



THE REGIONAL MUNICIPALITY
OF DURHAM

WORKS DEPARTMENT

DESIGN, CONSTRUCTION & ASSET MANAGEMENT

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

SITE LOCATION MAP



ANNOTATION LEGEND

TAGS	DRAWING TAGS	ASSEMBLY TAGS
DOOR TAG REFER TO DOOR SCHEDULE	1 A101 DETAIL NUMBER DRAWING SHEET NUMBER	EXTERIOR WALL TAG
WINDOW TAG REFER TO WINDOW SCHEDULE	1 A101 WALL SECTION NUMBER DRAWING SHEET NUMBER	INTERIOR PARTITION TAG
SCREEN & CURTAIN WALL TAG REFER TO SCREEN & CURTAIN WALL SCHEDULES FRAME TYPE (REFER TO FRAME SCHEDULE)	1 A101 BUILDING SECTION NUMBER DRAWING SHEET NUMBER	ROOF TAG
GLAZING & OPERABLE PANEL TAG REFER TO GLAZING & OPERABLE TYPE SCHEDULES	1 A101 EXTERIOR ELEVATION NUMBER DRAWING SHEET NUMBER	FLOOR TAG
MILLWORK TAG REFER TO MILLWORK DRAWINGS	1 A101 INTERIOR ELEVATION NUMBER DRAWING SHEET NUMBER	SOFFIT/CEILING TAG 300mm AFF
PLUMBING FIXTURE & SPECIALTY EQUIPMENT TAG REFER TO WASHROOM DRAWINGS	0 GRID BUBBLE	(REFER TO ASSEMBLIES SCHEDULES)
MATERIAL TAG REFER TO RELEVANT SCHEDULE & SPECIFICATION	SPOT ELEVATION (ABOVE FINISH FLOOR)	
KEYNOTES REFER TO SHEET SPECIFIC KEYNOTE SCHEDULE	ROOM NAME 101 ROOM TAG WITH AREA	
	REVISION TAG, REFER TO SPECIFIC ISSUE DATE FOR ISSUANCE	
	CENTRELINE	

PRIME CONSULTANT

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LGA Architectural Partners
310 Spadina Avenue, Suite 100B
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ARCHITECTURAL SHEET LIST

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NOTE: The Region of Durham assumes no responsibility for the accuracy of existing services as indicated on this drawing.
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SCALE:	As indicated
DATE:	2025-09-11 2:10:25 PM
CONSULTANT PROJECT NO.	241062
ISSUE DATE: ISSUE DATE	
2	2025-09-18 IFT
1	2025-07-14 ISSUED FOR BUILDING PERMIT
NO.	DATE
DESCRIPTION	

SEAL:



THE REGIONAL
MUNICIPALITY OF
DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION &
ASSET MANAGEMENT

PROJECT:

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

APPLICATION #

SHEET TITLE:

COVER SHEET

PROPERTY NO.
RP-W-42

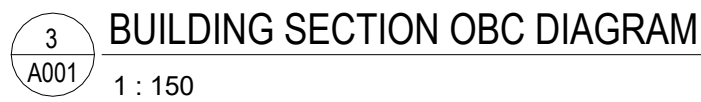
FACILITY CODE
SS-W-02

FACILITIES PROJECT NO.
SS-W-02-23-01

CONTRACT NO.
RFP-1048-2025

SHEET NO.

A000



Issued: 2025 01 0

OBC REFERENCE 15

11.00	BUILDING CODE VERSION	O Reg 183/24	LAST CODE AMENDMENT		O Reg 447/24	
11.01	PROJECT TYPE	Renovation				[A] 1.3.3.3.B
		Replacement of roof and interior renovation of existing commercial laundry (to remain unoccupied), commercial kitchen, and training kitchen.				
11.02	MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE			3.1.2.1.(1), 11.2.1. and 2.1.4.1.(1)
		No Change	Existing to Remain			
11.03	SUPERIMPOSED MAJOR OCCUPANCIES	-				11.2., 2.2.1., and 3.2.2.5. to 3.2.2.8.
		Existing to Remain				
11.04	BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2., 11.2 and 11.3.
		1st Floor	2300.00	0.00	2,300.0	
		2nd Floor	2324.00	0.00	2,324.0	
		3rd Floor	1943.00	0.00	1,943.0	
		TOTAL	6,567.0	-	6,567.0	

11.11	PLUMBING FIXTURE REQUIREMENTS	RATIO:	Existing to remain				3.7.4., 11.3.4., 11.3.5., 11.4.2.4., and 11.4.2.5.
a		FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	WCs REQUIRED	WCs PROVIDED	
		Existing Building					No changes
11.11	PLUMBING FIXTURE REQUIREMENTS continued	FLOOR FREE LEVEL/AREA (repeated)	BARRIER-FREE WCs REQUIRED	BARRIER-FREE WCs PROVIDED	UNIVERSAL WASHROOMS REQUIRED	UNIVERSAL WASHROOMS PROVIDED	Tables 3.8.2.3.A, and 3.8.2.3.B
b		Existing Building		NO CHANGES		No changes	
11.12	BARRIER-FREE DESIGN	Yes	No changes				11.3.1.2, 11.3.2., and 11.3.3.2.
	BARRIER-FREE ENTRANCES	1					

11.15	COMPLIANCE ALTERNATIVES PROPOSED	NO	11.5.1.
11.16	ALTERNATIVE SOLUTIONS	N/A	[A]1.2.1.1., and [C]2.1.
11.17	NOTES		

ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A]
FOR DIVISION A AND [C] FOR DIVISION C

Ontario Building Code Data Matrix, Part 11
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OBC DIAGRAM LEGEND	
	EXIT DOOR
	CONVENIENCE DOOR
	DISTANCE BETWEEN EXITS
	1 HOUR FIRE SEPARATION (EXISTING TO REMAIN)
	1 HOUR FIRE SEPARATION (NEW)
	AREA NOT IN CONTRACT

NOTE: The Region of Durham assumes no responsibility for the accuracy of existing services as indicated on this drawing.

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CONSULTANT PROJECT NO.	241062
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ISSUE DATE:	ISSUE DATE

NO.	DATE	DESCRIPTION
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ONTARIO ASSOCIATION
OF
ARCHITECTS
DANIEL BARTMAN
LICENCE
9584



THE REGIONAL
MUNICIPALITY OF
DURHAM

**WORKS DEPARTMENT
DESIGN, CONSTRUCTION &
ASSET MANAGEMENT**

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

OBC MATRIX AND FIRE SEPARATION DRAWINGS

PROPERTY NO.
RP-W-42

FACILITY CODE
SS-W-02

FACILITIES PROJECT NO.
SS-W-02-23-01

CONTRACT NO.
RFP-1048-2025

SHEET NO.

A001

THE CONTRACTOR SHALL CONFIRM THE EXISTING WALL, FLOOR, CEILING, AND ROOF ASSEMBLIES ON SITE AND SHOULD NOT RELY ON THE CONTRACT DOCUMENTS AND AS-BUILT DRAWINGS TO BASE ANY DECISIONS REQUIRED FOR ANY WORK TO THESE EXISTING ELEMENTS

ASSEMBLIES SCHEDULE						
R - ROOF ASSEMBLIES (FOR REFERENCE ONLY)						
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE		
R1		MODIFIED EXISTING ROOF (REFER TO RESTORATION / BUILDING ENVELOPE DRAWINGS FOR DIRECTION AND DETAILS)	NOTE: 	CATEGORY	REQUIRED	PROVIDED
				R-VALUE	-	-
				FRR	-	-
R2		MODIFIED EXISTING ROOF (REFER TO RESTORATION / BUILDING ENVELOPE DRAWINGS FOR DIRECTION AND DETAILS)	NOTE: EXISTING STRAPPING ON U/S OF OWSJ TO BE REMOVED AS REQUIRED TO ACCOMMODATE STRUCTURAL WORK, REFER TO ROOF DEMO PLAN NOTE: EXISTING STRAPPING ON U/S OF OWSJ TO BE REMOVED AS REQUIRED TO ACCOMMODATE PROPOSED STRUCTURAL WORK, REFER TO STRUCTURAL	CATEGORY	REQUIRED	PROVIDED
				R-VALUE	-	-
				FRR	-	-
R3		MODIFIED EXISTING SLOPED ROOF (REFER TO RESTORATION / BUILDING ENVELOPE DRAWINGS FOR DIRECTION AND DETAILS)	NOTE: .	CATEGORY	REQUIRED	PROVIDED
				R-VALUE	-	-
				FRR	-	-

F - FLOOR ASSEMBLIES						
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE		
xF2		EXISTING STEEL FRAME FLOOR, UNRATED V/F EXISTING WOOD DECKING EXISTING OPEN-WEB STEEL JOISTS	NOTE: ALL SUPPORTING MEMBERS FOR FLOOR TYPE F2 TO BE RATED (MIN. 1 HR FRR). NOTE: EXISTING STRAPPING ON U/S OF OWSJ TO BE REMOVED AS REQUIRED TO ACCOMMODATE NEW CEILING ASSEMBLY, REFER TO FIRST FLOOR DEMO PLAN	CATEGORY	REQUIRED	PROVIDED
				FRR	-	-
				STC RATING	-	-
xF3		EXIST. PRECAST HOLLOW CORE CONCRETE SLAB V/F 203mm EXISTING CONCRETE TOPPING EXISTING PRECAST HOLLOW CORE CONCRETE SLAB	NOTE: ALL SUPPORTING MEMBERS FOR FLOOR TYPE F3 TO BE RATED (MIN. 1 HR FRR). NOTE: ALL PENETRATIONS TO COMPLY W/ OBC SUBSECTION 3.1.9. NOTE: IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE EXISTING ASSEMBLY MAINTAINS THE EXISTING FRR AS REQUIRED. THIS INCLUDES BUT IS NOT LIMITED TO: PATCH & REPAIR WORK, INFILLING ABANDONED PENETRATIONS, FIRESTOPPING & SMOKE SEAL REPLACEMENT, FULL CMU REPLACEMENTS WHERE PATCH AND REPAIR WORK IS DEEMED INSUFFICIENT. NOTE: ALL REQUIRED REPAIRS TO MAINTAIN CONT FRR SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATION SECTION, AND TO SECTION 07 85 00 FIRESTOPPING AND SMOKE SEALS	CATEGORY	REQUIRED	PROVIDED
				FRR	1 HR (EX TO REMAIN)	MIN. 1.5 HR
				STC	50	54
				FRR BASED ON OBC SB-2 TABLE 2.1.1, USING EQUIVALENT THICKNESS OF 125mm. TYPE OF CONCRETE IS UNKNOWN, THEREFORE CONCRETE TYPE WITH THE LEAST FIRE RESISTANCE WAS USED TO DETERMINE FRR. COMPOSITION OF CONCRETE TOPPING IS UNKNOWN AND ASSUMED NOT TO CONTRIBUTE TO FRR. STC BASED ON NRC REPORT A-1012467.1 TABLE 5.		

INSULATION LEGEND	SHEATHING LEGEND
INS-3 BATT ACOUSTIC INSULATION	GB-1 GYPSUM BOARD GB-2 GYPSUM BOARD, TYPE X GB-3 GYPSUM BOARD, MOISTURE RESISTANT GB-4 GYPSUM BOARD, ABUSE RESISTANT

ASSEMBLIES SCHEDULE (CONTINUED)						
P - INTERIOR PARTITION AND FURRING ASSEMBLIES						
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE		
xP1		EXISTING LOADBEARING CMU PARTITION, RATED VAR 190mm FINISH, REFER TO FINISH PLANS EXISTING CONCRETE MASONRY UNIT WALL FINISH, REFER TO FINISH PLANS	NOTE: ALL PENETRATIONS TO COMPLY W/ OBC SUBSECTION 3.1.9. NOTE: IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE EXISTING ASSEMBLY MAINTAINS THE EXISTING FRR AS REQUIRED. THIS INCLUDES BUT IS NOT LIMITED TO: PATCH & REPAIR WORK, INFILLING ABANDONED PENETRATIONS, FIRESTOPPING & SMOKE SEAL REPLACEMENT, FULL CMU REPLACEMENTS WHERE PATCH AND REPAIR WORK IS DEEMED INSUFFICIENT. NOTE: ALL REQUIRED REPAIRS TO MAINTAIN CONT FRR SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATION SECTION, AND TO SECTION 07 85 00 FIRESTOPPING AND SMOKE SEALS	CATEGORY	REQUIRED	PROVIDED
				FRR	1 HR (EX TO REMAIN)	1.5 HR
				STC	-	50
				FRR BASED ON OBC SB-2 TABLE 2.1.1, USING EQUIVALENT THICKNESS OF 95mm. TYPE OF CONCRETE IS UNKNOWN, THEREFORE CONCRETE TYPE WITH THE LEAST FIRE RESISTANCE WAS USED TO DETERMINE FRR. STC BASED ON OBC SB-3 ASSEMBLY B1b		
P1		NON-LOADBEARING STEEL FRAME PARTITION, RATED VAR 16mm 92mm 92mm 13mm 16mm VAR FINISH, REFER TO FINISH PLANS GB-2 GYPSUM BOARD NON-LOADBEARING STEEL STUDS @ 400 O.C. INS-03 INSULATION RESILIENT CHANNELS @600 O.C. GB-2 GYPSUM BOARD FINISH, REFER TO FINISH PLANS	NOTE: ALL PARTITIONS TO EXTEND PAST CEILING FINISH TO U/S OF FLOOR/ROOF DECK ABOVE, U.N.O. NOTE: USE ABUSE-RESISTANT GWB AT BELOW 1220mm AFF. NOTE: REPLACE GWB W/ TILE BACKER IN TILED LOCATIONS. NOTE: ALL PENETRATIONS TO COMPLY WITH OBC SUBSECTION 3.1.9.	CATEGORY	REQUIRED	PROVIDED
				FRR	1 HR	1 HR
				STC	47	54
				FRR AND STC BASED ON ULC DES W453. REFER TO LISTING FOR FULL SPECIFICATION AND REQUIREMENTS.		
P3		NON-LOADBEARING STEEL FRAME PARTITION, UNRATED VAR 16mm 92mm 92mm 16mm VAR FINISH, REFER TO FINISH PLANS GB-1 GYPSUM BOARD NON-LOADBEARING STEEL STUDS @ 400 O.C. FINISH, REFER TO FINISH PLANS	NOTE: USE ABUSE-RESISTANT GWB AT BELOW 1220mm AFF. NOTE: REPLACE GWB W/ TILE BACKER IN TILED LOCATIONS.	CATEGORY	REQUIRED	PROVIDED
				FRR	-	-
				STC	-	-
P5		FURRING WALL, UNRATED 64mm NON-LOADBEARING STEEL STUDS @400 O.C. GB-1 GYPSUM BOARD VAR FINISH, REFER TO FINISH PLANS	NOTE: ALL FURRING WALLS TO EXTEND TO U/S OF RATED MEMBRANE CEILING OR U/S OF EX CONCRETE SLAB NOTE: USE MOULD-RESISTANT GWB IN ALL WASHROOMS. NOTE: USE MOULD-RESISTANT GWB IN ALL KITCHENS UP TO 1524mm AFF. NOTE: USE ABUSE-RESISTANT GWB AT BELOW 1220mm AFF (EXCLUDING KITCHENS). NOTE: ADD 19mm PLYWOOD BLOCKING TO ALL MILLWORK AND FOODSERVICE EQUIPMENT/ACCESSORY LOCATIONS, INCLUDING FUTURE MILLWORK. COORDINATE ANY ADDITIONAL MOUNTING REQUIREMENTS FOR ASSOCIATED MECH & ELEC. REFER TO FOODSERVICE, MECH, AND ELEC.	CATEGORY	REQUIRED	PROVIDED
				FRR	-	-
				STC	-	-

C - SUSPENDED CEILING ASSEMBLIES						
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE		
C1		GYPSUM BOARD MEMBRANE CEILING, RATED V/F 152mm EX FLOOR ASSEMBLY xF2 INS-3 INSULATION, INSTALLED WITHIN EXISTING OWSJ CAVITY OF FLOOR ASSEMBLY ABOVE. REFER TO FLOOR ASSEMBLY xF2 HAT CHANNEL @ 600 O.C. FASTENED TO U/S OF OWSJ WITH RESILIENT SOUND CLIP. REFER TO SPEC. GB-2 GYPSUM BOARD GB-2 GYPSUM BOARD FINISH, REFER TO REFLECTED CEILING PLANS	NOTE: ALL NEW PARTITION WALLS TO EXTEND TO U/S OF MEMBRANE CEILING. NOTE: ALL PENETRATIONS TO COMPLY W/ OBC SUBSECTION 3.1.9.	CATEGORY	REQUIRED	PROVIDED
				FRR	1 HR	1 HR
				STC RATING	-	-
				FRR BASED ON OBC SB-2 TABLE 2.3.12.		
C4		SUSPENDED ACOUSTICAL TILE CEILING WITH SUPPORT GRID SYSTEM V/F 22mm 41mm 19mm EX FLOOR ASSEMBLY xF3 METAL FURRING CHANNEL MAIN BEAM AND CROSS TEE ACOUSTICAL TILE GRID SYSTEM SUPPORT FRAMING AS REQUIRED C/W WIRE TIE SUPPORTS ACOUSTICAL TILE C/W REGULAR EDGES	NOTE: ALL ACOUSTICAL TILE GRID SYSTEM SUPPORT FRAMING AND WIRE TIE HANGERS TO BE HOT-DIPPED GALVANIZED. NOTE: CONTRACTOR TO PROVIDE ADDITIONAL FRAMING AS REQUIRED TO SUPPORT CEILING ASSEMBLY AND ASSOCIATED FIXTURES. NOTE: TYPICAL TILE SIZE TO BE 1220 x 610mm	CATEGORY	REQUIRED	PROVIDED
				FRR	-	-
				STC RATING	-	-

ASSEMBLY GENERAL NOTES						
1.	FOR ALL ASSEMBLIES IN THE CONTRACT DOCUMENTS WITH A DESIGNATED LISTING FROM ONE OF THE TESTING AUTHORITIES (E.G. ULC) IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY RESEARCH AND PROVIDE THE COMPLETE PUBLISHED ASSEMBLY AS DESCRIBED BY THE ASSOCIATED TESTING AUTHORITIES. THE DESCRIPTION OF THE ASSEMBLIES NOTED IN THE CONTRACT DRAWINGS ARE NOTED "AS BASIS OF DESIGN" AND MAY NOT REPRESENT THE FULL CRITERIA AS DEFINED BY THE TESTING AUTHORITIES.					
2.	UNLESS OTHERWISE NOTED, ALL PARTITIONS (INCLUDING BUT NOT LIMITED TO ALL COMPONENTS THAT MAKE UP THE PARTITION) AND FURRING ASSEMBLIES ARE TO EXTEND FROM STRUCTURAL DECK/SLAB TO U/S OF STRUCTURAL DECK/SLAB ABOVE.					
3.	IN ADDITION TO THIS PAGE, REFER ALSO TO FIRE SEPARATION DRAWINGS FOR REQUIRED FIRE SEPARATION RATINGS. THE CONTRACTOR IS TO ENSURE THE CONTINUITY OF ALL FIRE SEPARATIONS AS REQUIRED AND PROVIDE ULC LISTED FIRESTOPPING SYSTEMS FOR ALL CONDITIONS.					
4.	THE CONTRACTOR IS TO PROVIDE ULC-LISTED FIRESTOP SYSTEMS AS REQUIRED FOR ALL BUILDING SERVICE PENETRATIONS THROUGH RATED ASSEMBLIES AND TO ENSURE THE CONTINUITY OF RATED ASSEMBLIES. COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACT DOCUMENTS.					
5.	THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP DRAWINGS, SIGNED AND SEALED BY A STRUCTURAL P ENG LICENSED WITHIN THE PROVINCE OF ONTARIO FOR ALL STEEL STUD FRAMING DENOTED AS LOAD BEARING METAL STUDS. FOR NON-LOAD BEARING STUDS WALLS, CONTRACTOR TO ENGINEER FRAMING SYSTEM TO LIMIT DEFLECTION AS REQUIRED BY WALL FINISHES. REFER TO SPECIFICATION.					
6.	THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP DRAWINGS, SIGNED AND SEALED BY A STRUCTURAL P ENG LICENSED WITHIN THE PROVINCE OF ONTARIO FOR ALL EXTERIOR CLADDING PANEL SYSTEMS, INCLUDING ALL ASSOCIATED SUPPORT FRAMING AND CONNECTIONS. REFER TO SPECIFICATION					
7.	THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP DRAWINGS SIGNED AND SEALED BY A STRUCTURAL P ENG FOR ALL THE LOAD BEARING STEEL STUD AND STEEL STUD FRAMING AS REQUIRED TO SUPPORT ALL EXTERIOR CURTAIN WALL, STOREFRONT GLAZING AND PUNCH WINDOW SYSTEMS AND ALL INTERIOR SCREENS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE STUD SPACING AND CONFIGURATION AS REQUIRED TO MEET CURTAIN WALL, STOREFRONT, PUNCH WINDOW, AND INTERIOR SCREEN SUPPLIER REQUIREMENTS. REFER TO SPECIFICATION.					
8.	CONTRACTOR TO PROVIDE TILE BACKER IN LIEU OF GYPSUM BOARD AT ALL ASSEMBLIES TO RECEIVE TILE FINISHES, REFER TO FINISH PLANS. REFER TO SPECIFICATIONS.					
9.	IN AREAS WITH HIGH VAPOUR CONTENT (INCLUDING BUT NOT LIMITED TO WASHROOMS AND SHOWER ROOMS) CONTRACTOR TO PROVIDE MOISTURE AND MOULD-RESISTANT GYPSUM BOARD IN LIEU OF REGULAR GYPSUM BOARD. THE CONTRACTOR IS TO VERIFY THAT THE MOISTURE AND MOULD-RESISTANT GYPSUM BOARD MEETS ALL THE ULC RATING REFERENCED IN THE ASSEMBLY SCHEDULE.					
10.	CONTRACTOR TO PROVIDE CONT. ACOUSTICAL SEALANT (BOTH SIDES) AT TOP AND BOTTOM OF ALL INTERIOR STUD AND GYPSUM BOARD PARTITIONS. PROVIDE ULC-LISTED FIRE STOPPING SEALANT AT ALL RATED PARTITIONS AS REQUIRED. IN ADDITION TO THIS PAGE, REFER ALSO TO FIRE SEPARATION DRAWINGS.					
11.	PLACE FOSSIL FLOWER COCKROACH AND SILVERFISH KILLER (DIATOMACEOUS EARTH) AT BOTTOM OF ALL CONCEALED & INACCESSIBLE SPACES, INCLUDING INTERIOR SCREENS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE STUD SPACING AND CONFIGURATION AS REQUIRED TO MEET CURTAIN WALL, STOREFRONT, PUNCH WINDOW, AND INTERIOR SCREEN SUPPLIER REQUIREMENTS. REFER TO SPECIFICATION.					
12.	CONTRACTOR TO COORDINATE ACCESS PANELS LOCATED WITHIN SUSPENDED GYPSUM BOARD CEILING ASSEMBLIES TO BE PAINTED OUT TO MATCH THE SURROUNDING CEILING FINISH. CONTRACTOR TO PROVIDE ULC-LISTED ACCESS PANEL WHERE PANEL IS LOCATED IN A RATED CEILING. IN ADDITION TO THIS PAGE, REFER ALSO TO FIRE SEPARATION DRAWINGS. ALL ACCESS PANEL LOCATIONS IDENTIFIED IN THE MECHANICAL DOCUMENTS ARE TO BE CONFIRMED ON SITE WITH THE ARCHITECT PRIOR TO INSTALLATION.					
13.	CONTRACTOR TO COORDINATE ALL ACCESS PANELS LOCATED WITHIN EXTERIOR SOFFITS TO BE PAINTED OUT TO MATCH THE SURROUNDING SOFFIT FINISH.					
14.	UNLESS NOTED OTHERWISE, ASSEMBLIES ABOVE OR BELOW DOORS, WINDOWS, EXTERIOR OPENINGS AND INTERIOR SCREENS ARE TO BE THE SAME AS THE TYPE DENOTED ON EITHER SIDE					
15.	CONTRACTOR TO PROVIDE 19mm FIRE RATED PLYWOOD BLOCKING AND STUD REINFORCING IN WALLS FOR INSTALLATION OF ALL ELEMENTS NEEDING BLOCKING/REINFORCEMENT, INCLUDING BUT NOT LIMITED TO ALL FIXTURES, PLUMBING ACCESSORIES, ADULT CHANGE TABLES, MILLWORK, EQUIPMENT, ELECTRIC PANELS, ROOF ACCESS LADDER ECT. CONTRACTOR TO DESIGN/BUILD ALL BLOCKING AND STUD REINFORCING AS REQUIRED. FULLY COORDINATE ALL ADDITIONAL SUPPORT REQUIRED FOR ANCHORAGE OF MECHANICAL EQUIPMENT OR DUCTS AND ELECTRICAL FIXTURES.					
16.	ALL R AND RSI VALUES SHOWN ARE NOMINAL. REFER TO SPECIFICATION FOR FULL LISTING OF INSULATION TYPES AND WEATHER BARRIER TYPES.					
17.	ALL GWB WITHIN 1200 OF FF TO BE ABUSE RESISTANT. CONTRACTOR TO COORDINATE.					
18.	CONTRACTOR TO PROVIDE ALL PLUMBING CHASES AND MECHANICAL SHAFTS IN ADDITION TO ASSEMBLIES. CONTRACTOR TO COORDINATE REQUIRED DIMENSIONS AND REVIEW W/ ARCHITECT WHEN LAYING OUT WALLS.					
19.	CONTRACTOR TO MAINTAIN AND MAKE GOOD ALL EXISTING FIRE SEPARATIONS AND FIRE RESISTANCE RATINGS IMPACTED BY THE WORK.					
20.	IF FLOOR DRAINS ARE LOCATED IN A ROOM CONTRACTOR TO COORDINATE SLOPING ENTIRE FLOOR TOWARD THE DRAIN. THERE WILL BE NO FLAT FLOOR SURFACE IN THE ROOM WITH A REQUIRED FLOOR DRAIN WHERE WATER CAN PUDDLE. FLOOR TO SLOPE A MINIMUM OF 2% . THE CONTRACTOR TO REFERENCE THE MECHANICAL DOCUMENTS TO DETERMINE WHICH ROOMS HAVE FLOOR DRAINS. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY FLOORS THAT PUDDLE WATER AND/ OR DO NOT DIRECT WATER TO THE PROPER FLOOR DRAIN.					
21.	CONTRACTOR TO REPAIR EXISTING EXTERIOR WALL VAPOUR OR AIR BARRIERS DISTURBED BY THE WORK. ADVISE CONSULTANT OF INSTANCES WHERE THIS IS DISCOVERED.					
22.	CONTRACTOR TO COORDINATE MINIMUM STUD SPACE REQUIRED TO SUPPORT EQUIPMENT AS NOTED ON ARCHITECTURAL AND CONSULTANT DRAWINGS.					
23.	CONTRACTOR TO ISOLATE ALL MECHANICAL PIPES, DUCTS, AND EQUIPMENT FROM INTERIOR PARTITIONS TO AVOID ACOUSTIC NOISE TRANSFER.					
24.	CONTRACTOR TO MAINTAIN CONTINUITY OF BUILDING ENVELOPE AIR AND AIR/VAPOUR BARRIER AT TRANSITIONS AND PENETRATIONS.					
25.	CONTRACTOR TO COORDINATE VERTICAL SERVICE SPACES THAT DO NOT EXTEND THROUGH THE ROOF AND/OR DO NOT TERMINATE AT HORIZONTAL FIRE RATED ASSEMBLY (ROOF, FLOOR, MEZZANINE, ECT.) MUST BE ENCLOSED AT THE TOP AND/OR BOTTOM WITH A ULC CONSTRUCTION ASSEMBLY HAVING A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE VERTICAL SERVICE SPACE WALLS (OBC 3.6.2.6(2) & (3)).					
26.	ALL DELEGATED DESIGN COMPONENTS AND ASSEMBLIES SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATION SECTION, AND TO SECTION 01 13 00 DELEGATED DESIGN REQUIREMENTS.					

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DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION &
ASSET MANAGEMENT

PROJECT:
PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

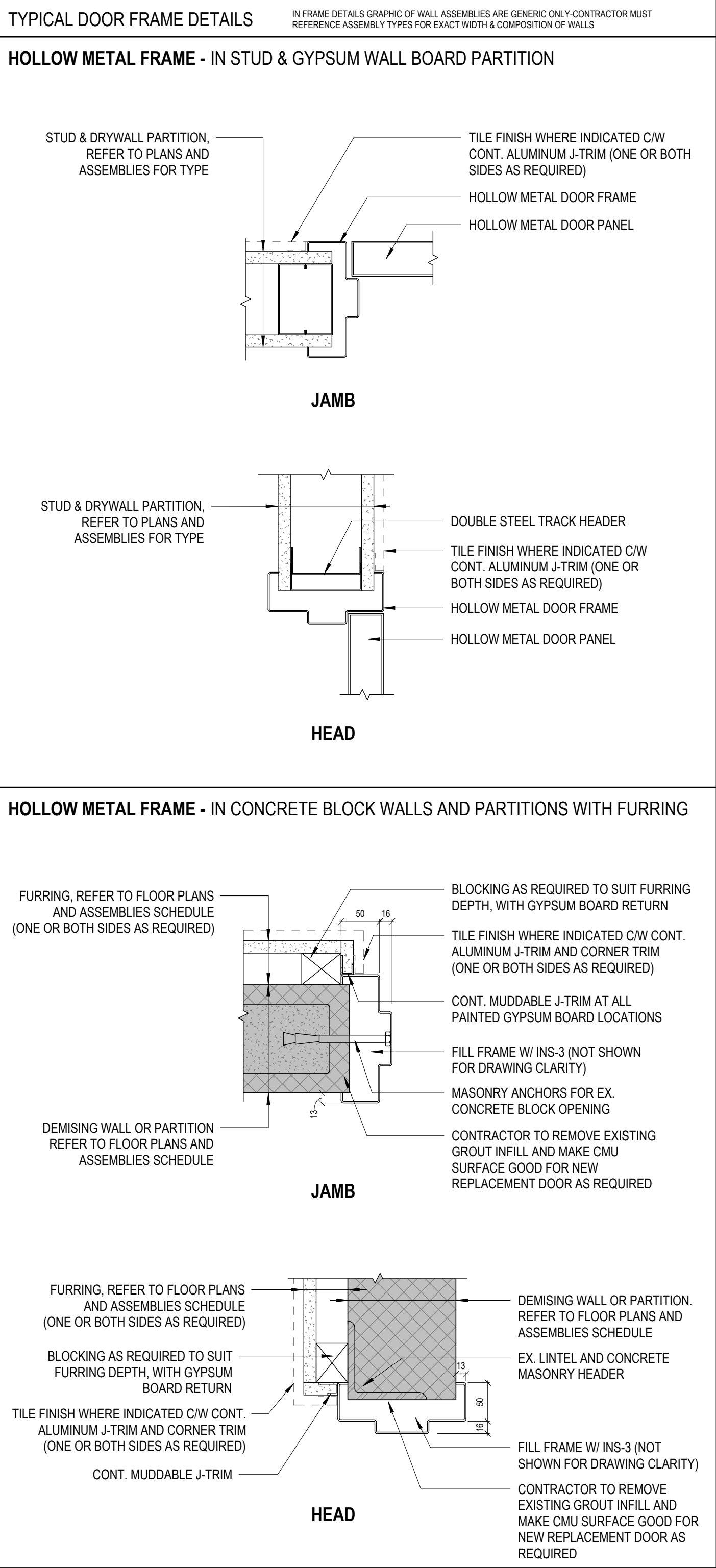
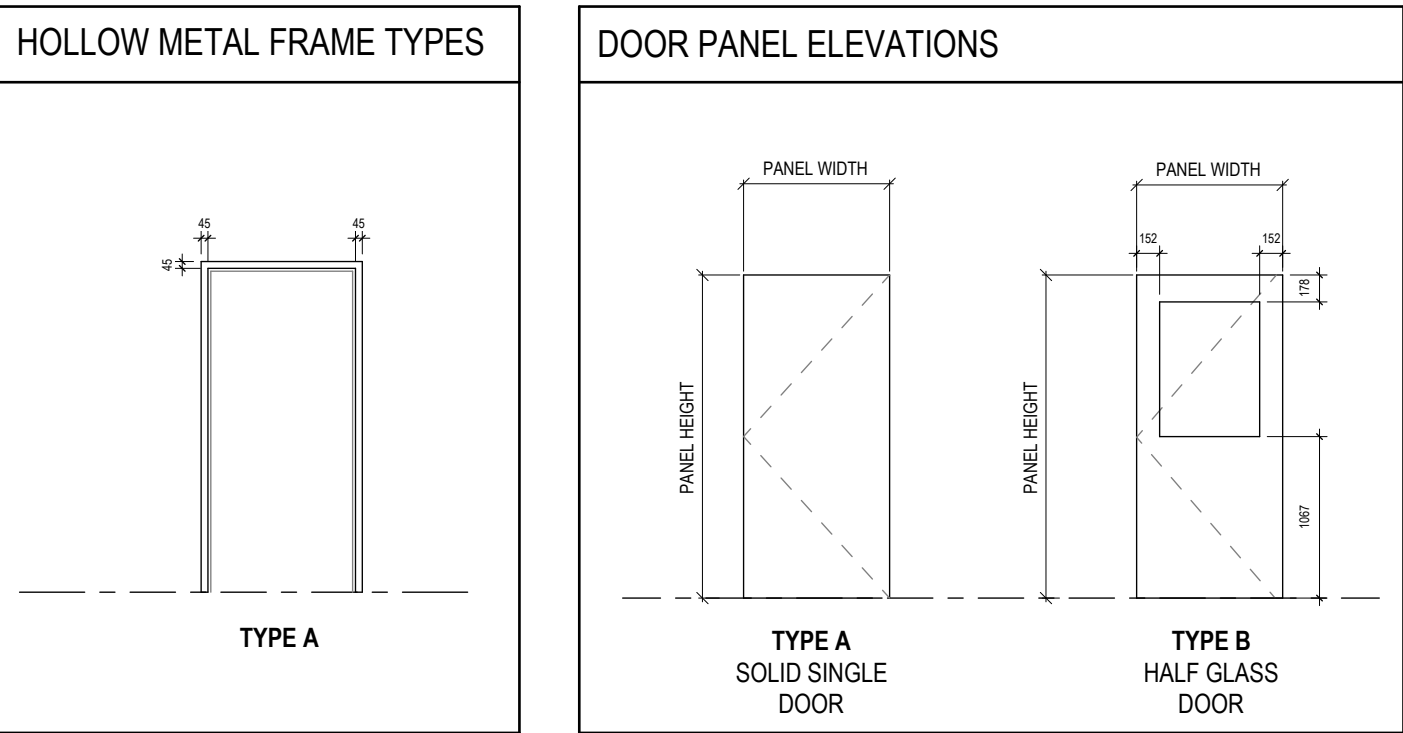
APPLICATION #

SHEET TITLE:
ASSEMBLIES SCHEDULE,
NOTES, AND LEGENDS

PROPERTY NO. RP-W-42	FACILITY CODE SS-W-02
FACILITIES PROJECT NO. SS-W-02-23-01	CONTRACT NO. RFP-1048-2025

DOOR SCHEDULE (PHASE 2)														
DOOR NO.	PANEL SIZE				PANEL CONSTRUCTION			FRAME CONSTRUCTION			GLAZING	FIRE RATING	HARDWARE	COMMENTS
	PANEL WIDTH	PANEL HEIGHT	THICKNESS	NO. OF PANELS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
D149A	+/- 1194	+/- 2124	+/- 45	1	B	HM	PN	A	HM	PN	GL4	45 MINS	REFER TO HARDWARE SPEC	CORRIDOR/LAUNDRY.
D149B	+/- 889	+/- 2119	+/- 45	1	B	HM	PN	A	HM	PN	GL4	45 MINS	REFER TO HARDWARE SPEC	CORRIDOR/LAUNDRY.
D149C	1219	2134	45	1	B	HM	PN	A	HM	PN	GL3		REFER TO HARDWARE SPEC	LAUNDRY/LAUNDRY
D150	+/- 1092	+/- 2134	+/- 45	1	B	HM	PN	A	HM	PN	GL4	45 MINS	REFER TO HARDWARE SPEC	COMMERCIAL KITCHEN/TEACHING KITCHEN
D150A	+/- 1153	+/- 2109	+/- 45	1	B	HM	PN	A	HM	PN	GL4	45 MINS	REFER TO HARDWARE SPEC	COMMERCIAL KITCHEN/CORRIDOR.
D150B	+/- 1092	+/- 2153	+/- 45	1	B	HM	PN	A	HM	PN	GL4	45 MINS	REFER TO HARDWARE SPEC	TEACHING KITCHEN/CORRIDOR.

CONTRACTOR TO VERIFY EXISTING ROUGH OPENING SIZE ON SITE AND MAXIMIZE REPLACEMENT DOOR SIZE.



- DOOR & FRAME NOTES

1.

REFER TO SPECIFICATIONS FOR FULL DESCRIPTION OF ALL DOOR, SCREEN, AND GLAZING TYPES.

2.

REFER TO ARCHITECTURAL FLOOR PLANS FOR DOOR SWING DIRECTION.

3.

REFER TO ELECTRICAL DOCUMENTS FOR ALL ADDITIONAL DOOR REQUIREMENTS.

4.

CONTRACTOR TO CONFIRM ALL FINISHES, LOCATIONS, QUANTITIES, AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.

5.

ALL DOORS IN FIRE SEPARATIONS REQUIRE DOOR CLOSERS REGARDLESS IF NOTED IN THE HARDWARE SCHEDULE.

6.

ALL EXIT DOORS TO HAVE HARDWARE IN CONFORMANCE TO O.B.C EXIT REQUIREMENTS. GENERAL CONTRACTOR TO COORDINATE INSTALLATION AND LOCATIONS WITH DOOR AND HARDWARE MANUFACTURER.

7.

ALL EXTERIOR DOORS TO BE INSULATED & HAVE THERMALLY BROKEN FRAMES. FILL FRAMES AND SPACE BETWEEN FRAMES AND ADJACENT MATERIALS W/ SPRAY FOAM INSULATION TO FULLY SEAL AGAINST ALL AIR INFILTRATION. PROVIDE WEATHERSTRIPPING AND THERMALLY-BROKEN THRESHOLDS AT ALL EXTERIOR DOORS, UNLESS NOTED OTHERWISE.

8.

ALL GLAZING AT INTERIOR DOORS AND SCREENS TO BE FULLY TEMPERED, UNLESS NOTED OTHERWISE.

9.

ALL GLAZING IN EXTERIOR OPENINGS TO BE INSULATED GLAZING UNITS. REFER TO WINDOW, CURTAIN WALL AND DOOR SCHEDULES, AS WELL AS SPECIFICATIONS FOR FULL DESCRIPTION.

10.

PROVIDE ACOUSTIC SEALANT AND FILL FRAME INSULATION AT ALL DOORS AND SCREENS IN ACOUSTICALLY RATED WALL ASSEMBLIES.

11.

COORDINATE FRAME SETTING HEIGHTS WITH FLOOR FINISHES, REFER TO FINISH PLANS.

12.

COORDINATE DOOR HARDWARE REQUIREMENTS WITH FRAME MANUFACTURER WHERE DOORS ARE LOCATED WITHIN AN ALUMINIUM FRAME SUCH AS CURTAIN WALL, WINDOW WALL, OR STOREFRONT GLAZING.

13.

COORDINATE HOLLOW METAL FRAME THROAT SIZING WITH INTERIOR PARTITIONS AS INDICATED ON THE ARCHITECTURAL FLOOR PLANS AND ASSEMBLIES SCHEDULE.

14.

COORDINATE HOLLOW METAL FRAME ANCHORS WITH INTERIOR PARTITIONS AS INDICATED ON THE ARCHITECTURAL FLOOR PLANS AND ASSEMBLIES SCHEDULE.

15.

PROVIDE MANUFACTURERS FLOOR ANCHOR STRAPS FOR ALL HOLLOW METAL JAMB FRAMES AND MULLION FLOOR ANCHORS FOR HOLLOW METAL MULLIONS. ANCHORS TO BE FIRE RATED TYPE.

16.

SITE VERIFY AND COORDINATE EXISTING PARTITION THICKNESSES WITH FRAME THROAT WHEN INSTALLING NEW DOOR FRAMES WITHIN EXISTING CONSTRUCTION.

DOOR MATERIAL LEGEND	
AL	ALUMINUM
AWV	WOOD VENEER ALUMINUM FRAME (FIRE RATED)
AN	ANODIZED
BA	BATT INSULATION
CF	CLEAR FINISH
HM	HOLLOW METAL
HMI	HOLLOW METAL, INSULATED
PI	POLYISO INSULATION
PN	PAIN (PNT-1, REFER TO WALL FINISH SCHEDULE)
SCW	SOLID CORE WOOD
ST	STAIN
WD	WOOD

HARDWARE LEGEND	
ADO	AUTOMATIC DOOR OPENER
CC	CONCEALED CLOSER
CH	COAT HOOK
CL	CLOSER
CR	CARD READER
DC	DOOR CONTACT
DP	DOOR PULL
DS	DOOR STOP
ED	EXIT DEVICE (PANIC BAR)
EHO	ELECTRIC HOLD OPEN
ES	ELECTRIC STRIKE
GL	GATE LATCH
IC	INTERCOM
KP	KICKPLATE
LS	LOCKSET (KEYED)
ML	MAGLOCK
PB	PUSH BUTTON
PLB	PUSH-TO-LOCK BUTTON
PLS	PASSAGE LOCKSET
PP	PUSH PLATE
REX	REQUEST TO EXIT SENSOR
SLS	STOREROOM LOCKSET
SS	SMOKE SEALS
TH	THRESHOLD
WS	WEATHERSTRIPPING

GLAZING LITE TYPES (PHASE 2)	
TAG	DESCRIPTION
GL3	LAMINATED TEMPERED GLAZING
GL4	LAMINATED TEMPERED GLAZING, RATED

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DO NOT SCALE DRAWINGS

PRIME CONSULTANT

LGA

architectural partners

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LGA

DRAWN BY:

LGA

CHECKED BY:

LGA

APPROVED BY:

LGA

SCALE:

As indicated

DATE:

2025-09-11 2:10:33 PM

CONSULTANT PROJECT NO.

241062

ISSUE DATE:

ISSUE DATE

2	2025-09-18	IFT
1	2025-07-14	ISSUED FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION

SEAL:

ONTARIO ASSOCIATION OF ARCHITECTS

ANUEL BARTMAN LICENCE 9554

DURHAM REGION

THE REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION & ASSET MANAGEMENT

PROJECT:

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

SHEET TITLE:

DOOR SCHEDULE

PROPERTY NO.
RP-W-42

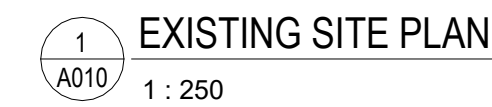
FACILITY CODE
SS-W-02

FACILITIES PROJECT NO.
SS-W-02-23-01

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RFP-1048-2025

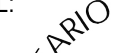
SHEET NO.

A003



SITE PLAN NOTES

1. ALL SITE DIMENSIONS SHOWN ON THIS DRAWING ARE TAKEN FROM DELPHI & JENKINS NORTH LTD. SURVEY.
PART OF LOT 20, CONCESSION 1
(GEOGRAPHIC TOWNSHIP OF WHITBY)
TOWN OF WHITBY
REGIONAL MUNICIPALITY OF DURHAM
DO NOT TAKE EXISTING DIMENSIONS FROM THIS DRAWINGS BUT USE THE SURVEY. IF THE CONTRACTOR FINDS DISCREPANCIES IN DIMENSIONS NOTIFY THE ARCHITECT.
2. TENANTS WILL REMAIN OPERATIONAL THROUGH THE DURATION OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FULLY PROTECT TENANTS FROM DUST & DEBRIS. NOISE TO ACCEPTABLE LIMITS. PROTECTION FROM WEATHER INCLUDING COLD AND PRECIPITATION. PROTECTION MEASURES WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE TO KEEP ALL PUBLIC ACCESSIBLE SPACES CLEAN AND FREE OF DEBRIS. THE CONTRACTOR IS TO WALK THE PERIMETER OF THE SITE EACH MORNING UPON ARRIVAL AND AT THE END OF DAY TO INSPECT CONDITIONS.
4. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EMERGENCY EXITS AND EGRESS FROM OCCUPIED TENANT SPACES REMAIN UN-OBSTRUCTED AND MEET BUILDING CODE. IF IN DOUBT DISCUSS WITH THE CONSULTANTS. IF EMERGENCY EXITING CANNOT BE MAINTAINED TO CODE, THE CONTRACTOR WILL BE REQUIRED TO REVIEW THE SITUATION WITH AUTHORITIES AND PROVIDE ANY ADDITIONAL REQUIREMENT. AUTHORITIES RECOMMEND, INCLUDING A FIRE WATCH.

SEAL: 



PROPERTY NO. RP-W-42	FACILITY CODE SS-W-02
FACILITIES PROJECT NO. SS-W-02-23-01	CONTRACT NO. RFP-1048-2025

A010



1 DEMO FIRST FLOOR PLAN - KEY PLAN
1 : 500

2 DEMO FIRST FLOOR PLAN
1 : 100

FLOOR PLAN DEMOLITION KEYNOTES

- DEMOLISH EX FLOOR FINISH & WALL BASE. MAKE GOOD FOR NEW CONSTRUCTION. REFER TO FINISH PLAN.
- DEMOLISH EX INTERIOR PARTITION WALLS, & ASSOCIATED DOORS & ACCESSORIES. ENTIRE SPACE TO BE ENTIRELY CLEARED OUT.
- DEMOLISH EX PLUMBING FIXTURES & ASSOCIATED HARDWARE/ACCESSORIES. ROUGH-INS TO REMAIN. CAP + SEAL. REFER TO MECH FOR FULL SCOPE OF WORK AS THIS DRAWING IS DIAGRAMATIC IN NATURE AND MAY NOT SHOW FULL SCOPE.
- DEMOLISH EX EXTERIOR WINDOW & ALL ASSOCIATED FRAMING, TRIM, FLASHINGS, AND SILLS. MAKE OPENING GOOD AS REQUIRED FOR FUTURE INFILL. REFER TO STRUCTURAL.
- REMOVE EX WALK-IN FRIDGE & FREEZER AND ALL ASSOCIATED PARTS, FIXTURES, COMPONENTS, ETC.
- DEMOLISH EX INFILL WALL AND MAKE GOOD AS REQUIRED FOR REPLACEMENT INFILL WALL.
- DEMOLISH EX MILLWORK & ALL ASSOCIATED HARDWARE & SUPPORTS, MAKE GOOD ALL DAMAGE TO EXISTING WALLS, FLOORS, AND CEILINGS TO ACCOMMODATE NEW CONSTRUCTION.
- DEMOLISH EX CEILING, LIGHT FIXTURES & ALL ASSOCIATED SUPPORTS. EXISTING STRUCTURE TO BE FULLY EXPOSED.
- TRENCH THROUGH CONCRETE SLAB AS REQUIRED FOR NEW SANITARY DRAIN CONNECTION, ELECTRICAL CONDUIT, AND REQUIRED DEMO SCOPE. REFER TO MECH & ELEC. EXTENT OF TRENCHING TO BE COORDINATED WITH MECH & ELEC DRAWINGS TO ENSURE ADEQUATE SPACING BETWEEN SERVICES. THE EXTENT OF TRENCHING IN THIS DRAWING IS DIAGRAMATIC AND IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM FULL EXTENT OF TRENCHING AND CONCRETE SLAB REPAIR REQUIRED TO ACCOMMODATE PROPOSED MECH & ELEC DESIGN.
- DEMOLISH EX FURRING FRAMING AND WALL FINISH ALONG EXTERIOR WALL. EXTERIOR EX CONCRETE WALL TO BE FULLY EXPOSED. PATCH AND REPAIR DAMAGE TO EX FOUNDATION WALL WHETHER EX OR DAMAGED AS PART OF DEMO.
- FLOORING PREVIOUSLY DEMOLISHED. GRIND AND PREP EXISTING CONCRETE SLAB AS REQUIRED TO RECIEVE NEW FLOOR FINISH. ENSURE TO COORDINATE WITH SLOPES TO DRAINS
- EX GWB CEILING FINISH PREVIOUSLY DEMOLISHED. REMAINING ASSOCIATED WOOD STRAPPING TO BE FULLY DEMOLISHED. SELECTIVELY REMOVE ANY CEILING ELEMENTS REMAINING AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL WORK IN CEILING SPACE, AND/OR TO RECIEVE NEW FINISH. THE GC IS TO INCLUDE FOR TEMPORARY REMOVAL AND REINSTALLATION OF ELECTRICAL AND MECHANICAL ITEMS IN THE CEILING. CONTRACTOR TO COORDINATE EXTENT OF REMOVAL AND REINSTALLATION WITH PROPOSED DRAWINGS. REFER TO MECH AND ELEC.
- EX GWB CEILING & ASSOCIATED WOOD STRAPPING TO BE FULLY DEMOLISHED TO ACCOMMODATE MECHANICAL AND ELECTRICAL WORK IN CEILING SPACE. THE GC IS TO INCLUDE FOR TEMPORARY REMOVAL AND REINSTALLATION OF ELECTRICAL AND MECHANICAL ITEMS IN THE CEILING. CONTRACTOR TO COORDINATE EXTENT OF REMOVAL AND REINSTALLATION WITH PROPOSED DRAWINGS. REFER TO MECH AND ELEC.
- EX ACT CEILING TILES TO BE FULLY DEMOLISHED. LIGHT FIXTURES, AND GRID TO BE SELECTIVELY REMOVED & REINSTATED AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL WORK IN CEILING SPACE. THE GC IS TO INCLUDE FOR TEMPORARY REMOVAL AND REINSTALLATION OF ELECTRICAL AND MECHANICAL ITEMS IN THE CEILING, AND REPAIRING/REPLACING ALL DAMAGED LIGHT FIXTURES AND ACT GRID. REFER TO MECH AND ELEC.
- EX PLUMBING DRAINAGE PIPING TO BE REMOVED AND CAPPED OFF AT EX MAIN. PATCH AND REPAIR EX CONCRETE SLAB AS REQUIRED. REFER TO MECH. THE EXTENT OF TRENCHING IN THIS DRAWING IS DIAGRAMATIC AND IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM FULL EXTENT OF TRENCHING AND CONCRETE SLAB REPAIR REQUIRED TO ACCOMMODATE PROPOSED MECH & ELEC DESIGN.
- PREPARE EX CONCRETE SLAB AS REQUIRED FOR NEW CONCRETE PAD, REFER TO STRUC.
- REMOVE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE. KEEP EX CARD READER AND STORE FOR FUTURE USE. DEMOLISH EXISTING CONCRETE FRAME INFILL ON ALL SIDES AND MAKE GOOD ROUGH OPENING AS REQUIRED FOR INSTALLATION OF REPLACEMENT DOOR. CONTRACTOR TO VERIFY EXISTING ROUGH-OPENING DIMENSIONS TO ENSURE MAXIMUM REPLACEMENT DOOR SIZE. IF REQUIRED, CONTRACTOR TO EXPAND OPENING OR INFILL OPENING TO ACCOMMODATE NEW DOOR & FRAME.
- REMOVE EXISTING WALL- MOUNTED FAN ALONG WITH ALL ASSOCIATED DUCTWORK AND MAKE GOOD FOR NEW CONSTRUCTION. REFER TO MECH
- EXISTING ELECTRICAL DEVICES WITHIN ROOM TO BE REMOVED AND SELECTIVELY REUSED. REFER TO ELECTRICAL FOR FULL EXTENT OF DEVICES TO BE REUSED.
- REMOVE EXISTING RADIATORS AND ALL ASSOCIATED HYDRONIC PIPING. REFER TO MECH.
- EXISTING DUCTWORK TO ROOF TO BE DEMOLISHED, REFER TO MECH.
- DEMOLISH EXISTING BULKHEAD AND ASSOCIATED DUCTWORK. REFER ALSO TO MECH.

DEMOLITION GENERAL NOTES

- THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL SCOPE OF DEMOLITION REQUIRED USING EXISTING SITE CONDITIONS AND THE COMPLETE CONTRACT DOCUMENT SETS INCLUSIVE OF ALL DISCIPLINES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, MECHANICAL, FOODSERVICE, RESTORATION, AND STRUCTURAL TO ACHIEVE THE FINAL SCOPE OF WORK.
- ALL DIMENSIONS ARE TO BE VERIFIED ON SITE. NO DIMENSIONS ARE TO BE INFERRED FROM THE DEMOLITION DRAWINGS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DEMOLITION PURPOSES. DRAWINGS ARE IN METRIC. DIMENSIONS ARE SHOWN IN MILLIMETERS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAKE GOOD ALL WALLS, CEILINGS AND FLOORING TO REMAIN THAT ARE AFFECTED BY DEMOLITION. WHERE EXISTING SURFACES ARE DISTURBED MAKE GOOD EXISTING SURFACE OR ENTIRE PLANE OF SURFACE BACK TO NEAREST CORNER OR CHANGE IN MATERIAL.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HOARDING TARPS, ETC TO PROTECT WORK AND MAINTAIN A DUST FREE ENVIRONMENT IN SURROUNDING AREAS.
- CONTRACTOR TO MAKE GOOD ALL JUNCTIONS BETWEEN EXISTING STRUCTURES IDENTIFIED AS TO BE REMOVED AND EXISTING STRUCTURES IDENTIFIED AS TO REMAIN.
- PARTITIONS AND WALLS SHALL BE REMOVED FULL HEIGHT TO STRUCTURE ABOVE.
- REMOVAL OF EXISTING FLOOR FINISHES SHALL INCLUDE MORTAR BED, UNDERLAYMENT OR OTHER CLEAVAGE MEMBRANES, UNDERPAD, BASE, FLOOR MOULDING AND TRANSITION STRIPS TO EXISTING STRUCTURE BELOW.
- REMOVAL OF EXISTING CEILING FINISHES SHALL INCLUDE ALL CEILING LAYERS AND RELATED MATERIAL TO EXISTING STRUCTURE ABOVE INCLUDING T-BAR, HANGERS AND LIGHTING WHERE APPLICABLE. REMOVE ALL DOUBLE CEILINGS, WHERE OLDER CEILING REMAINS OBSURED BY EXISTING CEILING. REMOVE EXISTING BATT INSULATION.
- CONTRACTOR TO VERIFY AND GET AUTHORIZATION FROM MUNICIPAL AUTHORITIES, CONSULTANTS AND OWNER BEFORE DISCONNECTING ANY SERVICES.
- CONTRACTOR TO COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DOCUMENTS ALL NEW OPENINGS TO BE CUT INTO THE EXISTING AND NEW ROOF.
- PROVIDE WASTE AUDIT REPORTS IN CONFORMANCE WITH AUTHORITIES HAVING JURISDICTION AS REQUIRED.
- REFER TO DEMOLITION AND REMOVALS SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
- THE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE AS-BUILT, STRUCTURAL, ELECTRICAL, MECHANICAL, RESTORATION, AND FOODSERVICE CONSULTANT DOCUMENTS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO ANY EXECUTION OF RELATED WORK. REFER TO ELECTRICAL & MECHANICAL DEMOLITION PLANS AND COORDINATE.
- THE CONTRACTORS SHALL ENSURE THAT THE LOCATIONS OF ALL SERVICES ARE IDENTIFIED PRIOR TO THE COMMENCEMENT OF WORK AND EXCAVATIONS. THE CONTRACTOR IS FULLY RESPONSIBLE TO REPAIR ANY DAMAGE TO SERVICES THEY HAVE COMMITTED.
- ALL STRUCTURAL COMPONENTS TO BE TAKEN OFF THE STRUCTURAL DOCUMENTS. NO STRUCTURAL DESIGN INFORMATION SHALL BE INFERRED FROM THE ARCHITECTURAL DRAWINGS.
- THE CONTRACTOR SHALL NOT USE THIS DRAWING TO INFER ANY SITE DIMENSIONS BUT SHALL USE THE OFFICIAL SURVEY.
- ALL GEODETIC INFORMATION ON THIS PLAN IS FOR REFERENCE ONLY.

NOTES ON DESIGNATED SUBSTANCES

- IN NO WAY SHOULD THE CONTRACTOR ASSUME THE SITE/BUILDING IS 100% FREE OF DESIGNATED SUBSTANCES. THE HAZARDOUS MATERIALS REPORT INDICATES MULTIPLE INSTANCES OF DESIGNATED SUBSTANCES. THE CONTRACTOR SHOULD REFER TO THE REPORT AND INCLUDE FOR FURTHER TESTING AND FULL REMOVAL AS REQUIRED AS PER REPORTS RECOMMENDATIONS.
- SHOULD THE CONTRACTOR COME IN CONTACT WITH ANY MATERIALS THAT LOOK SUSPICIOUS THEY SHOULD IMMEDIATELY STOP WORK, BOARD THE AREA OFF, TARP WITH PLASTIC AND SEAL, AND CONTACT THE CONSULTANTS IMMEDIATELY. THE OWNERS ENVIRONMENTAL CONSULTANT WILL BE ENGAGED TO INVESTIGATE FURTHER.

DEMOLITION GRAPHIC LEGEND

	EXISTING CONSTRUCTION (EXISTING CONSTRUCTION DOES NOT INDICATE NO APPLICABLE SCOPE. REFER TO ASSOCIATED KEYNOTES ON EXISTING CONSTRUCTION FOR FULL CONTEXT & DETAILS)
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING FLOORING TO BE DEMOLISHED
	EXISTING CEILING TO BE DEMOLISHED
	EXISTING FLOORING & CEILING TO BE DEMOLISHED
	EXISTING CEILING TO BE SELECTIVELY DEMOLISHED (EXTENT OF DEMO SHOWN GRAPHICALLY IS APPROXIMATE. REFER TO ASSOCIATED KEYNOTE FOR FULL DETAILED SCOPE)
	EXISTING CONCRETE SLAB TO BE DEMOLISHED FOR TRENCHING (EXTENT OF TRENCHING SHOWN GRAPHICALLY IS APPROXIMATE. REFER TO MECH & STRUC)
	EXISTING ROOF ASSEMBLY TO BE DEMOLISHED
	EX CONCRETE FLOOR SLAB / EX CONCRETE FLOOR SLAB N.I.C.
	EX VINYL FLOOR TILE / EX VINYL FLOOR TILE N.I.C.
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE DEMOLISHED

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PRIME CONSULTANT



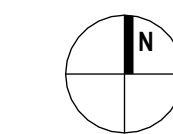
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SCALE:	As indicated	
DATE:	2025-09-11 2:10:37 PM	
CONSULTANT PROJECT NO.	241062	
ISSUE DATE:	ISSUE DATE	
2	2025-09-18	IFT
1	2025-07-14	ISSUED FOR BUILDING PERMIT
NO.	DATE	DESCRIPTION

SEAL:



PROJECT NORTH



THE REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION &
ASSET MANAGEMENT

PROJECT:

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

SHEET TITLE:

DEMO - FIRST FLOOR PLAN

PROPERTY NO.
RP-W-42

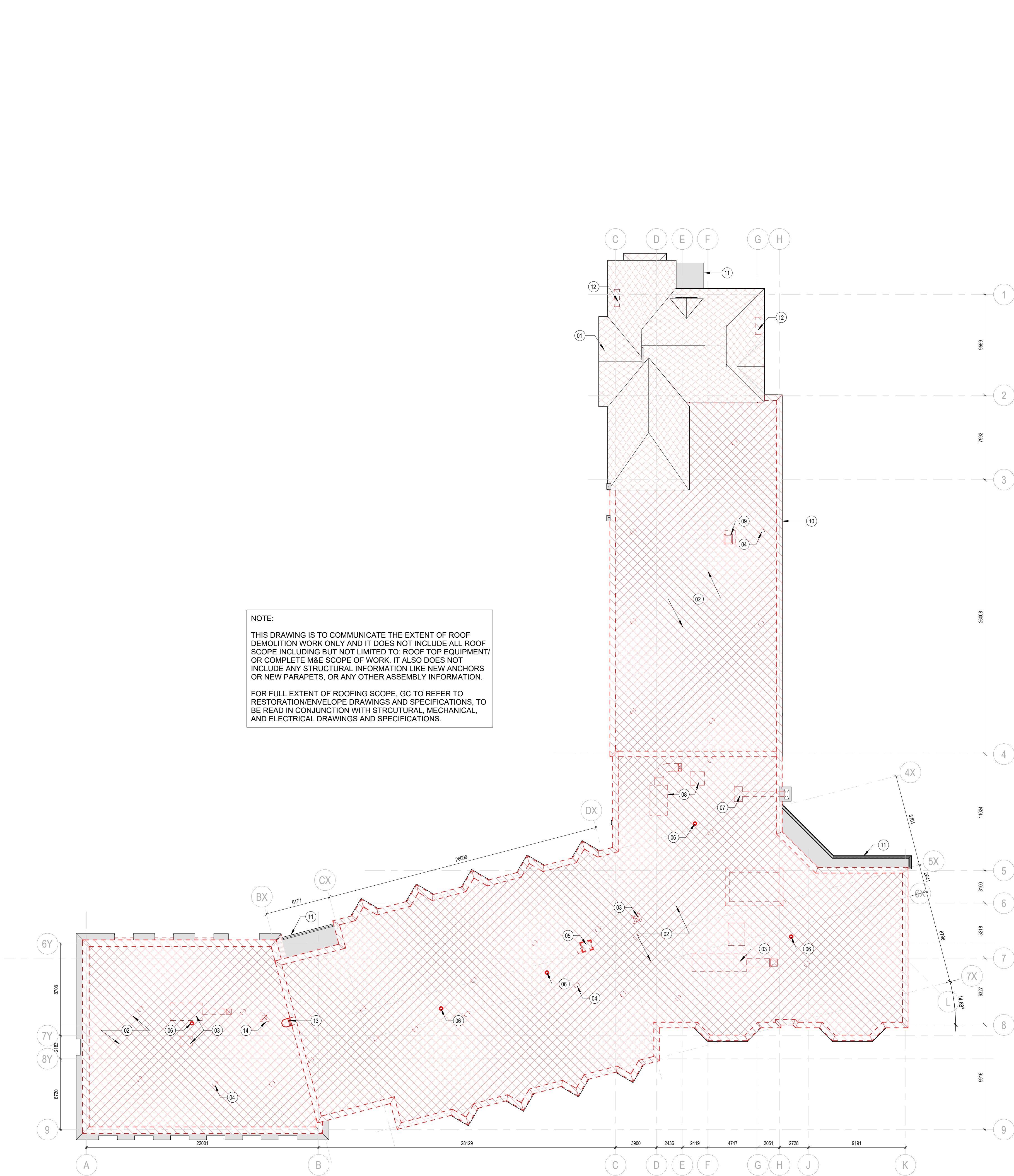
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SS-W-02-23-01

CONTRACT NO.
RFP-1048-2025

SHEET NO.

A050



- ROOF PLAN DEMOLITION KEYNOTES
- 01 REMOVE EXISTING SHINGLES, SOFFITS, FASCIA BOARDS, GUTTERS, AND RWLS AT ESTATE HOUSE. REFER TO RESTORATION/ENVELOPE DRAWINGS
 - 02 REMOVE EXISTING ROOF ASSEMBLY, REFER TO RESTORATION/ENVELOPE DRAWINGS & MECHELEC FOR GREATER DETAIL OF RELATED SCOPE
 - 03 EXISTING MECHANICAL EQUIPMENT TO BE TEMPORARILY REMOVED FOR FUTURE RE-INSTALLATION, REFER TO MECHANICAL, ELECTRICAL, & RESTORATION/ENVELOPE DRAWINGS
 - 04 EXISTING SANITARY VENTS TO BE REMOVED. MAINTAIN EXISTING VENT PIPE ROUGH-IN FOR FUTURE VENT CAP CONNECTION, REFER TO MECHANICAL & RESTORATION/ENVELOPE DRAWINGS
 - 05 EXISTING ROOF ACCESS HATCH TO BE REMOVED, REFER TO RESTORATION/BUILDING ENVELOPE
 - 06 EXISTING ROOF DRAIN TO BE REMOVED. EXISTING STORM DRAIN PIPE ROUGH-IN TO REMAIN FOR NEW ROOF DRAIN CONNECTION, REFER TO MECHANICAL & RESTORATION/ENVELOPE DRAWINGS
 - 07 EXISTING KITCHEN EXHAUST TO BE REMOVED ALONG WITH ASSOCIATED DUCTWORK, REFER TO MECHANICAL
 - 08 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED ALONG WITH ASSOCIATED PIPING, REFER TO MECHANICAL
 - 09 EXISTING MECHANICAL DOG HOUSE TO BE DEMOLISHED. OPENING IN ROOF TO BE ENLARGED. REFER TO STRUC. AND RESTORATION/BUILDING ENVELOPE.
 - 10 REMOVE EXISTING SCUPPERS AND PARAPET CAPS. REFER TO RESTORATION/BUILDING ENVELOPE.
 - 11 EXISTING CANOPY OR VESTIBULE ROOF NOT IN SCOPE.
 - 12 REMOVE EXISTING CHIMNEYS TO DOWN TO U/S SHEATHING, REFER TO RESTORATION/BUILDING ENVELOPE.
 - 13 REMOVE EXISTING ROOF ACCESS LADDER.
 - 14 EXISTING ROOF HATCH TO BE REMOVED AND ROOF OPENING TO BE INFILLED. REFER TO STRUCTURAL AND RESTORATION/BUILDING ENVELOPE.

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- THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL SCOPE OF DEMOLITION REQUIRED USING EXISTING SITE CONDITIONS AND THE COMPLETE CONTRACT DOCUMENT SETS INCLUSIVE OF ALL DISCIPLINES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, MECHANICAL, FOODSERVICE, RESTORATION, AND STRUCTURAL TO ACHIEVE THE FINAL SCOPE OF WORK.
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 - CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HOARDING TARPS, ETC TO PROTECT WORK AND MAINTAIN A DUST FREE ENVIRONMENT IN SURROUNDING AREAS.
 - CONTRACTOR TO MAKE GOOD ALL JUNCTIONS BETWEEN EXISTING STRUCTURES IDENTIFIED AS TO BE REMOVED AND EXISTING STRUCTURES IDENTIFIED AS TO REMAIN.
 - PARTITIONS AND WALLS SHALL BE REMOVED FULL HEIGHT TO STRUCTURE ABOVE.
 - REMOVAL OF EXISTING FLOOR FINISHES SHALL INCLUDE MORTAR BED, UNDERLAYMENT OR OTHER CLEAVAGE MEMBRANES, UNDERPAD, BASE, FLOOR MOULDING AND TRANSITION STRIPS TO EXISTING STRUCTURE BELOW.
 - REMOVAL OF EXISTING CEILING FINISHES SHALL INCLUDE ALL CEILING LAYERS AND RELATED MATERIAL TO EXISTING STRUCTURE ABOVE INCLUDING T-BAR, HANGERS AND LIGHTING WHERE APPLICABLE. REMOVE ALL DOUBLE CEILINGS, WHERE OLDER CEILING REMAINS OBSCURED BY EXISTING CEILING. REMOVE EXISTING BATT INSULATION.
 - CONTRACTOR TO VERIFY AND GET AUTHORIZATION FROM MUNICIPAL AUTHORITIES, CONSULTANTS AND OWNER BEFORE DISCONNECTING ANY SERVICES.
 - CONTRACTOR TO COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DOCUMENTS ALL NEW OPENINGS TO BE CUT INTO THE EXISTING AND NEW ROOF.
 - PROVIDE WASTE AUDIT REPORTS IN CONFORMANCE WITH AUTHORITIES HAVING JURISDICTION AS REQUIRED.
 - REFER TO DEMOLITION AND REMOVALS SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
 - THE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE AS-BUILT, STRUCTURAL, ELECTRICAL, MECHANICAL, RESTORATION, AND FOODSERVICE CONSULTANT DOCUMENTS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO ANY EXECUTION OF RELATED WORK. REFER TO ELECTRICAL & MECHANICAL DEMOLITION PLANS AND COORDINATE.
 - THE CONTRACTORS SHALL ENSURE THAT THE LOCATIONS OF ALL SERVICES ARE IDENTIFIED PRIOR TO THE COMMENCEMENT OF WORK AND EXCAVATIONS. THE CONTRACTOR IS FULLY RESPONSIBLE TO REPAIR ANY DAMAGE TO SERVICES THEY HAVE COMMITTED.
 - ALL STRUCTURAL COMPONENTS TO BE TAKEN OFF THE STRUCTURAL DOCUMENTS. NO STRUCTURAL DESIGN INFORMATION SHALL BE INFERRED FROM THE ARCHITECTURAL DRAWINGS.
 - THE CONTRACTOR SHALL NOT USE THIS DRAWING TO INFER ANY SITE DIMENSIONS BUT SHALL USE THE OFFICIAL SURVEY.
 - ALL GEODETIC INFORMATION ON THIS PLAN IS FOR REFERENCE ONLY.
- NOTES ON DESIGNATED SUBSTANCES
- IN NO WAY SHOULD THE CONTRACTOR ASSUME THE SITE/BUILDING IS 100% FREE OF DESIGNATED SUBSTANCES. THE HAZARDOUS MATERIALS REPORT INDICATES MULTIPLE INSTANCES OF DESIGNATED SUBSTANCES. THE CONTRACTOR SHOULD REFER TO THE REPORT AND INCLUDE FOR FURTHER TESTING AND FULL REMOVAL AS REQUIRED AS PER REPORTS RECOMMENDATIONS.
 - SHOULD THE CONTRACTOR COME IN CONTACT WITH ANY MATERIALS THAT LOOK SUSPICIOUS THEY SHOULD IMMEDIATELY STOP WORK, BOARD THE AREA OFF, TARP WITH PLASTIC AND SEAL, AND CONTACT THE CONSULTANTS IMMEDIATELY. THE OWNERS ENVIRONMENTAL CONSULTANT WILL BE ENGAGED TO INVESTIGATE FURTHER.

- DEMOLITION GRAPHIC LEGEND
- EXISTING CONSTRUCTION (EXISTING CONSTRUCTION DOES NOT INDICATE NO APPLICABLE SCOPE. REFER TO ASSOCIATED KEYNOTES ON EXISTING CONSTRUCTION FOR FULL CONTEXT & DETAILS)
 - EXISTING CONSTRUCTION TO BE DEMOLISHED
 - EXISTING FLOORING TO BE DEMOLISHED
 - EXISTING CEILING TO BE DEMOLISHED
 - EXISTING FLOORING & CEILING TO BE DEMOLISHED
 - EXISTING CEILING TO BE SELECTIVELY DEMOLISHED (EXTENT OF DEMO SHOWN GRAPHICALLY IS APPROXIMATE. REFER TO ASSOCIATED KEYNOTE FOR FULL DETAILED SCOPE)
 - EXISTING CONCRETE SLAB TO BE DEMOLISHED FOR TRENCHING (EXTENT OF TRENCHING SHOWN GRAPHICALLY IS APPROXIMATE. REFER TO MECH & STRUC)
 - EXISTING ROOF ASSEMBLY TO BE DEMOLISHED
 - EX CONCRETE FLOOR SLAB / EX CONCRETE FLOOR SLAB N.I.C.
 - EX VINYL FLOOR TILE / EX VINYL FLOOR TILE N.I.C.
 - EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE DEMOLISHED

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SCALE:	As indicated
DATE:	2025-09-11 2:10:39 PM
CONSULTANT PROJECT NO.	241062

ISSUE DATE:	ISSUE DATE
2	2025-09-18 IFT
1	2025-07-14 ISSUED FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION

SEAL:

PROJECT NORTH

DURHAM REGION

THE REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION & ASSET MANAGEMENT

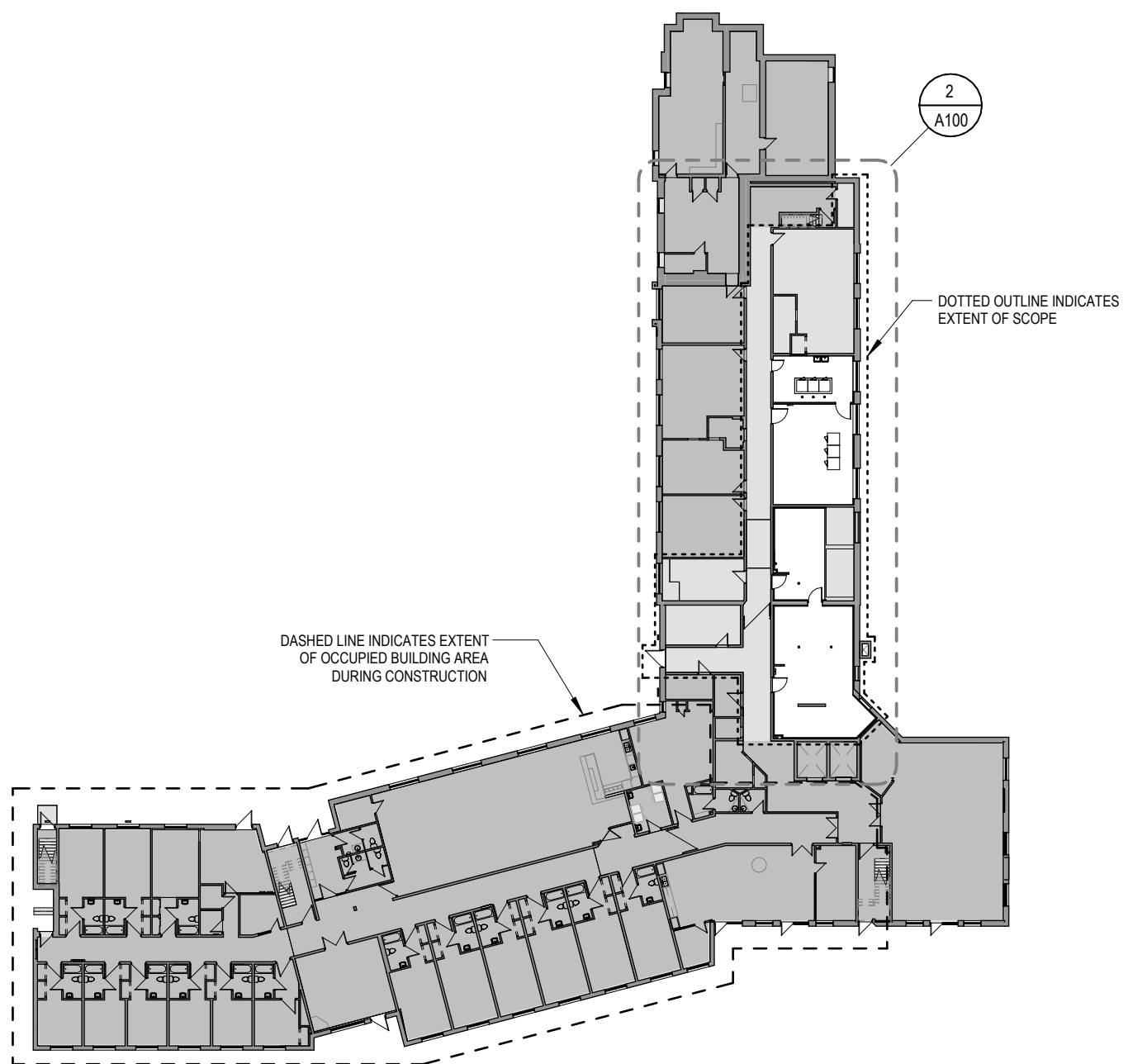
PROJECT:
PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

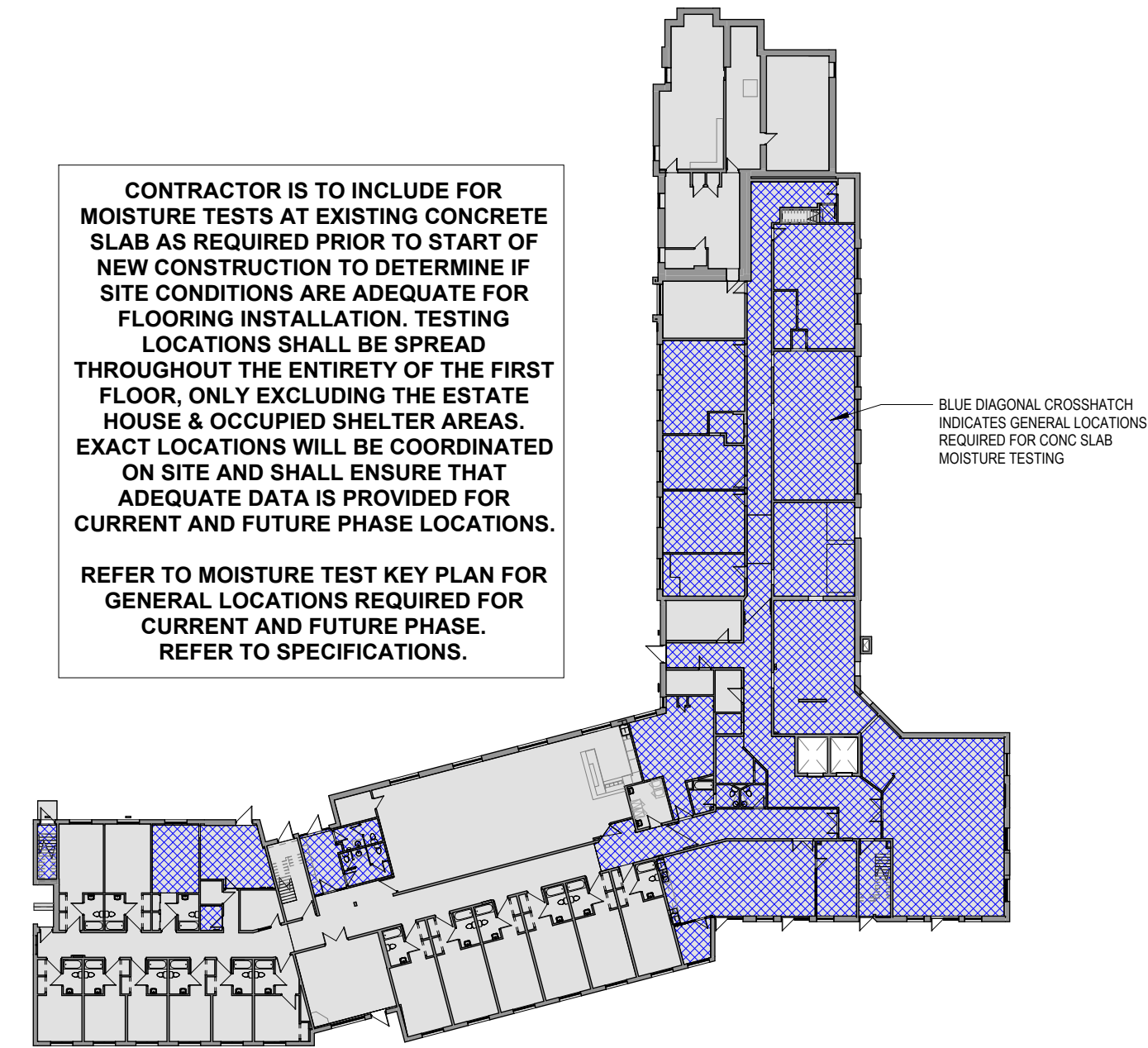
SHEET TITLE:
DEMO - ROOF PLAN

PROPERTY NO. RP-W-42	FACILITY CODE SS-W-02
FACILITIES PROJECT NO. SS-W-02-23-01	CONTRACT NO. RFP-1048-2025

SHEET NO.
A060



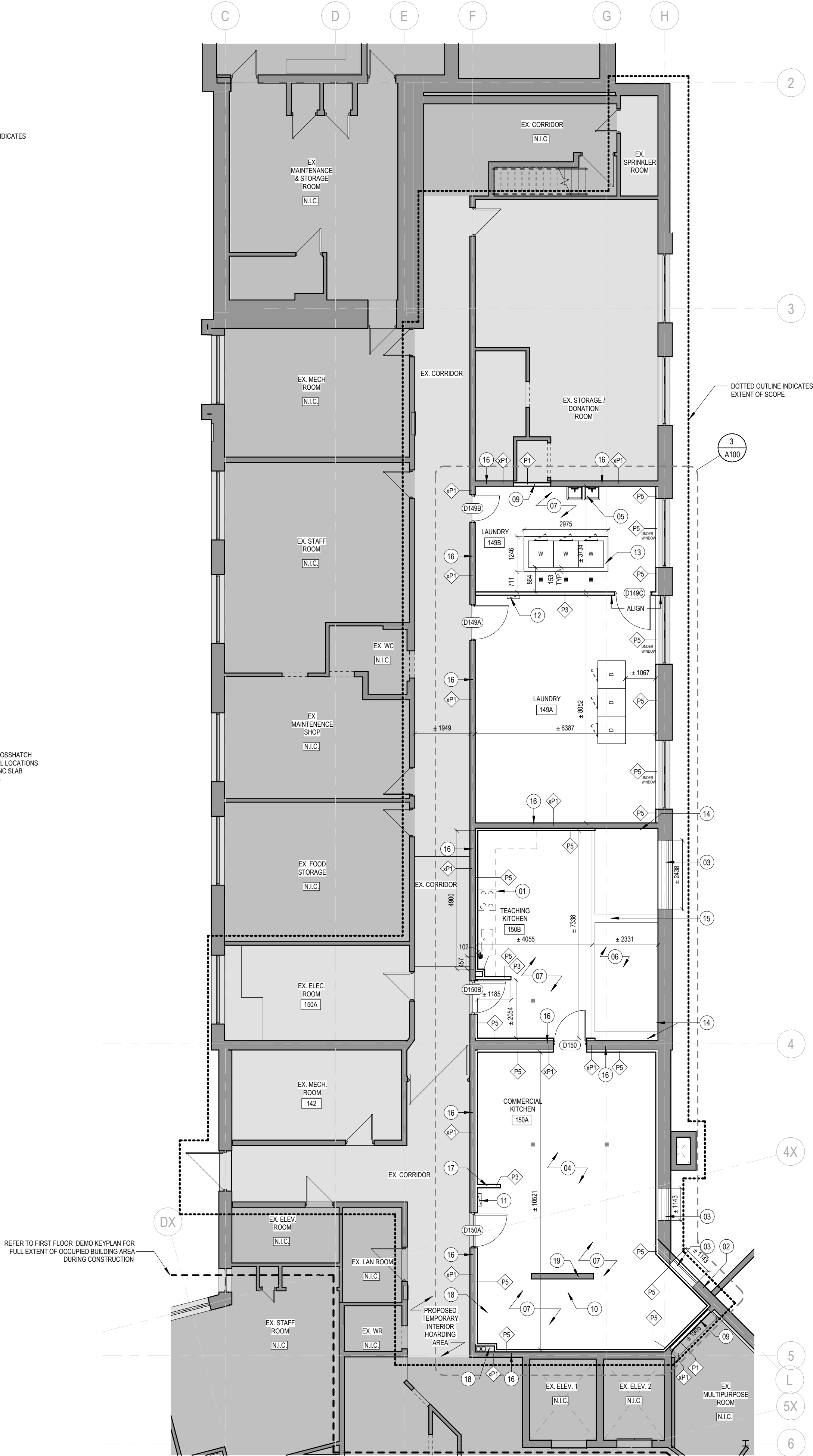
1 FIRST FLOOR - KEY PLAN
1 : 500



4 FIRST FLOOR - MOISTURE TEST KEY PLAN
1 : 500

FLOOR PLAN CONSTRUCTION LEGEND	
	EXISTING CONSTRUCTION (EXISTING CONSTRUCTION DOES NOT INDICATE NO APPLICABLE SCOPE. REFER TO ASSOCIATED KEYNOTES ON EXISTING CONSTRUCTION FOR FULL CONTEXT & DETAILS)
	NEW CONSTRUCTION
	EXISTING FLOOR FINISH / SURFACE AREA
	AREA N.I.C.
	EXISTING DOOR TO REMAIN
	NEW DOOR

FINISHES & TRANSITION LEGEND	
	FLOORING FINISH
	WALL BASE FINISH
	WALL FINISH
	EX CONCRETE FLOOR SLAB / EX CONCRETE FLOOR SLAB N.I.C.
	EX VINYL FLOOR TILE / EX VINYL FLOOR TILE N.I.C.
	TRANSITION STRIP (# DENOTES TYPE)



2 FIRST FLOOR PLAN
1 : 100

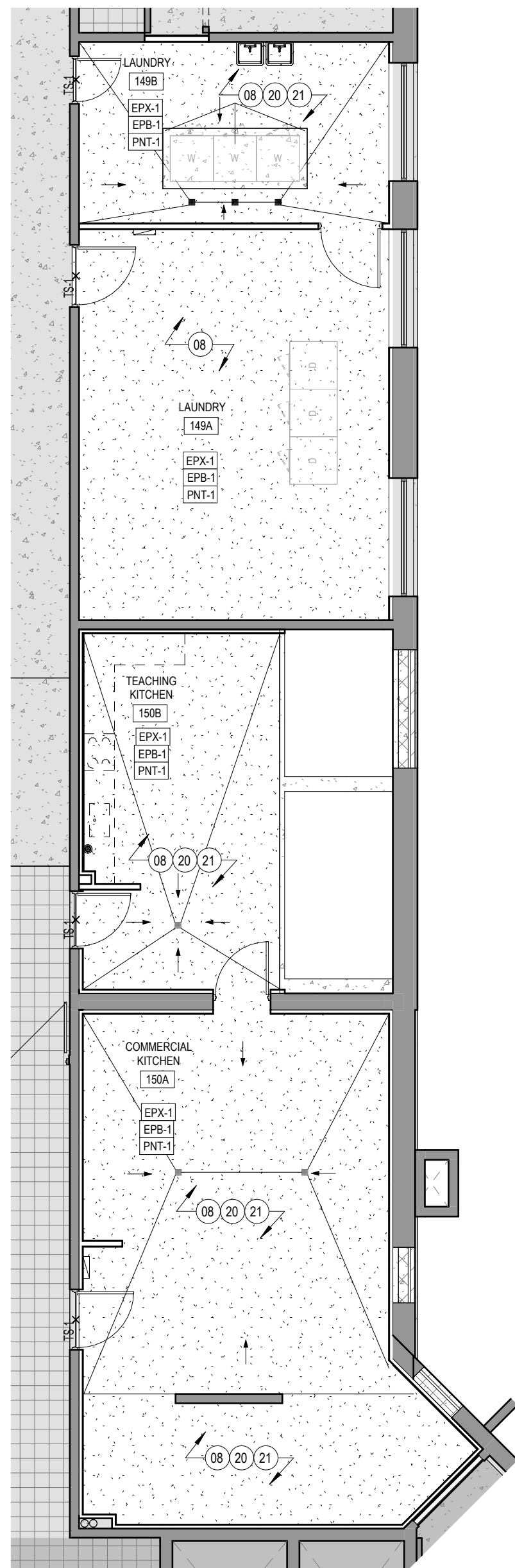
KITCHEN LAYOUT SHOWN FOR GRAPHIC REFERENCE ONLY. REFER TO FOODSERVICE DRAWINGS FOR MORE INFORMATION AND FULL SCOPE OF WORK. CONTRACTOR TO VERIFY ALL ROOM DIMENSIONS AND CONFIRM FIT OF ALL KITCHEN MILLWORK / EQUIPMENT ON SITE.

FINISH SCHEDULE - FLOOR (PHASE 2)	
TAG	DESCRIPTION
EPX-1	RESINOUS FLOORING FINISH

FINISH SCHEDULE - WALLS (PHASE 2)	
TAG	DESCRIPTION
CRT-1	CERAMIC TILE, TYPE 1
CRT-6	CERAMIC TILE, TYPE 6
PNT-1	PAINT (WET AREAS)

FINISH SCHEDULE - WALL BASE (PHASE 2)	
TAG	DESCRIPTION
EPB-1	RESINOUS COVE BASE, 305mm HIGH

FLOOR PLAN LEGEND	
	FLOOR DRAINS, REFER TO MECH
	EXISTING FLOOR DRAINS, REFER TO MECH
	FLOOR SINK, REFER TO MECH



3 FIRST FLOOR FINISH PLAN
1 : 100

FLOOR & FINISH PLAN GENERAL NOTES

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TAKEN TO THE FINISH FACE OF THE INTERIOR PARTITIONS AND EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS AT INTERIOR DOORS ARE TAKEN TO THE OUTSIDE EDGE OF DOOR FRAME, UNLESS NOTED OTHERWISE.
 - LOCATE ROUGH OPENINGS OF INTERIOR DOORS 100mm FROM INSIDE FACE IF INTERSECTING PARTITION, UNLESS NOTED OTHERWISE.
 - CLOSEST DOORS TO BE CENTERED ALONG INTERIOR CLOSET WIDTH, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS AT INTERIOR SCREENS ARE TAKEN TO THE OUTSIDE EDGE OF THE SCREEN FRAME, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS AT INTERIOR SCREENS ARE TAKEN TO THE OUTSIDE EDGE OF SCREEN FRAME, UNLESS NOTED OTHERWISE.
 - REFER TO MECHANICAL DOCUMENTS AND SPECIFICATIONS FOR FULL DESCRIPTION OF FLOOR DRAIN AND AREA DRAIN TYPES, REFER TO ARCHITECTURAL FOR LOCATION ONLY.
 - PLACE FOSSIL FLOWER COCKROACH AND SILVERFISH KILLER (DIATOMACEOUS EARTH) AT BOTTOM OF ALL CONCEALED & ACCESSIBLE SPACES, INCLUDING BUT NOT LIMITED TO BOTTOM PLATE OF WOOD AND METAL FRAME PARTITIONS, DUCT AND PIPE SHAFTS, BELOW BASE CABINETS, BUT NOT INCLUDING BOTTOM CAVITY OF EXTERIOR CAVITY WALLS.
 - THE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE AS-BUILT, STRUCTURAL, ELECTRICAL, MECHANICAL, RESTORATION, AND FOODSERVICE CONSULTANT DOCUMENTS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO ANY EXECUTION OF RELATED WORK, REFER TO ELECTRICAL & MECHANICAL DEMOLITION PLANS AND COORDINATE.

FLOOR & FINISH PLAN KEYNOTES

- MILLWORK, APPLIANCES AND FIXTURES TO BE INSTALLED IN FUTURE PHASE AS SHOWN DASHED. PROVIDE ALL MECHANICAL AND ELECTRICAL ROUGH-INS FOR FUTURE INSTALLATION. PROVIDE REQUIRED BLOCKING FOR FUTURE MILLWORK INSTALLATION. PROVIDE TILE BACKER FOR FUTURE BACKSPLASH INSTALLATION. REFER TO FOODSERVICE, MECH, AND ELEC.
- EXISTING WALL-MOUNTED FAN OPENING TO BE INFILLED WITH NEW CMU BLOCK TO MATCH EXISTING WALL THICKNESS. REFER TO STRUCTURAL.
- EXISTING WINDOW OPENING TO BE INFILLED WITH NEW CMU BLOCK TO MATCH EXISTING WALL THICKNESS. REFER TO STRUCTURAL.
- NEW COMMERCIAL KITCHEN LAYOUT. REFER TO FOODSERVICE, MECH, AND ELECTRICAL.
- PROPOSED SINK LOCATION, REFER TO MECH
- INFILL SLAB WHERE PREVIOUS WALK-IN COOLER WERE REMOVED. MAKE GOOD FOR NEW WALK-IN COOLER INSTALLATION.
- REINSTATE CONCRETE SLAB REMOVED FOR TRENCHING. REFER TO MECH, ELEC, DEMO FLOOR PLAN, & STRUCTURAL. PATCH & REPAIR, POUR AND INFILL EXISTING CONCRETE SLAB DAMAGED BY THE REQUIRED TRENCHING TO ACCOMMODATE BELOW SLAB SERVICES
- RESINOUS FLOORING FINISH ON EXISTING CONCRETE SLAB AND NEW CONCRETE PAD. GRIND EXISTING CONCRETE SLAB TO ACHIEVE SMOOTH SUBSTRATE BEFORE RESINOUS FLOORING INSTALLATION. REFER TO SPECIFICATIONS
- EXISTING CMU WALL OPENING (ASSUME FULL HEIGHT TO U/S OF SLAB) TO BE INFILLED WITH RATED ASSEMBLY P1. CENTER RATED INFILL ON CL OF CMU WALL AND PROVIDE CONT FIRESTOP SEALANT AT JOINT BETWEEN NEW RATED INFILL & EX CMU WALL AND AT JOINT BETWEEN EX FLOOR & NEW RATED INFILL. PROVIDE CONT FIRESTOP SEALANT ON BOTH SIDES OF INFILL. REFER TO ASSEMBLIES
- PROVIDE NEW ACCESS HATCH FOR GREASE INTERCEPTOR TANK, REFER TO MECH
- NEW ELECTRICAL PANEL LOCATION, REFER TO ELEC
- NEW ELECTRICAL PANEL LOCATION TO BE CONNECTED AT LATER PHASE, REFER TO ELEC
- NEW CONCRETE PAD FOR COMMERCIAL LAUNDRY MACHINES, REFER TO STRUC
- PROVIDE 102mm AIR SPACE BETWEEN FACE OF WALL AND WALK-IN COOLER/FREEZER ASSEMBLY, REFER TO FOODSERVICE
- PROVIDE 305mm AIR SPACE WITH DUCTING BETWEEN WALK-IN COOLER AND FREEZER ASSEMBLY, REFER TO FOODSERVICE AND MECH
- PATCH AND REPAIR ALL EXISTING & NEW DAMAGE TO EXISTING CMU WALLS AS RESULT OF CONSTRUCTION. ENSURE PATCH & REPAIRS LEAVE A SUITABLE SURFACE PREPARED FOR PAINTING AND ENSURE THE REQUIRED FRR IS MAINTAINED WHERE APPLICABLE. REFER TO ASSEMBLY xP1 FOR ADDITIONAL FRR NOTES AND REQUIREMENTS
- CONTRACTOR TO CONFIRM AND COORDINATE LOCATION OF PARTITION WITH FOODSERVICE EQUIPMENT SUPPLIER
- COORDINATE DIMENSION OF FURRED OUT WALL TO ACCOMMODATE MECH. ENSURE REMAINING SPACE BETWEEN FURRED WALL AND DOOR CAN ACCOMMODATE FOODSERVICE EQUIPMENT
- PATCH AND REPAIR EXISTING WALL AS REQUIRED TO RECEIVE PAINT FINISH
- IF REQUIRED TO ACHIEVE SLOPES TO DRAIN, CONTRACTOR IS TO CHIP CONCRETE TO ENSURE POSITIVE SLOPE TO DRAIN
- SLOPES SHOWN ARE FOR SCHEMATIC PURPOSES ONLY. CONTRACTOR IS TO COORDINATE SLOPES ON SITE AND ENSURE

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SCALE:	As indicated
DATE:	2025-09-11 2:10:47 PM
CONSULTANT PROJECT NO.	241062
ISSUE DATE: ISSUE DATE	
2	2025-09-18 IFT
1	2025-07-14 ISSUED FOR BUILDING PERMIT
NO.	DATE
DESCRIPTION	



THE REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION &
ASSET MANAGEMENT

PROJECT:

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

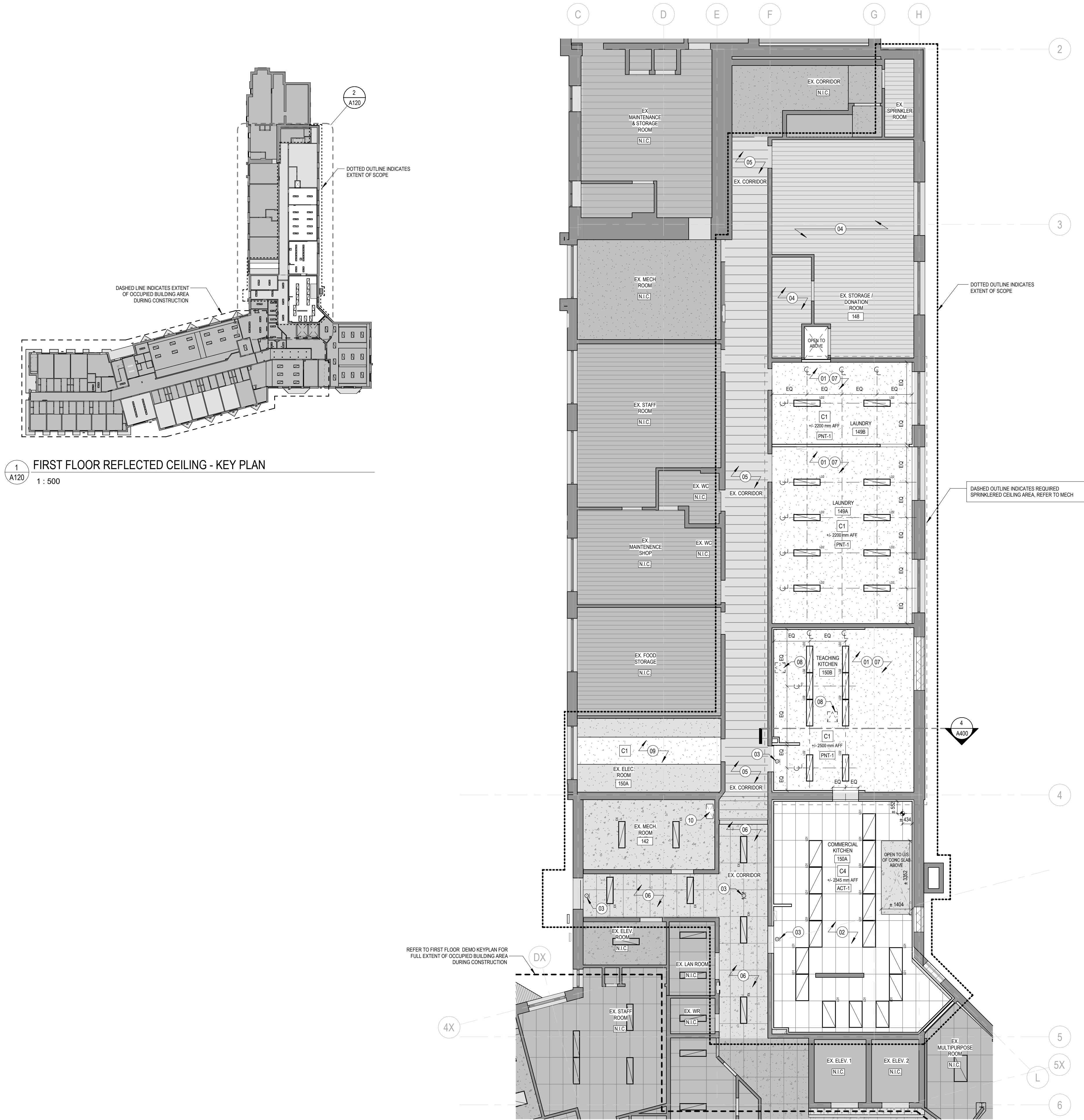
SHEET TITLE:

FIRST FLOOR & FINISH PLAN

PROPERTY NO. RP-W-42	FACILITY CODE SS-W-02
FACILITIES PROJECT NO. SS-W-02-23-01	CONTRACT NO. RFP-1048-2025

SHEET NO.

A100



1
A120
FIRST FLOOR REFLECTED CEILING - KEY PLAN
1 : 500

2
A120
FIRST FLOOR REFLECTED CEILING PLAN
1 : 100

REFLECTED CEILING PLAN FIXTURE LEGEND	
	RECESSED LED PANEL - 610 x 1220mm (2 x 4) REFER TO ELEC.
	SURFACE MOUNTED LED PANEL - 305 x 1220mm (1 x 4) REFER TO ELEC.
	SPRINKLER HEAD, REFER TO MECH.
	AIR SUPPLY, REFER TO MECH.
	LINEAR SUPPLY, REFER TO MECH.
	EXHAUST GRILLE, REFER TO MECH.
	ACCESS PANEL
	CEILING MOUNTED EXIST SIGNS, REFER TO ELEC.

REFLECTED CEILING PLAN GENERAL NOTES	
1.	REFER TO ELECTRICAL DOCUMENTS AND SPECIFICATIONS FOR FULL DESCRIPTION OF LUMINAIRE TYPES AND QUANTITIES. REFER TO ARCHITECTURAL FOR LOCATION ONLY.
2.	REFER TO MECHANICAL DOCUMENTS AND SPECIFICATIONS FOR FULL DESCRIPTION OF DIFFUSER TYPES AND QUANTITIES. REFER TO ARCHITECTURAL FOR LOCATION ONLY.
3.	REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR OTHER ITEMS TO BE INCORPORATED BUT NOT SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLAN. IF SUCH ITEMS ARE DRAWN IN ARCHITECTURAL DRAWINGS, IT IS FOR LOCATION ONLY.
4.	REFLECTED CEILING PLANS ARE TO BE READ IN CONJUNCTION WITH DETAILS AND DRAWINGS SHOWN ELSEWHERE WITHIN THE CONTRACT DOCUMENTS. IN THE EVENT OF DISCREPANCIES THE MORE STRINGENT REQUIREMENTS GOVERN (IE. GYPSUM BULKHEADS SHOWN ON REFLECTED CEILING PLANS MAY NOT APPEAR IN BUILDING SECTIONS BUT ARE REQUIRED TO BE INCORPORATED).
5.	UNLESS NOTED OTHERWISE: ALL INTERIOR PARTITION ASSEMBLIES AND BULKHEADS TO CONTINUE TO U/S OF FLOOR SLAB OR RATED MEMBRANE CEILING, WITH U/S OF BULKHEADS A MIN OF 25mm BELOW ADJACENT ACOUSTIC TILE FINISH.
6.	ALL EXPOSED MECHANICAL AND ELECTRICAL SERVICES AND STRUCTURE TO BE PAINTED. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR SPECIFIC EXCLUSIONS. ALLOW FOR TWO COLOURS FROM MANUFACTURES FULL RANGE, UNLESS OTHERWISE NOTED.
7.	COORDINATE THE HEIGHT OF BULKHEADS WITH CEILING HEIGHTS AND INTERIOR DETAILS THROUGHOUT.
8.	ALL BULKHEADS CONTAINING MECHANICAL AND/OR ELECTRICAL ELEMENTS (FOR EXAMPLE: AIR DIFFUSERS), TO BE FRAMED AND FURRED ACCORDINGLY TO ALLOW FOR CLEARANCES AND PASSAGE OF ALL SUCH ELEMENTS.
9.	PROVIDE ADDITIONAL FRAMING AND HANGERS AS REQUIRED TO BRIDGE AROUND INTERFACES, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, STRUCTURAL, AND PARTITIONS.
10.	CEILING ACCESS PANELS: ABOVE SUSPENDED CEILINGS, LOCATE MECHANICAL AND ELECTRICAL ITEMS THAT NEED ACCESS, WITHIN 600mm HORIZONTALLY AND 1000mm VERTICALLY FROM ALL CEILING ACCESS PANELS.
11.	CONTRACTOR TO PROVIDE CONDUIT LAYOUT SHOP DRAWINGS FOR ALL SURFACE MOUNTED CONDUIT AT EXPOSED CEILING LOCATIONS, AND EXPOSED COLUMN LOCATIONS, FOR CONSULTANT REVIEW PRIOR TO INSTALLATION. RUN CONDUIT HIDDEN ALONG BEAM LENGTHS AND BETWEEN JOISTS IN CAVITY. BENDS TO BE 90 DEGREES.

REFLECTED CEILING PLAN KEYNOTES	
01	ALL LIGHT FIXTURES ON RATED CEILING ASSEMBLY C1 ARE TO BE SURFACE MOUNT AND INSTALLED WITHOUT BREAKING FRR CONTINUITY. REFER TO ASSEMBLY C1 FOR ALL PENETRATION FRR REQUIREMENTS
02	PRIOR TO INSTALLING CEILING ASSEMBLY C4: PATCH AND REPAIR EXISTING HOLLOW CORE CONCRETE SLAB AS REQUIRED TO MAINTAIN COMPLETE CONTINUOUS FIRE RATING. REFER TO ASSEMBLY F3
03	EXIT SIGN LOCATION. REFER TO ELEC.
04	REINSTATE EXISTING ELECTRICAL & MECHANICAL ITEMS IN CEILING TEMPORARILY REMOVED TO ACCOMMODATE MECH & ELEC WORK IN CEILING SPACE AS REQUIRED. EXISTING O.W.S.J. & WOOD DECKING TO REMAIN EXPOSED. ROOM TO REMAIN UNOCCUPIED UPON COMPLETION OF CURRENT CONTRACT.
05	REINSTATE EXISTING ELECTRICAL & MECHANICAL ITEMS IN CEILING TEMPORARILY REMOVED TO ACCOMMODATE MECH & ELEC WORK IN CEILING SPACE AS REQUIRED. GWB CEILING SUPPORT FRAMING AND REINSTALLED ELECTRICAL & MECHANICAL ITEMS IN CEILING TO REMAIN EXPOSED. REFER TO DEMO FIRST FLOOR PLAN FOR APPROXIMATE EXTENT. REFER TO MECH AND ELEC.
06	REINSTATE EXISTING ACT CEILING GRID, LIGHT FIXTURES, AND ELECTRICAL & MECHANICAL ITEMS IN CEILING AS REQUIRED TO ACCOMMODATE MECH AND ELEC WORK IN CEILING SPACE. ACT CEILING GRID, AND MECH & ELEC ITEMS IN CEILING SPACE TO REMAIN EXPOSED. REFER TO DEMO FIRST FLOOR PLAN FOR APPROXIMATE EXTENT. REFER TO MECH AND ELEC.
07	PARTITIONS AND FURRING WALLS THROUGHOUT ROOM IS TO EXTEND TO U/S OF RATED CEILING ASSEMBLY C1 WITHOUT PENETRATING OR DISRUPTING THE CONTINUITY OF THE REQUIRED FRR. APPLICABLE FOR ROOMS 149A, 149B, & 150B. REFER TO DETAILS FOR TYPICAL CONSTRUCTION
08	RATED ACCESS PANEL. EXACT LOCATION TO BE COORDINATED ON SITE W/ ARCHITECT. REFER TO MECHANICAL.
09	REINSTATE EXISTING CEILING DEMOLISHED TO ACCOMMODATE MECH WORK IN CEILING SPACE. CONTRACTOR TO MAKE GOOD EXISTING CEILING PRIOR TO REINSTATEMENT AND ENSURE NEW CEILING IS FLUSH WITH EXISTING AND PATCH & REPAIR AS REQUIRED. REFER TO MECH
10	NEW DUCT EXTENDED TO ROOF MECH UNIT, REFER TO MECH

REFLECTED CEILING PLAN GRAPHIC LEGEND	
	EXISTING CONSTRUCTION (EXISTING CONSTRUCTION DOES NOT INDICATE NO APPLICABLE SCOPE. REFER TO ASSOCIATED KEYNOTES ON EXISTING CONSTRUCTION FOR FULL CONTEXT & DETAILS)
	EXISTING U/S OF GWB CEILING SUPPORT FRAMING
	EXISTING U/S OF O.W.S.J. & WOOD DECKING/ N.I.C.
	EXISTING GWB CEILING/ N.I.C.
	EXISTING U/S OF HOLLOWCORE SLAB/ N.I.C.
	EX U/S OF ACOUSTIC TILE GRID SYSTEM SUPPORT FRAMING (U/S OF HOLLOWCORE SLAB ABOVE. TILES PREVIOUSLY REMOVED)
	EX U/S OF ACOUSTIC TILE GRID SYSTEM SUPPORT FRAMING N.I.C. (U/S OF HOLLOWCORE SLAB ABOVE. TILES PREVIOUSLY REMOVED)

FINISH SCHEDULE - CEILING (PHASE 2)	
TAG	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE, 610x1220mm
PNT-1	PAINT (WET AREAS)

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SCALE:	As indicated	
DATE:	2025-09-11 2:10:52 PM	
CONSULTANT PROJECT NO.	241062	
ISSUE DATE:	ISSUE DATE	
2	2025-09-18	IFT
1	2025-07-14	ISSUED FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION

SEAL:

ONTARIO ASSOCIATION OF ARCHITECTS

ANSEL BARTMAN
LICENCE 9558

PROJECT NORTH

THE REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION & ASSET MANAGEMENT

PROJECT:

PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

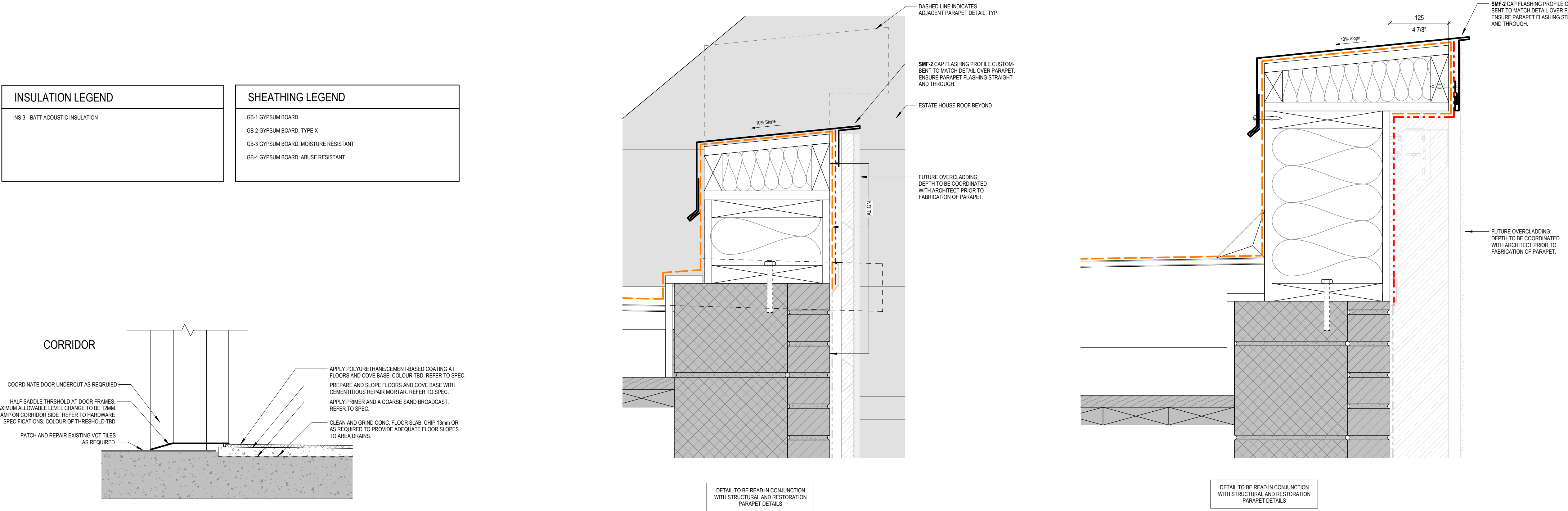
SHEET TITLE:

FIRST FLOOR REFLECTED CEILING PLAN

PROPERTY NO. RP-W-42	FACILITY CODE SS-W-02
FACILITIES PROJECT NO. SS-W-02-23-01	CONTRACT NO. RFP-1048-2025

SHEET NO.

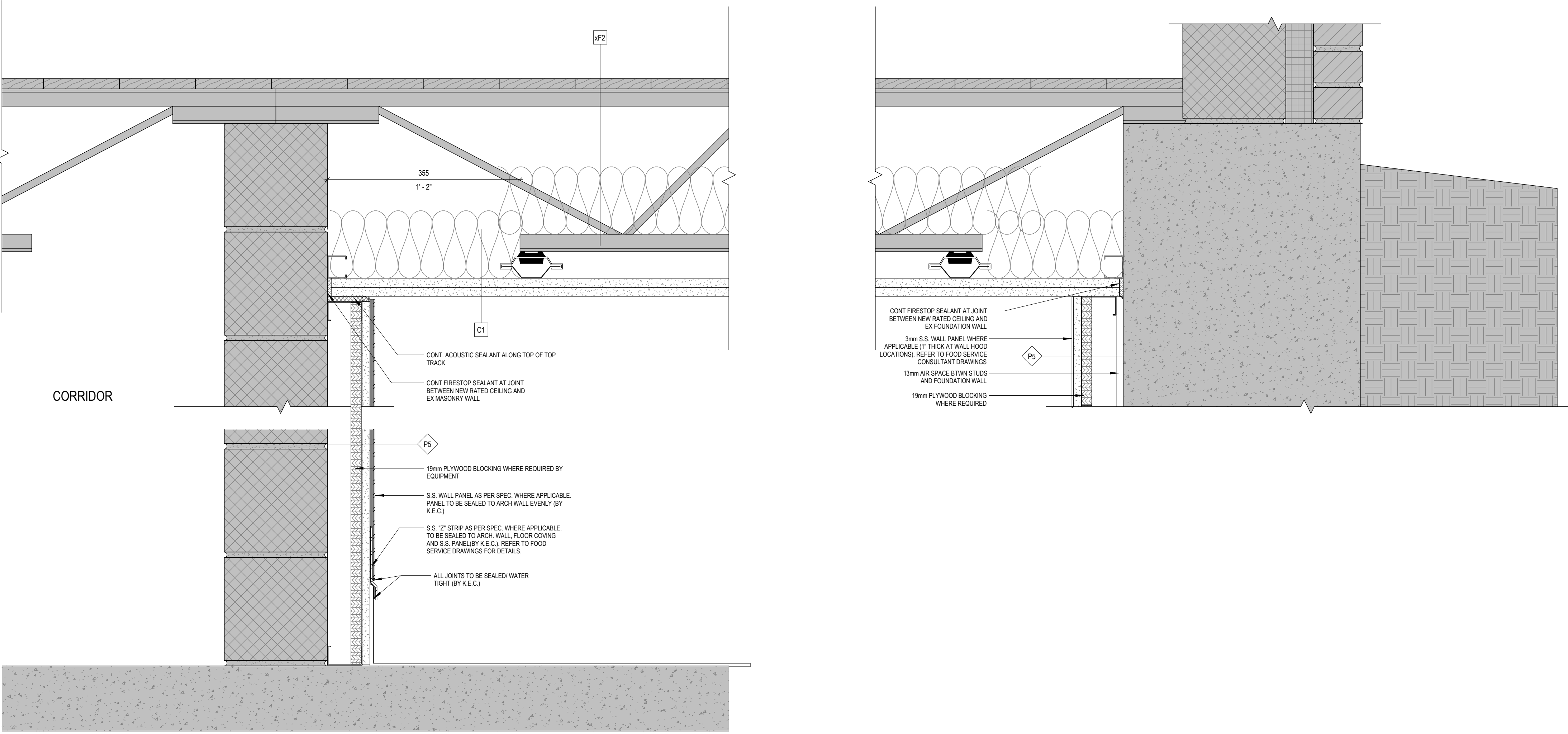
A120



5 TYP. TRANSITION @ EXISTING VCT TO EPOXY
A400 1 : 5

3 PARAPET DETAIL ADJACENT TO ESTATE HOUSE
A400 1 : 5

2 PARAPET DETAIL, TYP.
A400 1 : 5



4 SECTION DETAIL @ RATED CEILING, STAINLESS STEEL WALL CLADDING AND EPOXY BASE
A400 1 : 5

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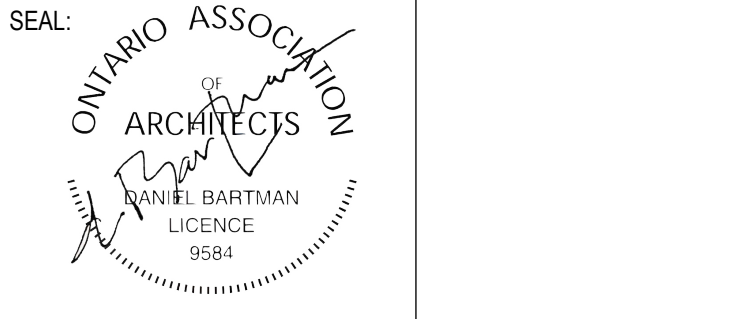
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SCALE:	As indicated	
DATE:	2025-09-11 2:10:53 PM	
CONSULTANT PROJECT NO.	241062	
ISSUE DATE:	ISSUE DATE	
2	2025-09-18 IFT	
1	2025-07-14 ISSUED FOR BUILDING PERMIT	
NO.	DATE	DESCRIPTION



THE REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT
DESIGN, CONSTRUCTION & ASSET MANAGEMENT

PROJECT:
PHASE 2 RENOVATIONS

1635 DUNDAS STREET EAST
WHITBY, ONTARIO

SHEET TITLE:
DETAILS, MILLWORK, & INTERIOR ELEVATIONS

PROPERTY NO. RP-W-42	FACILITY CODE SS-W-02
FACILITIES PROJECT NO. SS-W-02-23-01	CONTRACT NO. RFP-1048-2025

SHEET NO.
A400