMAGE SHALL HAVE THE RUST REMOVED AND BE "TOUCHED UP" IN THE FIELD. STEEL PERMANENTLY EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED ELSEWHERE. GALVANIZING SHALL BE REMOVED LOCALLY PRIOR TO ANY STRUCTURAL FIELD WELDING. SUCH AREAS SHALL RECEIVE 2 COATS OF GALAFROID OR EQUIVALENT UNLESS NOTED OTHERWISE.

STEEL LINTEL SCHEDULE

CLEAR SPAN	UP TO 1200mm	1200mm TO 1800mm	1800mm TO 2100mm	ARRANGEMENT
90 WALL	1L-90x90x8	1L-127x90x8	1L-150x90x8	
140 WALL	1L-127x127x8	1L-180x127x8	1L-180x127x8	
190 WALL	2L's-90x90x8	2L's-127x90x8	2L's-150x90x8	
240 WALL	2L'S-100x100x8	2L'S-150x100x8	2L'S-150x100x8	
290 WALL	3L's-90x90x8	3L's-127x90x8	3L's-150x90x8	
UP TO 3200mm	W200x27 + PL 6mm THK. IN CENTER OF WALL			SEE DETAIL

- PAIRS OF LINTEL ANGLES TO BE STITCH WELDED (T&B) @ 600mm c/c.
- MINIMUM BEARING FOR STEEL ANGLES SHALL BE 150mm, UNO.
- FOR LINTELS ABUTTING STEEL COLUMNS, CONCRETE WALLS OR OTHER COLUMNS PROVIDE L-90x90x10 FASTENED TO ABUTMENT.
- ALL ANGLES SHALL BE LLV, UNO.
- ALL LOOSE ANGLES SHALL BE HOT DIPPED GALVANIZED (UNO).

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1	2026-01-08	Issued for Tender	SY
0	2026-01-07	Issued for Pre-Tender Review	SY
No.	Date	Description	By

STAMP:



ENGINEER:



T 905 697-4464
415 Baseline Road West, Bowmanville,
ON L1C 5M2 CANADA

CLIENT:



PROJECT NAME:

DUNBARTON HS
STEAM DECOMMISSIONING
PHASE 1
655 SHEPPARD AVENUE, PICKERING, ON

SHEET TITLE:

NOTES AND DETAILS

DISCIPLINE:

STRUCTURAL

DRAFTER: MRC	SCALE: NTS
DESIGNER: BS	DATE: 2025-01-07
APPROVER: SY	APPROVER: BRT
PROJECT No: A0001060	DRAWING No:
SHEET No: 1 of 1	S-001