

Eastside Secondary School

275 Farley Avenue

LIST OF DRAWINGS

A000 LIST OF DRAWINGS, KEY PLAN, AND OBC MATRIX

ARCHITECTURAL

A201	OVERALL FIRST FLOOR PLAN
A202	PART FIRST FLOOR DEMOLITION PLAN
A203	PART FIRST FLOOR DEMOLITION PLAN
A204	PART FIRST FLOOR PLAN
A205	PART FIRST FLOOR PLAN
A206	GREENHOUSE DEMOLITION PLANS AND SECTION
A301	ELEVATIONS - WINDOW DEMOLITION
A302	BUILDING ELEVATIONS
A501	PLAN DETAILS
A502	SECTION DETAILS
A901	WINDOW AND DOOR SCHEDULES AND DETAILS

MECHANICAL

M-0	TITLE SHEET
M-1.1	MECHANICAL SPECIFICATIONS
M-1.2	MECHANICAL LEGEND
M-2.1	PART GROUND FLOOR PLAN - HYDRONIC DEMOLITION AND NEW
M-2.2	PART GROUND FLOOR PLAN - PLUMBING DEMOLITION

ELECTRICAL

E-1	ELECTRICAL SPEC., LEGEND, DRAWING LIST, AND DETAILS
E-2	ELECTRICAL DEMOLITION PLANS

CONSULTANTS

ARCHITECTURAL / STRUCTURAL



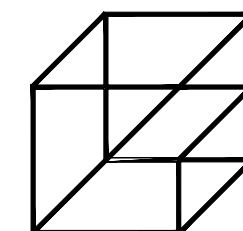
**BARRY BRYAN
ASSOCIATES**

Architects
Engineers
Project Managers

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MECHANICAL :



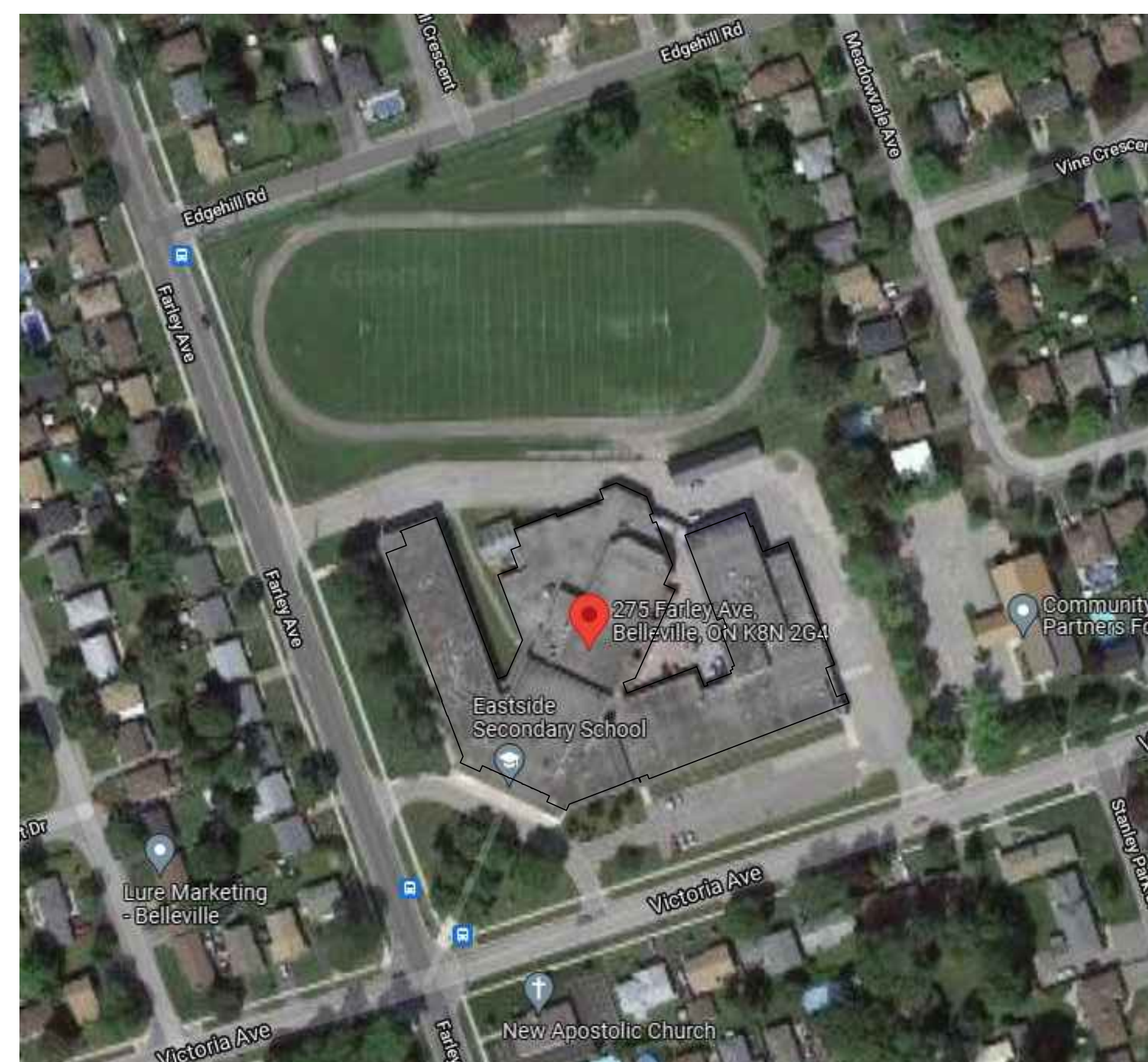
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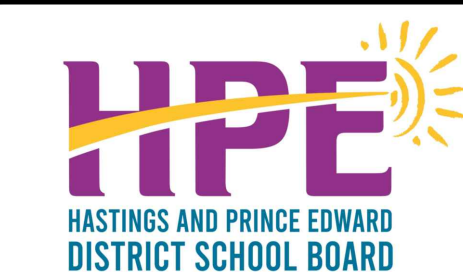


KEY PLAN : NTS

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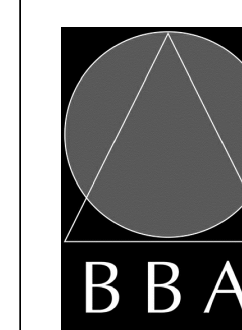
NO.	REVISIONS	DATE	BY

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PROJECT:
**EASTSIDE SECONDARY
WINDOW AND OPTIONAL
DOOR REPLACEMENT &
GREENHOUSE DEMO.**

275 FARLEY AVENUE
BELLEVILLE, ONTARIO
HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:

DRAWING LIST, KEY PLAN,
AND OBC MATRIX

BARRY BRYAN
ASSOCIATES

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PROJECT NO

25042



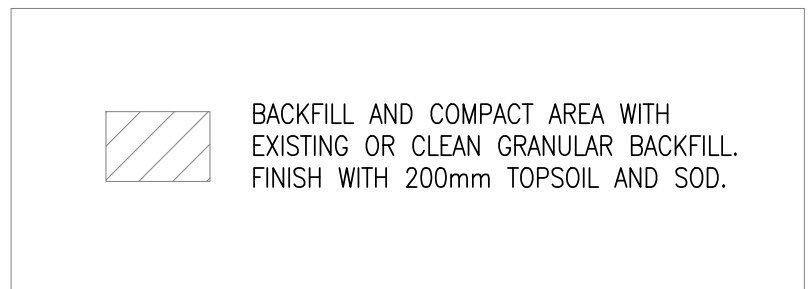
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DATE:	MAR. 2025
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DRAWING NO:

A000



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DRAWING:

OVERALL FIRST
FLOOR PLAN



PROJECT NO:
25042



DRAWING NO:
A201

DEMOLITION NOTES

PATCH, REPAIR AND MAKE GOOD AT ALL AFFECTED SURFACES AND FINISHES AFFECTED BY DEMOLITION AND NEW CONSTRUCTION.

- REMOVE AND DISPOSE OF EXISTING WINDOWS. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- REMOVE ROLLER SHADES AS REQUIRED FOR WINDOW REPLACEMENT AND RETURN TO OWNER. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES.
- PATCH, REPAIR AND MAKE GOOD ALL DAMAGED PLASTER AROUND COLUMNS. FINISH TO MATCH EXISTING (PAINT) - TYPICAL.
- REMOVE EXISTING MECHANICAL UNIT / SUPPORTS (AT WINDOWS) ALL ITEMS TO BE RETURNED TO OWNER. PATCH AND REPAIR BRICK FACADE AS REQUIRED TO WEATHERPROOF.
- PROVIDE OPTIONAL PRICING FOR REMOVAL AND DISPOSING OF EXISTING DOOR AND FRAME. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- REMOVE AND DISPOSE OF PART EXISTING ACOUSTIC CEILING TILE CEILING / BULKHEAD (EXTENT TO BE DETERMINED ON SITE FOR NEW CONSTRUCTION) INCLUDING ALL GRIDS, LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.

- REMOVE AND DISPOSE OF EXISTING GLASS AND METAL FRAME DOOR AND WINDOWS ALL AROUND GREENHOUSE.
- REMOVE AND DISPOSE OF EXISTING BLOCK WALL. ENSURE EXTERIOR ASSEMBLY OF ADJACENT INTERIOR SPACE IS NOT AFFECTED BY DEMOLITION. IF BLOCK WALL IS ACTING AS RAINSCREEN FINISH, ADVISE CONSULTANT AND OWNER.
- REMOVE AND DISPOSE OF EXISTING WOOD AND METAL FRAME PLANTERS.
- REMOVE AND DISPOSE OF EXISTING MILLWORK.
- REMOVE AND DISPOSE OF EXISTING CONCRETE SLAB AND GRADE BEAM FOUNDATION. BACKFILL SITE WITH CLEAN FILL AND COMPACT IN ACCORDANCE WITH LOCAL REQUIREMENTS TO MATCH EXISTING GRADE.
- REMOVE AND DISPOSE OF EXISTING BRICK VENEER ALL AROUND GREEN HOUSE.
- REMOVE AND DISPOSE OF EXISTING STEEL STRUCTURE.
- REMOVE AND DISPOSE OF EXISTING CEILING LIGHTING FIXTURES.
- REMOVE AND DISPOSE OF EXISTING CAISSONS. BACKFILL AND COMPACT WITH EXISTING OR CLEAN BACKFILL. SOD ALL AFFECTED AREAS.

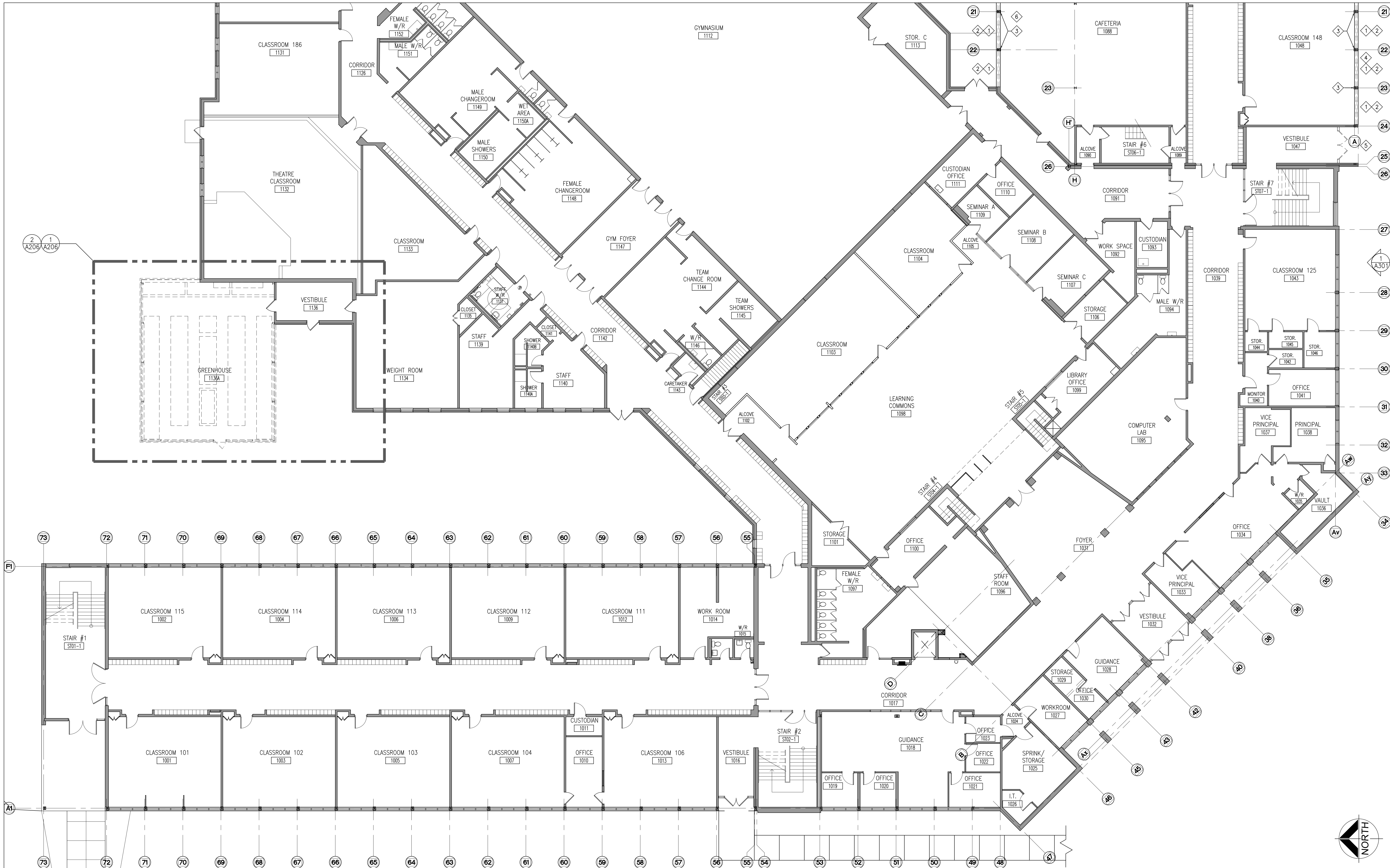
TYPICAL DEMOLITION NOTES

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
- DISCONNECT AND CAP OFF ALL REQUIRED SERVICES PRIOR TO DEMOLITION.
- DISPOSE MATERIALS OFF SITE.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- BUILDING TO BE SECURED BY THE GENERAL CONTRACTOR AT ALL TIMES.
- PREPARE ALL AFFECTED WALLS AND CEILINGS FOR NEW PAINT FINISH AND PAINT TO MATCH EXISTING (TYPICAL).
- REVIEW DSR ALL AFFECTED AREAS TO CONFIRM ABATEMENT PROTOCOLS ASSOCIATED WITH DEMOLITION. REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT (PRE-CONSTRUCTION) CONDUCTED BY PINCHIN LTD. ON OCTOBER 20, 2021.
- REMOVAL OF ANY SOILS FROM SITE TO BE TESTED PRIOR TO DISPOSAL.

DEMOLITION LEGEND

- EXISTING WALL, PARTITION OR COLUMN
- DENOTES DEMOLITION OF BUILDING ELEMENT
- EXISTING DOOR, FRAME AND TRIM TO REMAIN
- EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.



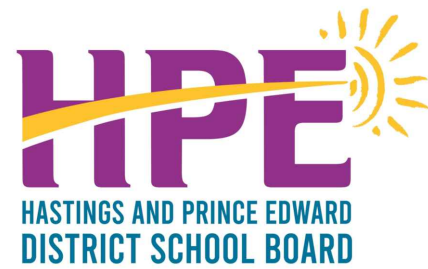
1 PART FIRST FLOOR DEMOLITION PLAN

1:125

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NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	MAR. 21, 2025	BBA
2	ISSUED FOR TENDER	MAR. 28, 2025	BBA

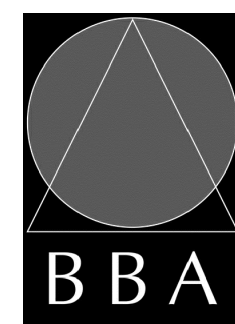
NO.	REVISIONS	DATE	BY
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PROJECT:
EASTSIDE SECONDARY WINDOW AND OPTIONAL DOOR REPLACEMENT & GREENHOUSE DEMO.

275 FARLEY AVENUE
BELLEVILLE, ONTARIO

HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:
PART FIRST FLOOR DEMOLITION PLAN



BARRY BRYAN ASSOCIATES

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DESIGN BY: BBA
DRAWN BY: JS
CHECKED BY: AA
DATE: MAR. 2025
SCALE: 1:125
FILE:

PROJECT NO:

25042

DRAWING NO:

A202

DEMOLITION NOTES

PATCH, REPAIR AND MAKE GOOD AT ALL AFFECTED SURFACES AND FINISHES AFFECTED BY DEMOLITION AND NEW CONSTRUCTION.

- 1 REMOVE AND DISPOSE OF EXISTING WINDOWS. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 2 REMOVE ROLLER SHADES AS REQUIRED FOR WINDOW REPLACEMENT AND RETURN TO OWNER. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES.
- 3 PATCH, REPAIR AND MAKE GOOD ALL DAMAGED PLASTER AROUND COLUMNS. FINISH TO MATCH EXISTING (PAINT), TYPICAL.
- 4 REMOVE EXISTING MECHANICAL UNIT / SUPPORTS (AT WINDOWS) ALL ITEMS TO BE RETURNED TO OWNER. PATCH AND REPAIR BRICK FACADE AS REQUIRED TO WEATHERPROOF.
- 5 PROVIDE OPTIONAL PRICING FOR REMOVAL AND DISPOSING OF EXISTING DOOR AND FRAME. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 6 REMOVE AND DISPOSE OF PART EXISTING ACOUSTIC CEILING TILE CEILING / BALANCEHEAD (EXTENT TO BE DETERMINED ON SITE FOR NEW CONSTRUCTION) INCLUDING ALL GRIDS, LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.

- 7 REMOVE AND DISPOSE OF EXISTING GLASS AND METAL FRAME DOOR AND WINDOWS ALL AROUND GREENHOUSE.
- 8 REMOVE AND DISPOSE OF EXISTING BLOCK WALL. ENSURE EXTERIOR ASSEMBLY OF ADJACENT INTERIOR SPACE IS NOT AFFECTED BY DEMOLITION. IF BLOCK WALL IS ACTING AS RAINSCREEN FINISH, ADVISE CONSULTANT AND OWNER.
- 9 REMOVE AND DISPOSE OF EXISTING WOOD AND METAL FRAME PLANTERS.
- 10 REMOVE AND DISPOSE OF EXISTING MILLWORK.
- 11 REMOVE AND DISPOSE OF EXISTING CONCRETE SLAB AND GRADE BEAM FOUNDATION. BACKFILL SITE WITH CLEAN FILL AND COMPACT IN ACCORDANCE WITH LOCAL REQUIREMENTS TO MATCH EXISTING GRADE.
- 12 REMOVE AND DISPOSE OF EXISTING BRICK VENER ALL AROUND GREEN HOUSE.
- 13 REMOVE AND DISPOSE OF EXISTING STEEL STRUCTURE.
- 14 REMOVE AND DISPOSE OF EXISTING CEILING LIGHTING FIXTURES.
- 15 REMOVE AND DISPOSE OF EXISTING CAISSONS. BACKFILL AND COMPACT WITH EXISTING OR CLEAN BACKFILL. SDO ALL AFFECTED AREAS.

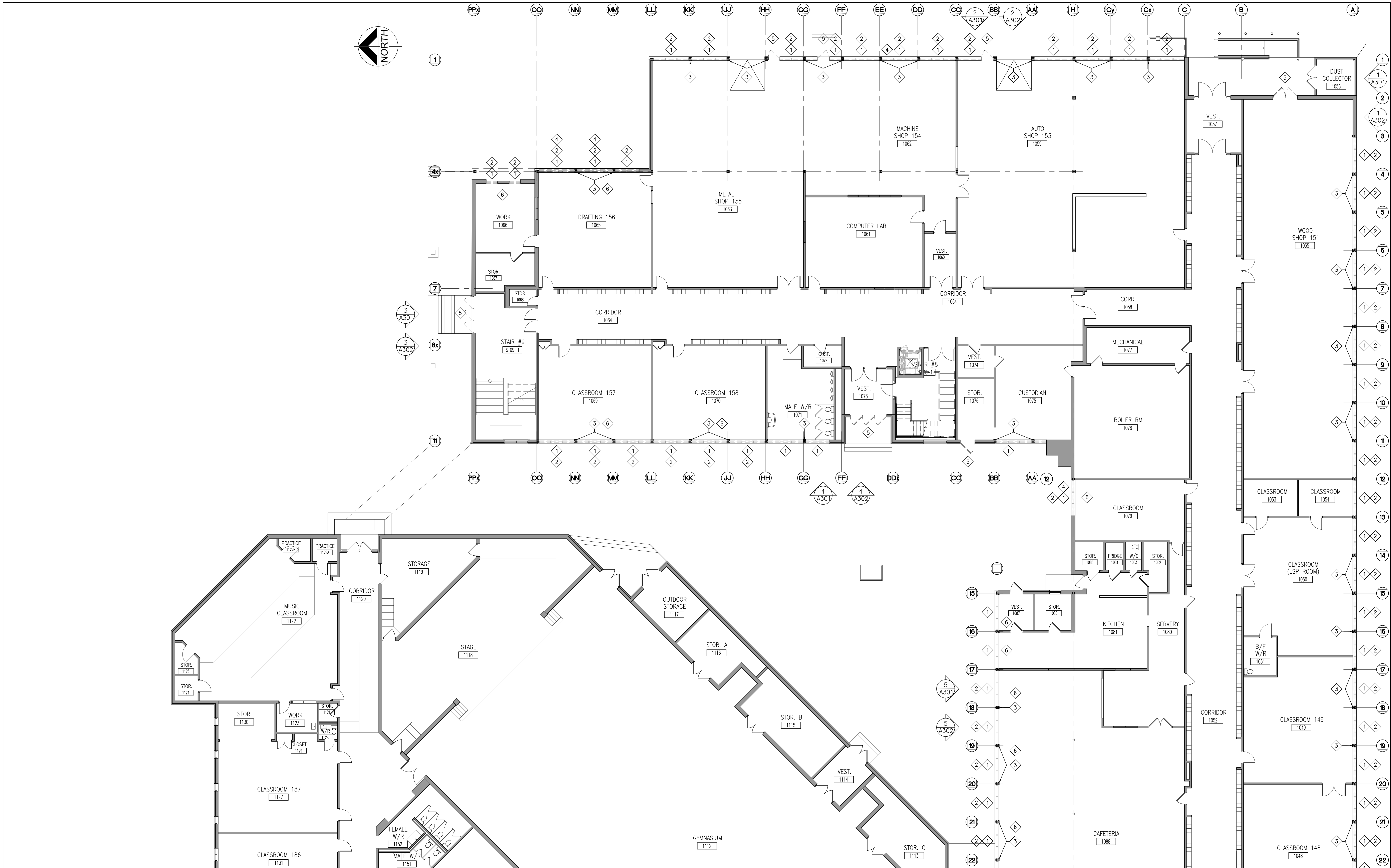
TYPICAL DEMOLITION NOTES

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
7. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
8. DISCONNECT AND CAP OFF ALL REQUIRED SERVICES PRIOR TO DEMOLITION.
9. DISPOSE MATERIALS OFF SITE.
10. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
12. BUILDING TO BE SECURED BY THE GENERAL CONTRACTOR AT ALL TIMES.
13. PREPARE ALL AFFECTED WALLS AND CEILINGS FOR NEW PAINT FINISH AND PAINT TO MATCH EXISTING (TYPICAL).
14. REVIEW DSR ALL AFFECTED AREAS TO CONFIRM ABATEMENT PROTOCOLS ASSOCIATED WITH DEMOLITION. REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT (PRE-CONSTRUCTION) CONDUCTED BY FINCHIN LTD. ON OCTOBER 20, 2021.
15. REMOVAL OF ANY SOILS FROM SITE TO BE TESTED PRIOR TO DISPOSAL.

DEMOLITION LEGEND

- EXISTING WALL, PARTITION OR COLUMN
- DENOTES DEMOLITION OF BUILDING ELEMENT
- EXISTING DOOR, FRAME AND TRIM TO REMAIN
- EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.

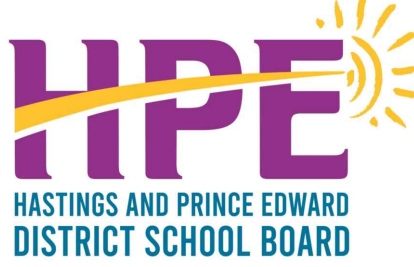


1 PART FIRST FLOOR DEMOLITION PLAN

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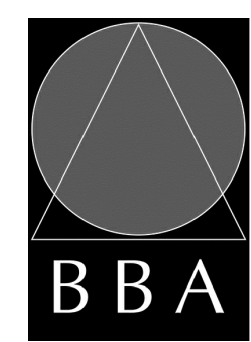
NO.	ISSUES	DATE	BY
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PROJECT:
EASTSIDE SECONDARY WINDOW AND OPTIONAL DOOR REPLACEMENT & GREENHOUSE DEMO.

275 FARLEY AVENUE
BELLEVILLE, ONTARIO
HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:
PART FIRST FLOOR DEMOLITION PLAN



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Engineers
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DESIGN BY: BBA	SEC. CONTROL DATE:
DRAWN BY: JS	% COMPLETE
CHECKED BY: AA	INITIAL
DATE: MAR. 2025	SCALE: 1:125
FILE:	

PROJECT NO:
25042

DRAWING NO:
A203

PROJECT CONSTRUCTION NOTES

- A) EXISTING WINDOWS WHERE (WINDOWS / SILL REPLACEMENT) ARE TO BE PROTECTED AND PAINTED.
- B) REPLACE / REPAIR EXISTING CEILING, JAMB, HEADER, AND SILL DURING WINDOW CONSTRUCTION. (REFER TO PLANS & SECTIONS)
- C) ALL EXISTING MILLWORK AT NEW WINDOW CONSTRUCTION TO REMAIN AND PROTECTED. MAKE GOOD ALL AREAS AFFECTED.
- D) ENTIRE WALL WHERE NEW WINDOW REPLACEMENT ARE TO BE REPAINTED. MAKE GOOD ALL AREAS PRIOR PAINTING.
- E) NEW WINDOWS ARE TO BE INSTALLED FLUSH WITH EXISTING INTERIOR SILL. WINDOW SUPPLIER RESPONSIBLE FOR ALL INTERIOR FLASHES AT WINDOW IF NOT INSTALLED FLUSH / TO MATCH EXISTING.
- F) INTERIOR OF WINDOW TO BE FINISHED WITH EPOXY AT ALL SEAMS.
- G) ALL WINDOWS / FRAMES ARE TO BE SITE VERIFIED PRIOR TO FABRICATION.
- H) NEW ROLLER SHADES TO BE PROCURED AND INSTALLED AS REQUIRED AT ALL NEW WINDOWS. SITE VERIFY FOR SIZES.

FLOOR PLAN NOTATION LEGEND

- ROOM NAME
- ROOM NAME & NUMBER
- BUILDING ELEVATION REFERENCE
- WALL SECTION REFERENCE
- NEW WINDOW FRAME GLAZING (REFER TO A501 SCHEDULE)
- INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL ON LEFT SIDE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION
- INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL ON RIGHT SIDE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION
- INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL IN CENTRE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION

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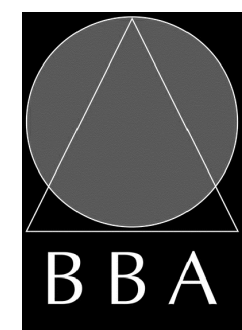
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PROJECT:
EASTSIDE SECONDARY WINDOW AND OPTIONAL DOOR REPLACEMENT & GREENHOUSE DEMO.

275 FARLEY AVENUE
BELLEVILLE, ONTARIO
HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:

PART FIRST FLOOR PLAN



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DESIGN BY: BBA
DRAWN BY: JS
CHECKED BY: AA
DATE: MAR. 2025
SCALE: 1/125
FILE:

DOC. CONTROL: 5 COMPLETE
INITIAL:

PROJECT NO:
25042

DRAWING NO:
A204



1 PART FIRST FLOOR PLAN
1:125

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**HASTINGS AND PRINCE EDWARD
DISTRICT SCHOOL BOARD**

NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	MAR 21, 2025	BBA
2	ISSUED FOR TENDER	MAR 28, 2025	BBA



DRAWING:

PART FIRST
FLOOR PLAN

PROJECT NO: 25042	DRAWING NO: A205
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	EXISTING WALL, PARTITION OR COLUMN
	DENOTES DEMOLITION OF BUILDING ELEMENT
	EXISTING DOOR, FRAME AND TRIM TO REMAIN
	EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.

- 1 REMOVE AND DISPOSE OF EXISTING WINDOWS. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 2 REMOVE ROLLER SHADES AS REQUIRED FOR WINDOW REPLACEMENT AND RETURN TO OWNER. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES.
- 3 PATCH, REPAIR AND MAKE GOOD ALL DAMAGED PLASTER AROUND COLUMNS. FINISH TO MATCH EXISTING (PAINT), TYPICAL.
- 4 REMOVE EXISTING MECHANICAL UNIT / SUPPORTS (AT WINDOWS) ALL ITEMS TO BE RETURNED TO OWNER. PATCH AND REPAIR BRICK FACADE AS REQUIRED TO WEATHERPROOF.
- 5 PROVIDE OPTIONAL PRICING FOR REMOVAL AND DISPOSING OF EXISTING DOOR AND FRAME. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 6 REMOVE AND DISPOSE OF PART EXISTING ACQUANT CEILING TILE CEILING / BULKHEAD (EXTENT TO BE DETERMINED ON SITE FOR NEW CONSTRUCTION) INCLUDING ALL GROS LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.
- 7 REMOVE AND DISPOSE OF EXISTING GLASS AND METAL FRAME DOOR AND WINDOWS ALL AROUND GREENHOUSE.
- 8 REMOVE AND DISPOSE OF EXISTING BLOCK WALL. ENSURE EXTERIOR ASSEMBLY OF ADJACENT INTERIOR SPACE IS NOT AFFECTED BY DEMOLITION. IF BLOCK WALL IS ACTING AS RAINSCREEN FINISH, ADVISE CONSULTANT AND OWNER.
- 9 REMOVE AND DISPOSE OF EXISTING WOOD AND METAL FRAME PARTNERS.
- 10 REMOVE AND DISPOSE OF EXISTING MILLWORK.
- 11 REMOVE AND DISPOSE OF EXISTING CONCRETE SLAB AND GRADE BEAM FOUNDATION. BACKFILL SITE WITH CLEAN FILL AND COMPACT IN ACCORDANCE WITH LOCAL REQUIREMENTS TO MATCH EXISTING GRADE.
- 12 REMOVE AND DISPOSE OF EXISTING BRICK VENEER ALL AROUND GREEN HOUSE.
- 13 REMOVE AND DISPOSE OF EXISTING STEEL STRUCTURE.
- 14 REMOVE AND DISPOSE OF EXISTING CEILING LIGHTING FIXTURES.
- 15 REMOVE AND DISPOSE OF EXISTING CHASSIS, BACKFILL AND COMPACT WITH EXISTING OR CLEAN BACKFILL. SOD ALL AFFECTED AREAS.

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
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4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PAINT THEREON.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. EDUCATION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. PROVIDE ALL SKINING AS REQUIRED. SKINNING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
7. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
8. DISCONNECT AND CAP OFF ALL REQUIRED SERVICES PRIOR TO DEMOLITION.
9. DISPOSE MATERIALS OFF SITE.
10. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES; EQUIPMENT, FITTINGS, TIES, HANGERS, BRACKETS, TIES AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
12. BUILDING TO BE SECURED BY THE GENERAL CONTRACTOR AT ALL TIMES.
13. PREPARE ALL AFFECTED WALLS AND CEILINGS FOR NEW PAINT FINISH AND PAINT TO MATCH EXISTING (TYPICAL).
14. REVIEW SURF ALL AFFECTED AREAS TO CONFORM ABATEMENT PROTOCOLS ASSOCIATED WITH DEMOLITION. REFER TO HAZARDOUS WASTE MATERIALS ASSESSMENT (PRE-CONSTRUCTION) CONDUCTED BY PINCHIN LTD. ON OCTOBER 20, 2021.
15. REMOVAL OF ANY SOILS FROM SITE TO BE TESTED PRIOR TO DISPOSAL.

[illegible]

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

DRAWING:

**BARRY BRYAN
ASSOCIATES**

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DESIGN BY: BBA	DOC. CONTROL: DATE:
DRAWN BY: JS	S. COMPLETE:
CHECKED BY: AA	NTAL:
DATE: MAR. 2025	
SCALE: 1:200	
FILE:	

PROJECT NO:

25042

DRAWING NO:

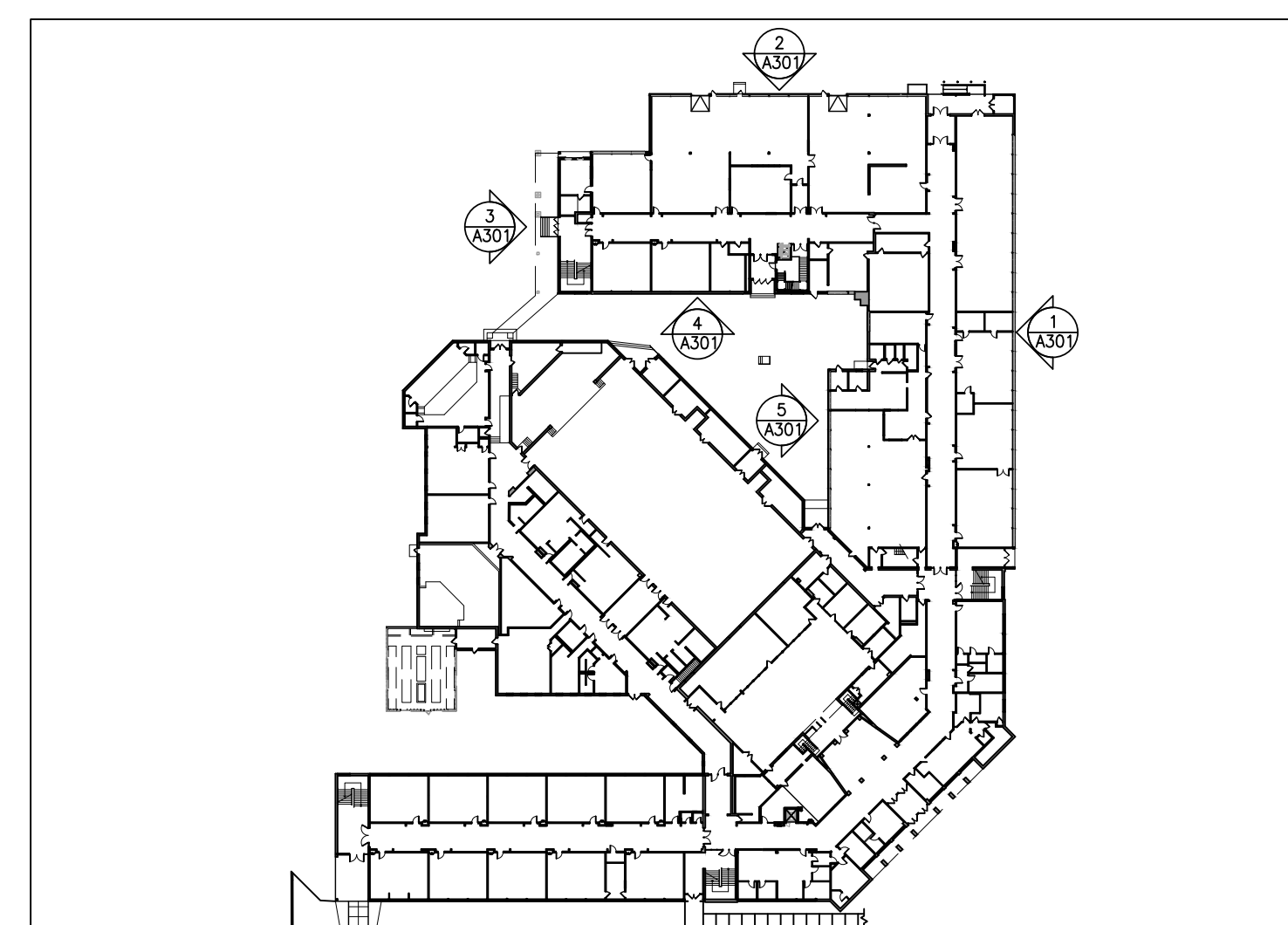
A206

PATCH, REPAIR AND MAKE GOOD AT ALL AFFECTED SURFACES AND FINISHES AFFECTED BY DEMOLITION AND NEW CONSTRUCTION.

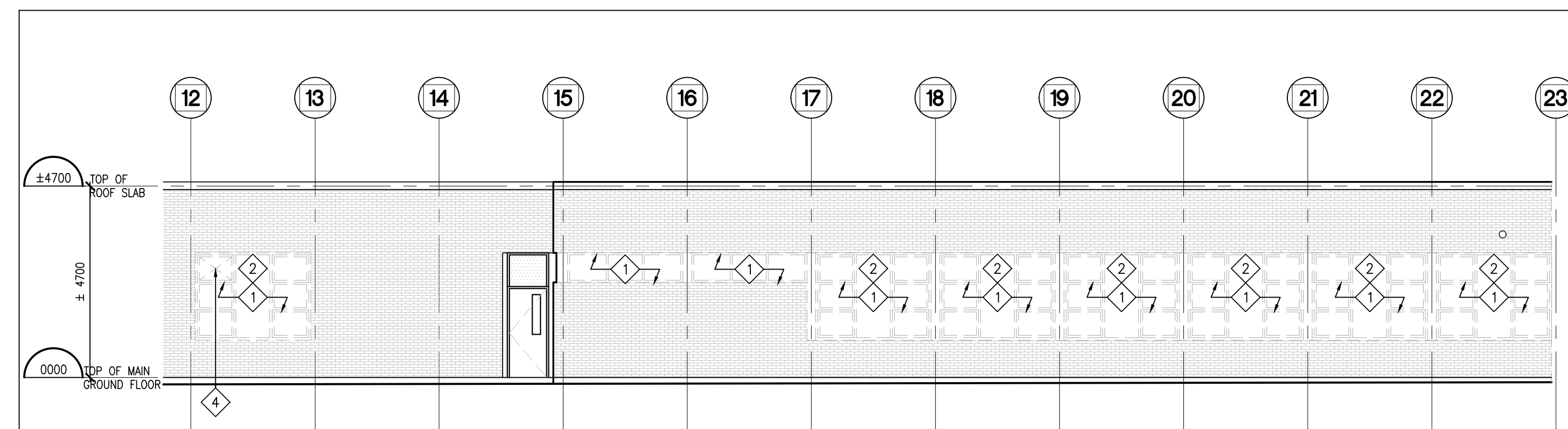
- 1 REMOVE AND DISPOSE OF EXISTING WINDOWS, PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 2 REMOVE ROOF SHEDS AS REQUIRED FOR WINDOW REPLACEMENT AND RETURN TO OWNER. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES.
- 3 PATCH, REPAIR AND MAKE GOOD ALL DAMAGED PLASTER AROUND COLUMNS FINISH TO MATCH EXISTING (PAINT), TYPICAL.
- 4 REMOVE EXISTING MECHANICAL UNIT / SUPPORTS (AT WINDOWS) ALL ITEMS TO BE RETURNED TO OWNER. PATCH AND REPAIR BRICK FACADE AS REQUIRED TO WEATHERPROOF.
- 5 PROVIDE OPTIONAL PRICING FOR REMOVAL AND DISPOSING OF EXISTING DOOR AND FRAME PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 6 REMOVE AND DISPOSE OF PART EXISTING ACQUING DUELING THE CEILING, BULKHEAD (EXTENT TO BE DETERMINED ON SITE FOR NEW CONSTRUCTION) INCLUDING ALL GRIDS, LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.

	EXISTING WALL, PARTITION OR COLUMN
	DENOTES DEMOLITION OF BUILDING ELEMENT
	EXISTING DOOR, FRAME AND TRIM TO REMAIN
	EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.

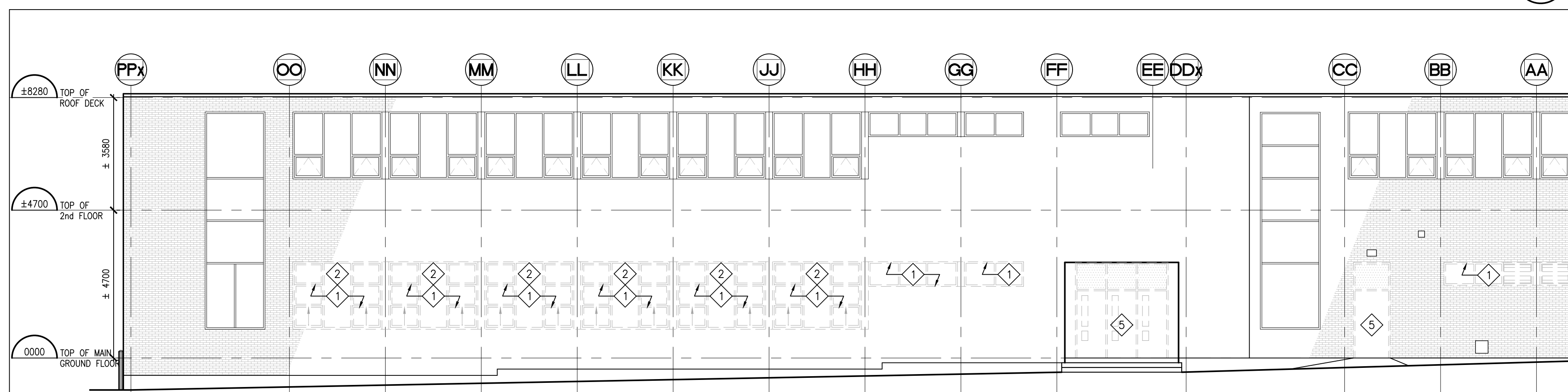
1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED, DEMOLITION OF BUILDING ELEMENTS INCLUDED BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. PROVIDE ALL WORKING AS REQUIRED, SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
7. MAINTAIN ALL SHORING AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN PLACE DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND HOIST WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
8. DISCONNECT AND CAP OFF ALL REQUIRED SERVICES PRIOR TO DEMOLITION.
9. DISPOSE MATERIALS OFF SITE.
10. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
12. BUILDING TO BE SECURED BY THE GENERAL CONTRACTOR AT ALL TIMES.
13. PREPARE ALL AFFECTED WALLS AND CEILINGS FOR NEW PAINT FINISH AND PAINT TO MATCH EXISTING (TYPICAL).
14. REVIEW OUR ALL AFFECTED AREAS TO CONFIRM ABATEMENT PROTOCOLS ASSOCIATED WITH DEMOLITION, REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT (PRE-CONSTRUCTION) CONDUCTED BY PINCHIN LTD. ON OCTOBER 20, 2021.
15. REMOVAL OF ANY SOLS FROM SITE TO BE TESTED PRIOR TO DISPOSAL.



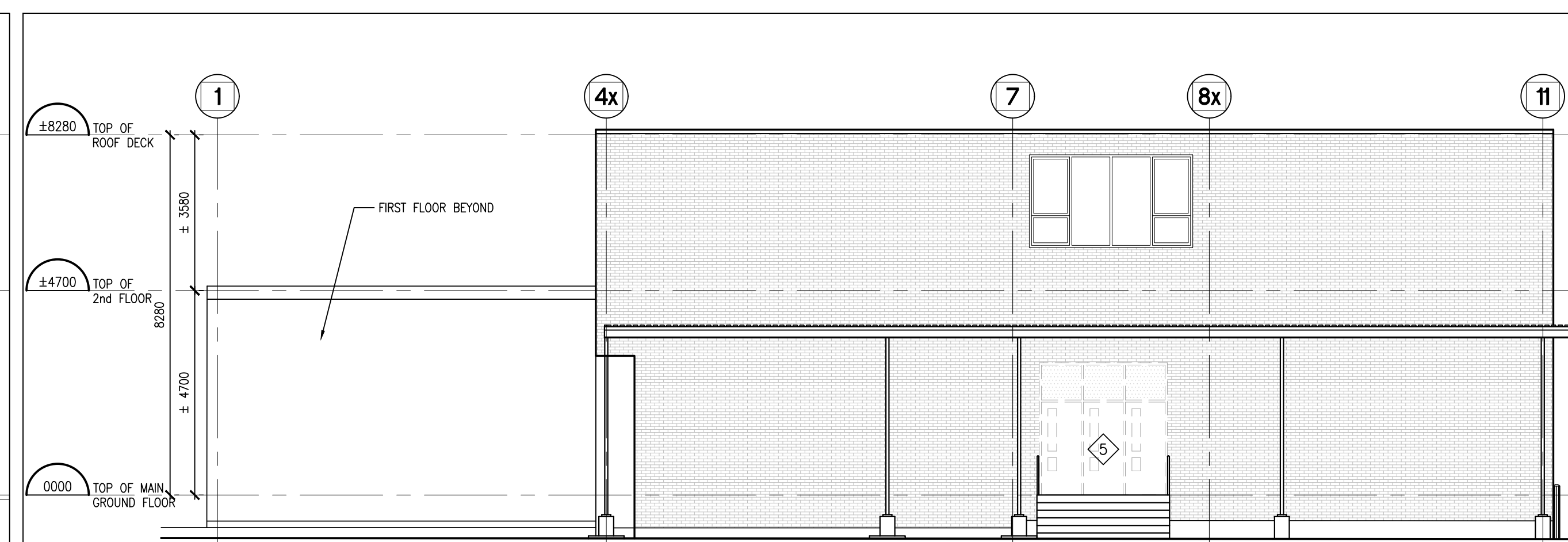
 ELEVATION KEY PLAN
NTS



5 SOUTH ELEVATION (EAST COURTYARD)
A301 1:100



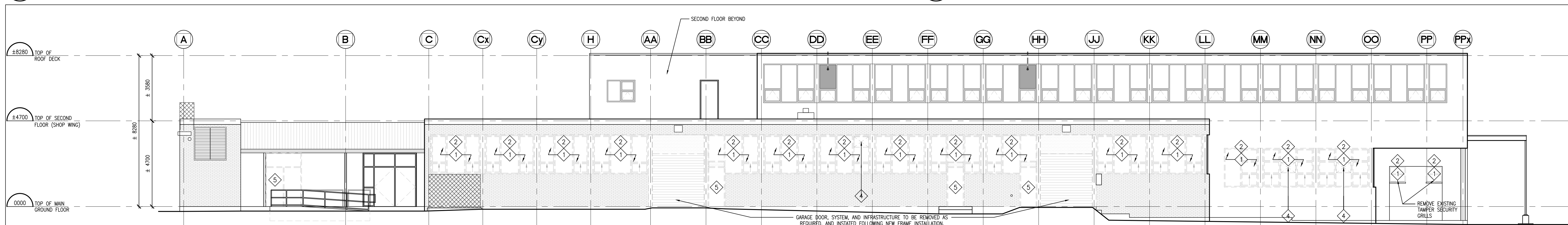
4 WEST ELEVATION (EAST COURTYARD)
A301 1:100



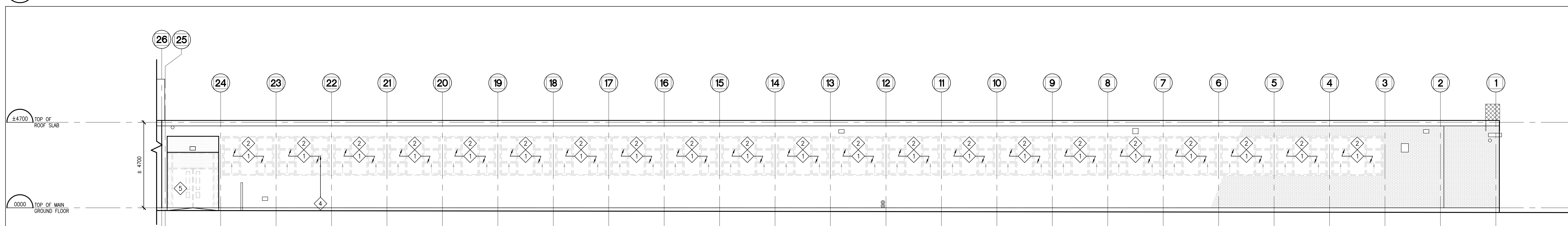
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A301

PART NORTH ELEVATION (SHOP WING)

1:100



2 EAST ELEVATION
A301 1:100

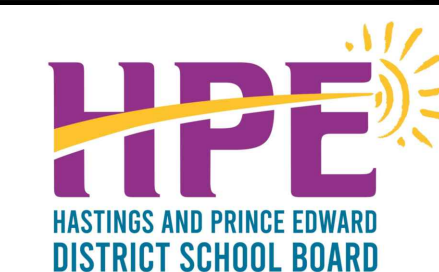


1 PART SOUTH ELEVATION
A301 1:100

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NO.	REVISIONS	DATE	BY

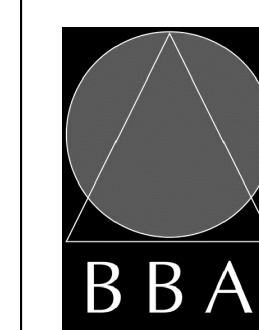
PROJECT:
EASTSIDE SECONDARY
WINDOW AND OPTIONAL
DOOR REPLACEMENT &
GREENHOUSE DEMO.

275 FARLEY AVENUE
BELLEVILLE, ONTARIO

HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:

ELEVATIONS - WINDOW DEMOLITION



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DRAWN BY: JS	% COMPLETE
CHECKED BY: AA	INITIAL:
DATE: MAR, 2025	
SCALE: 1:100	
FILE:	

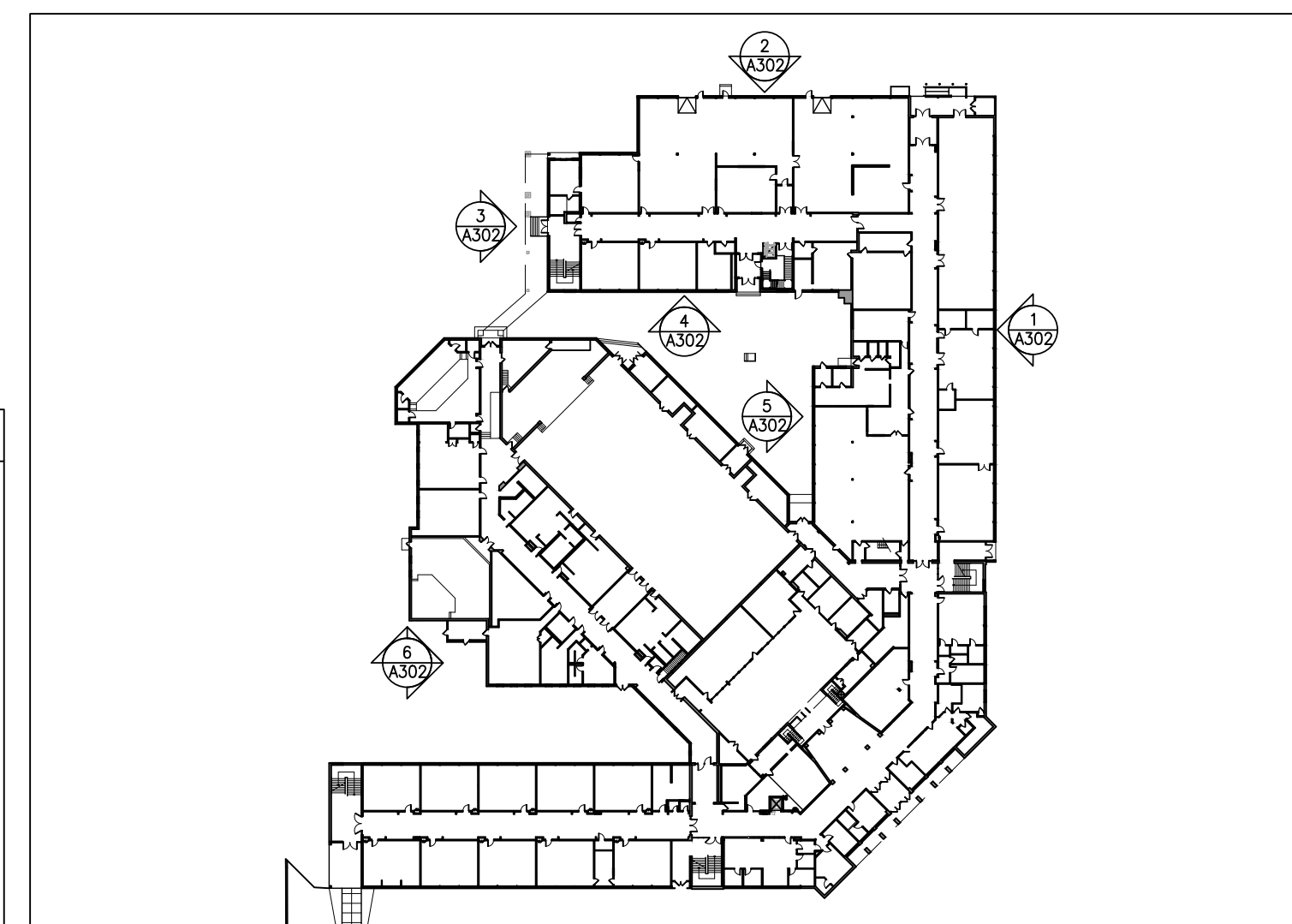
PROJECT NO:

25042

DRAWING NO:

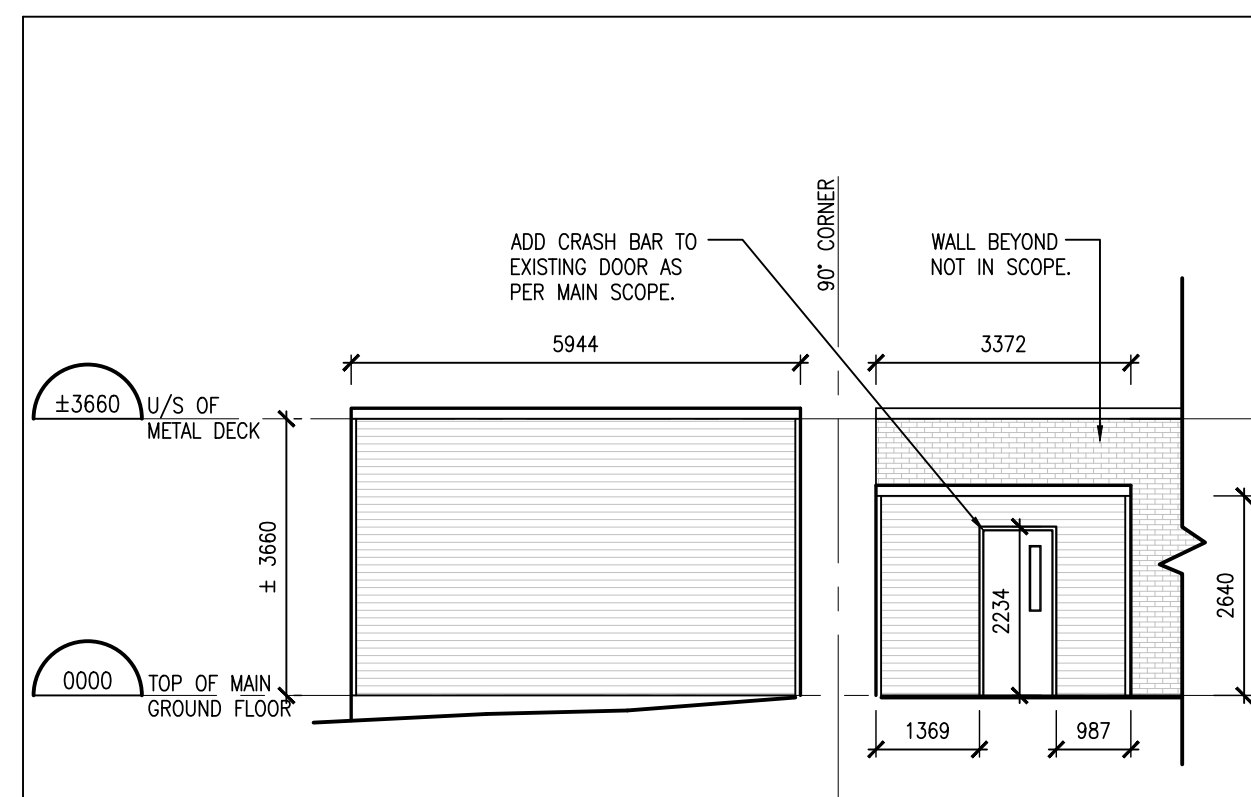
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NO.	ISSUES	DATE	BY
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2	ISSUED FOR TENDER	MAR. 28, 2025	BBA



 ELEVATION KEY PLAN
NTS

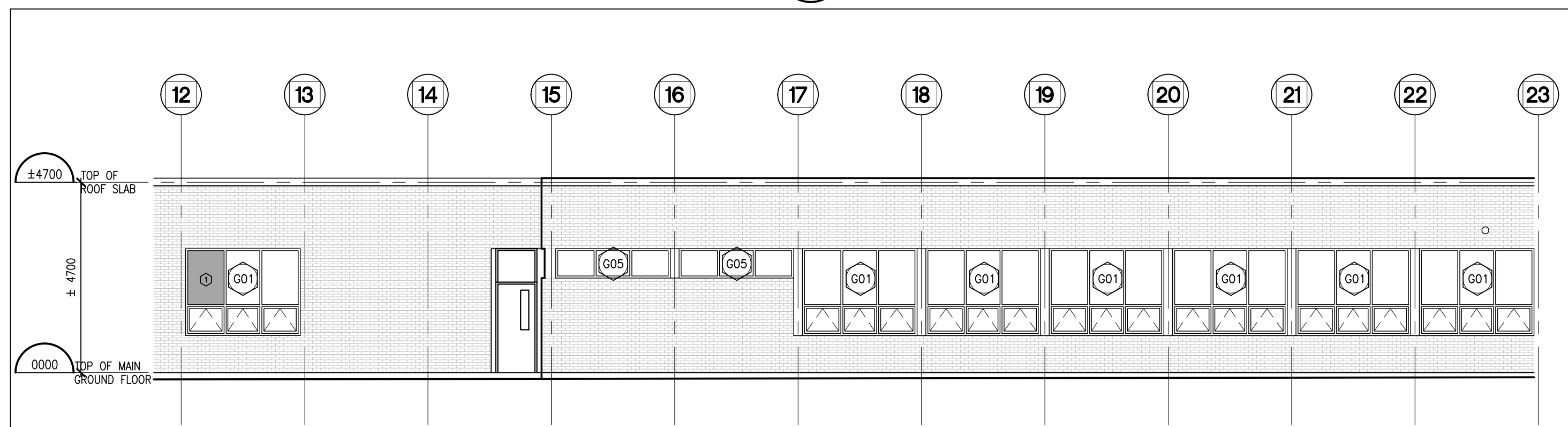
#0	NEW WINDOW FRAME GLAZING (REFER TO A901 SCHEDULE)
1	INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL ON LEFT SIDE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION.
2	INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL ON RIGHT SIDE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION.
3	INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL IN CENTRE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION.



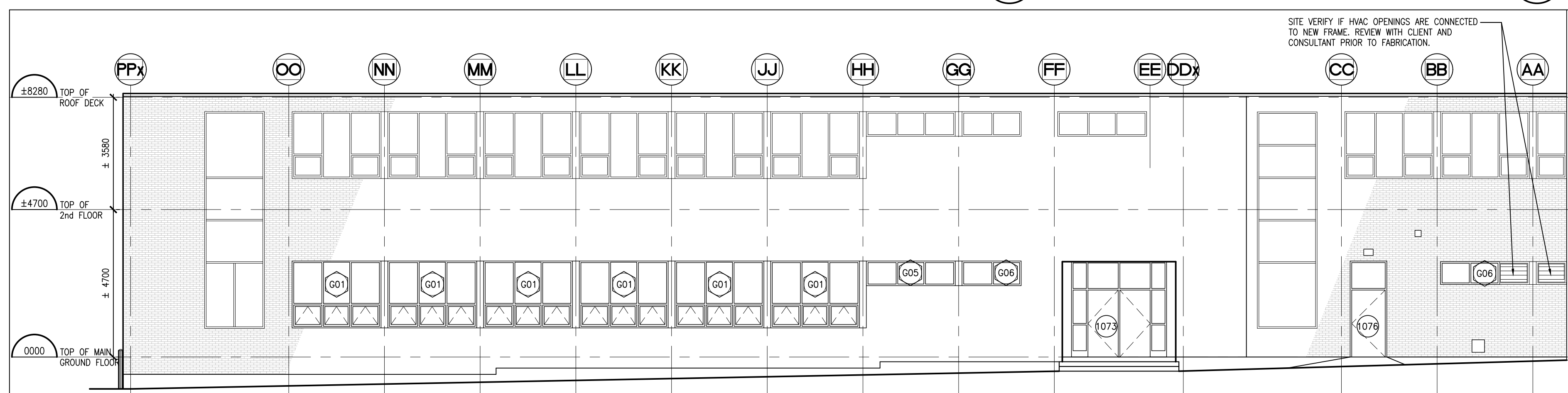
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A302

N/W ELEVATION (WEST COURTYARD)

1:100



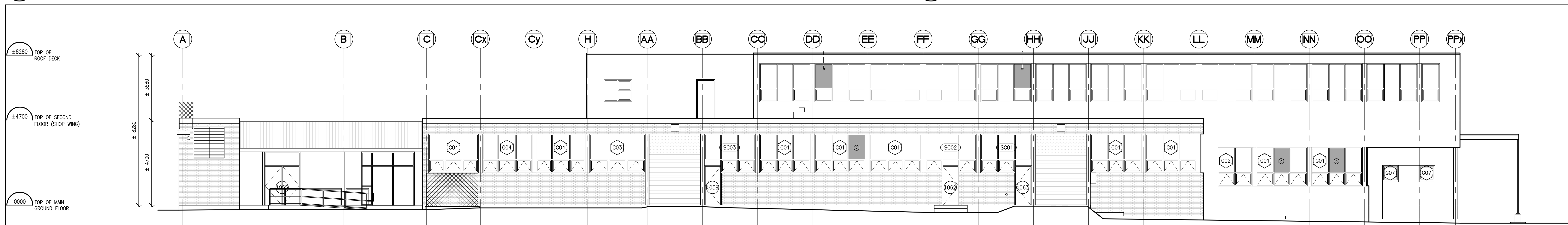
5 SOUTH ELEVATION (EAST COURTYARD)
A302 1:100



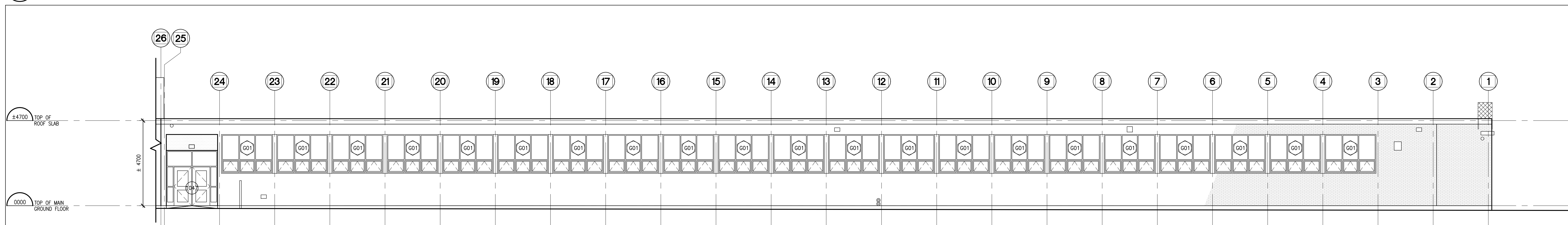
4 WEST ELEVATION (EAST COURTYARD)
A302 1:100



3 PART NORTH ELEVATION (SHOP WING)
A302 1:100



2 EAST ELEVATION
A302 1:100



1 PART SOUTH ELEVATION
A302 1:100

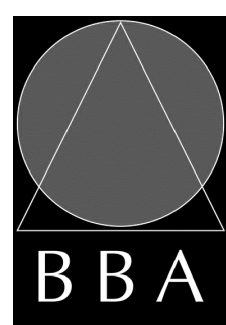
NO.	REVISIONS	DATE	BY
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PROJECT:
EASTSIDE SECONDARY
WINDOW AND OPTIONAL
DOOR REPLACEMENT &
GREENHOUSE DEMO.

275 FARLEY AVENUE
BELLEVILLE, ONTARIO

HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:
BUILDING ELEVATIONS

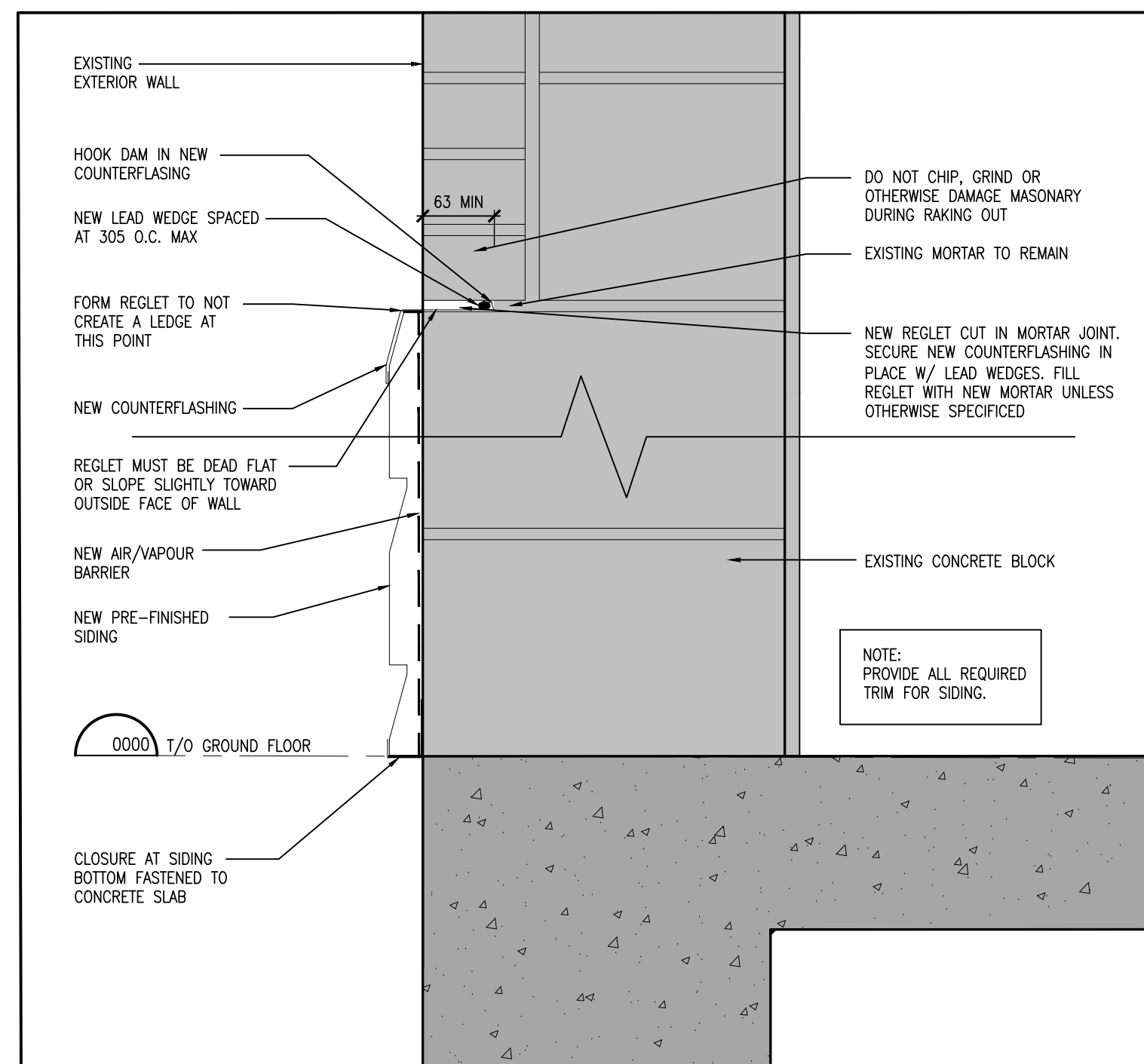


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e-mail: bba@bba-archeng.com

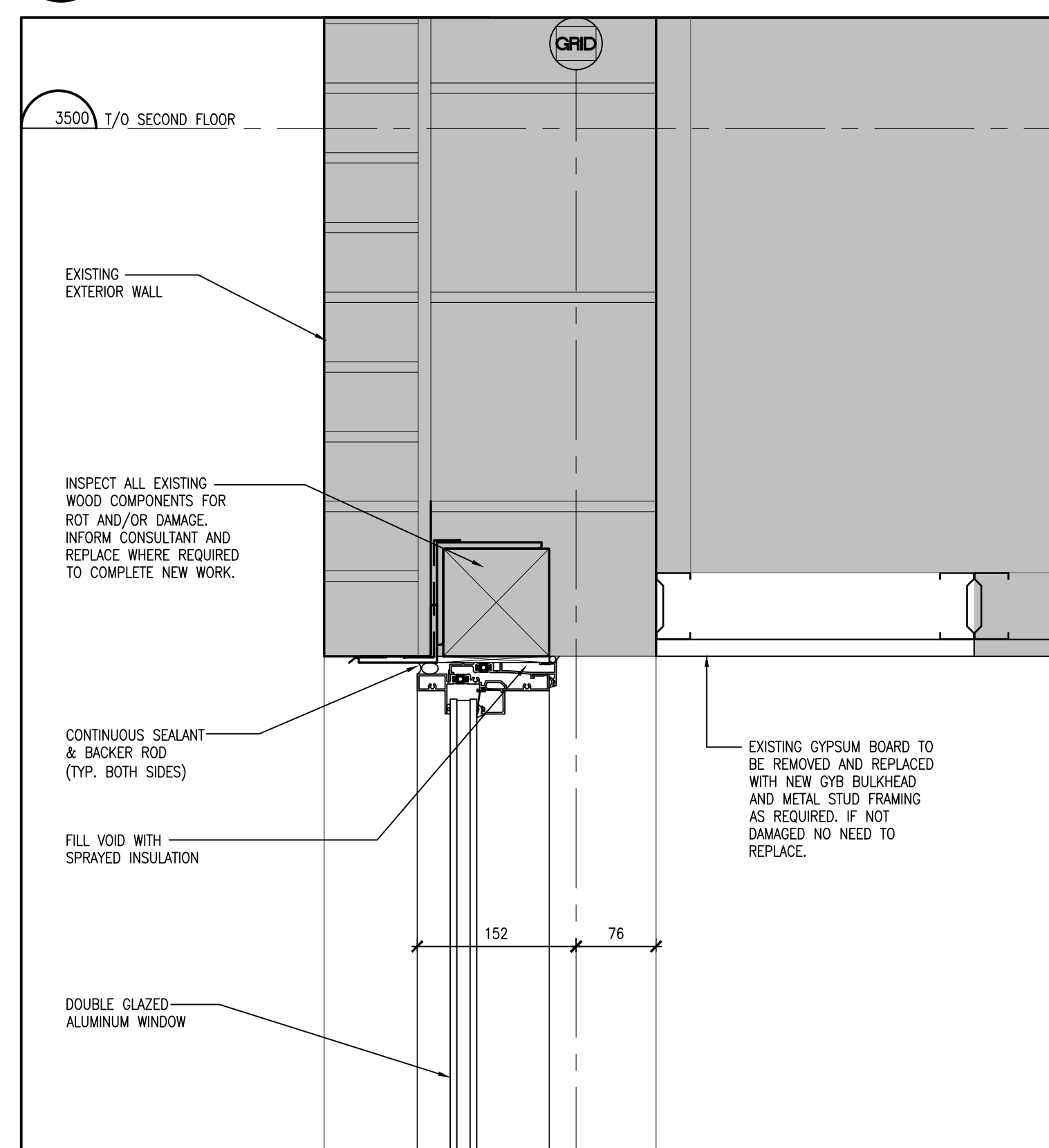


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CHECKED BY: AA	INITIAL:
DATE: MAR. 2025	
SCALE: 1:100	
FILE:	

PROJECT NO: 25042	DRAWING NO: A302
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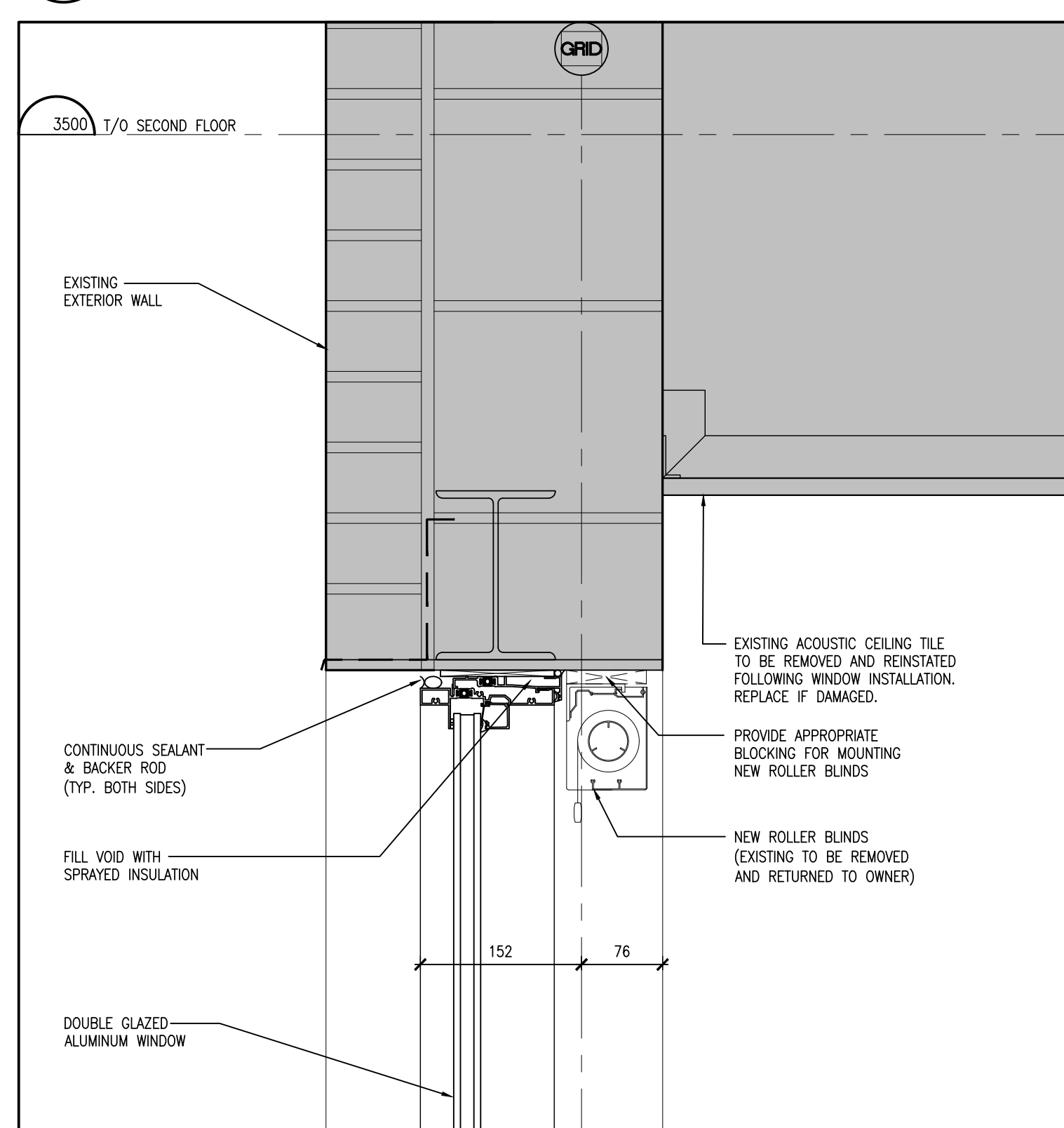
10 WALL FINISH AT GREENHOUSE
A502 1:5



9
A502

HEADER DETAIL (MALE W/R 1071)

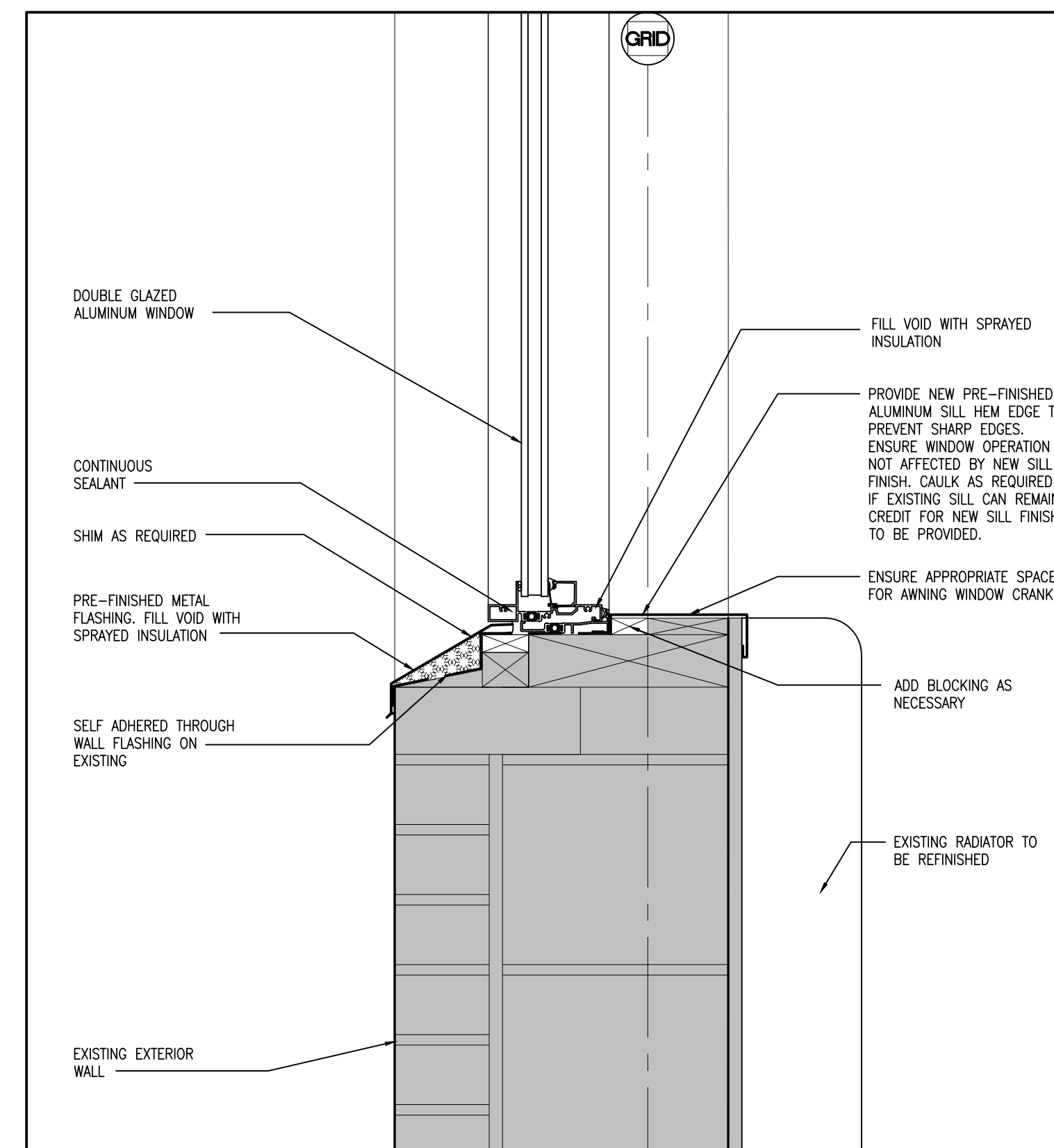
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8
A502

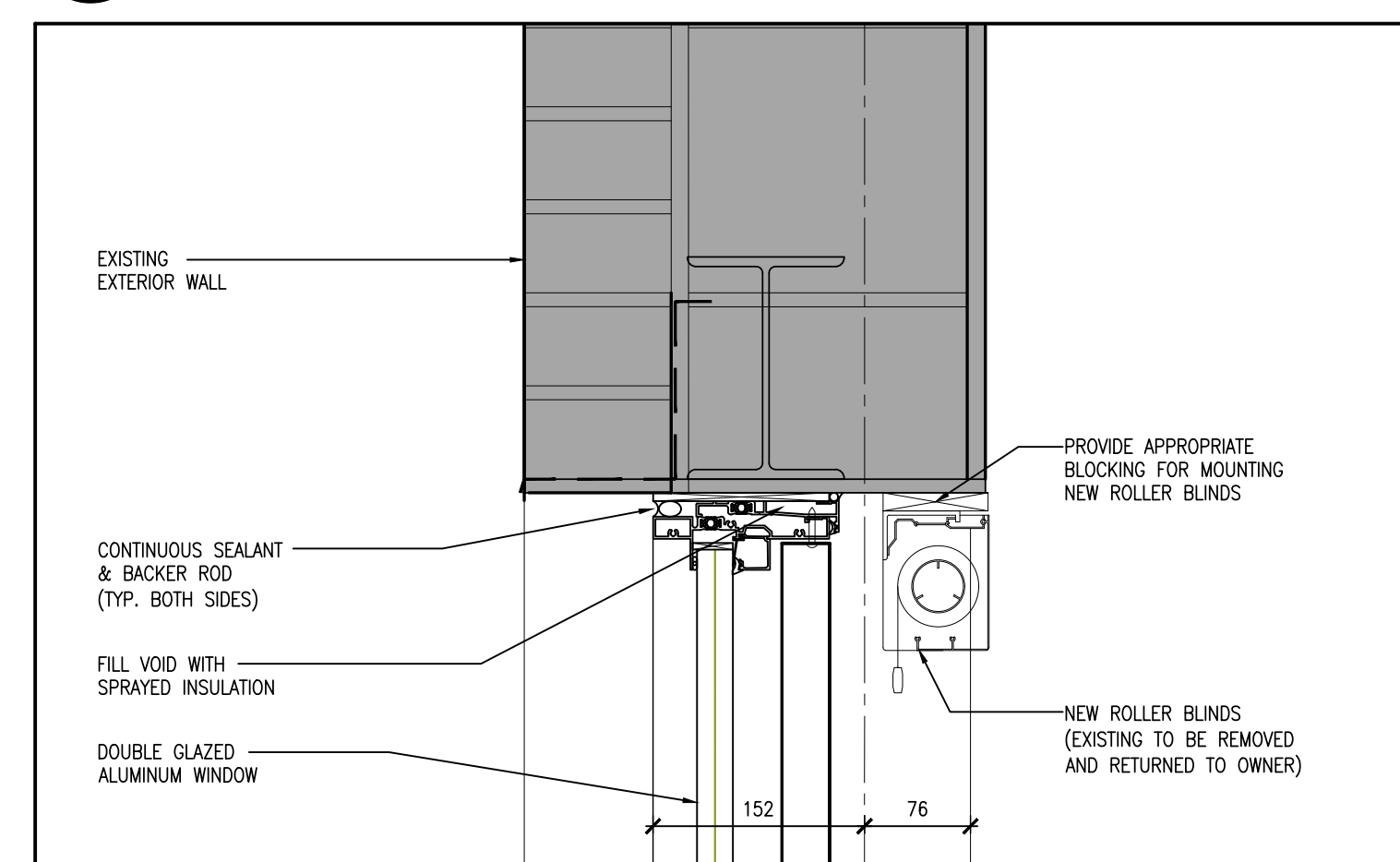
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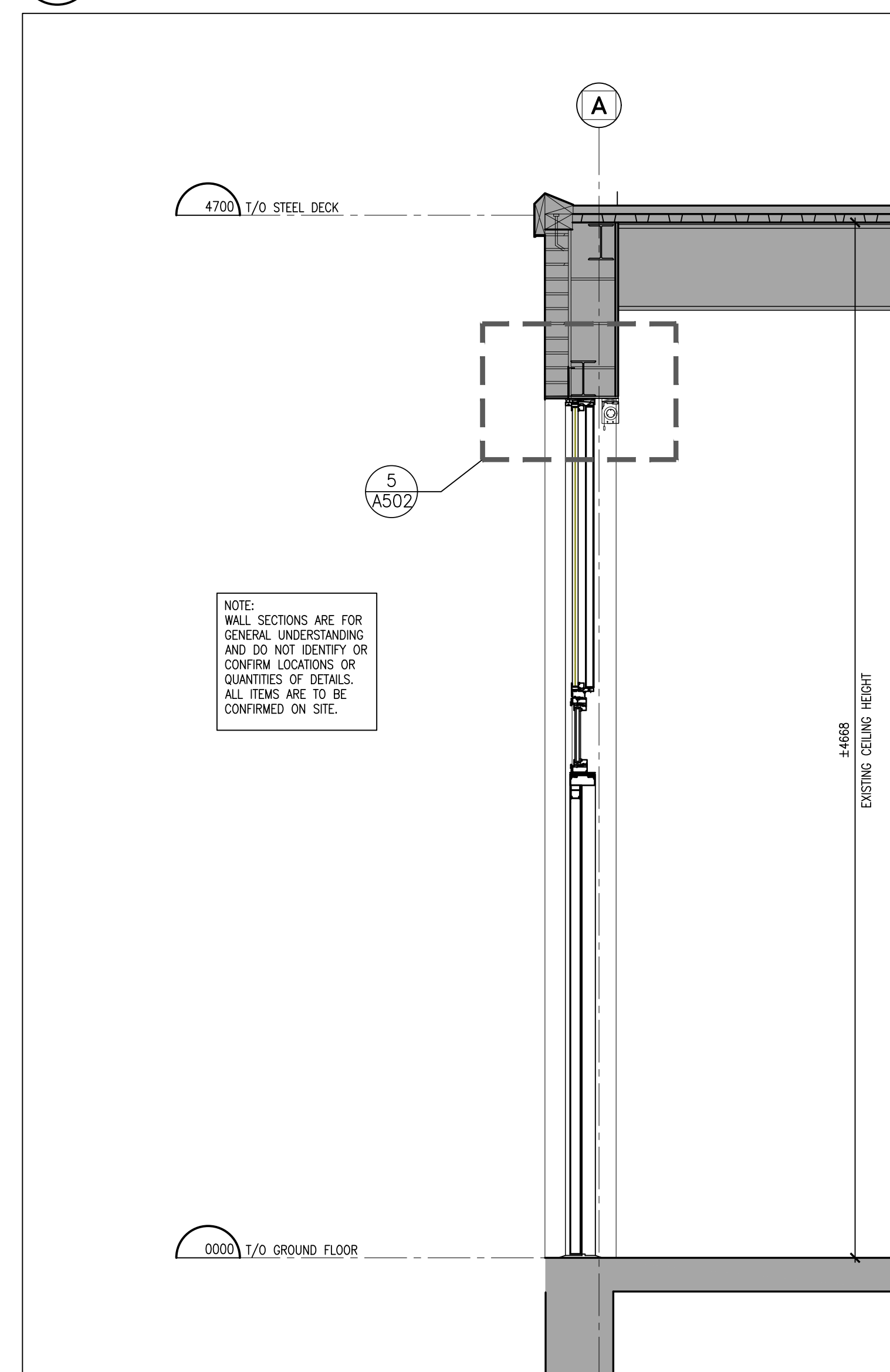
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A502

SILL DETAIL
1:5

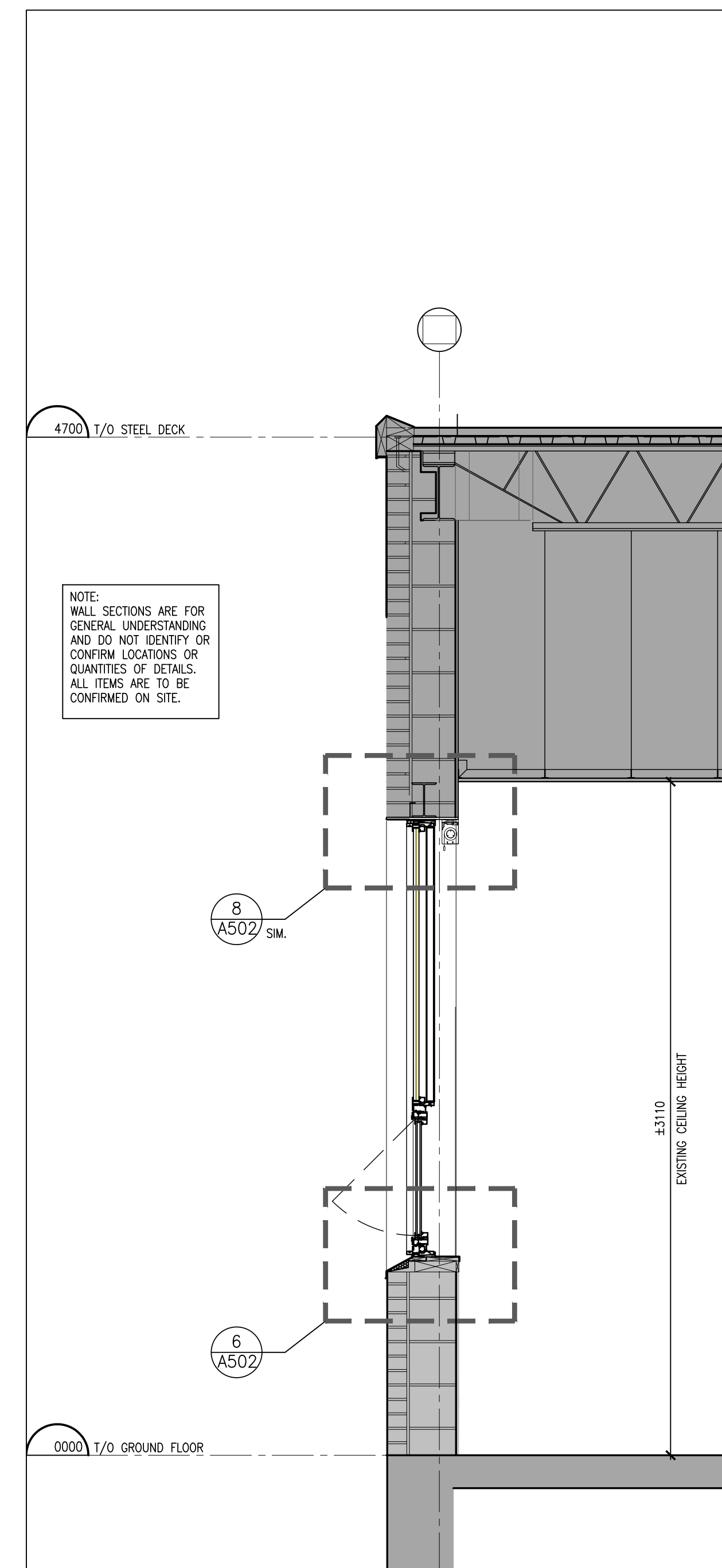


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A502

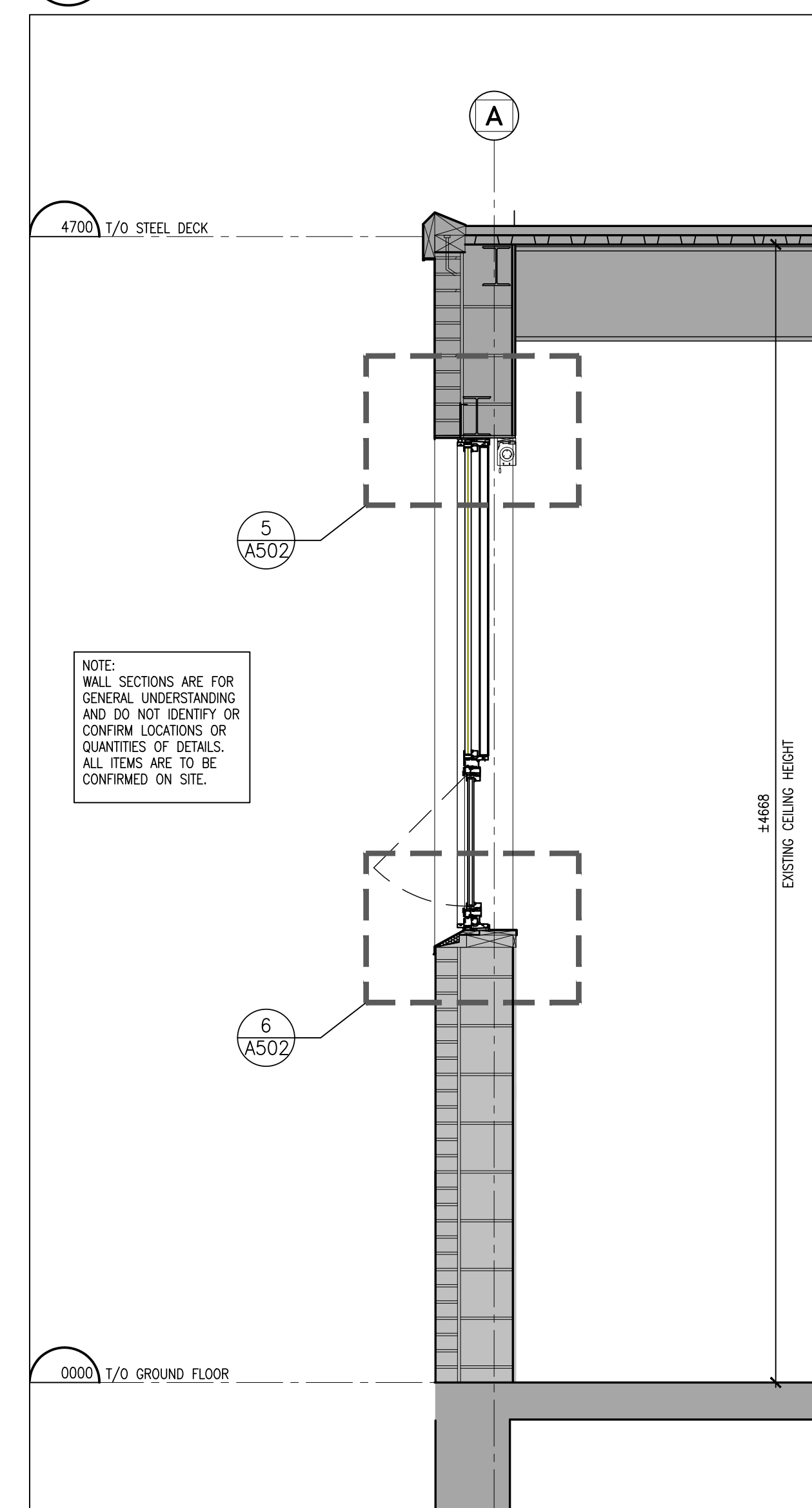
HEADER DETAIL
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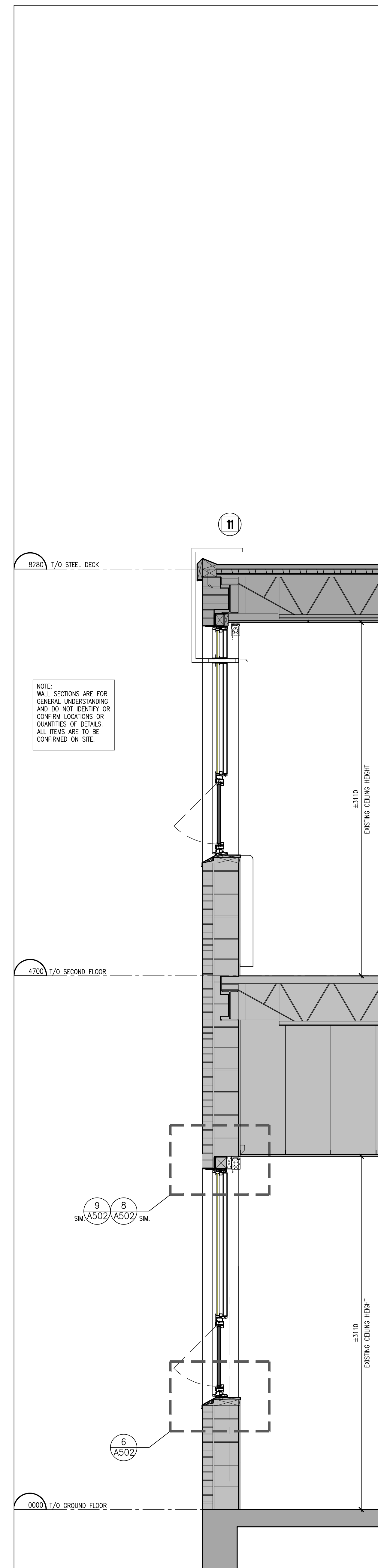
4 WALL SECTION
A502 1:20



3 WALL SECTION
A502 1:20



2 WALL SECTION
A502 1:20

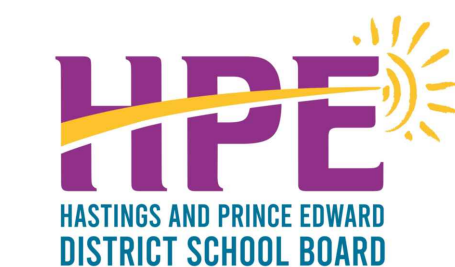


1 WALL SECTION
A502 1:20

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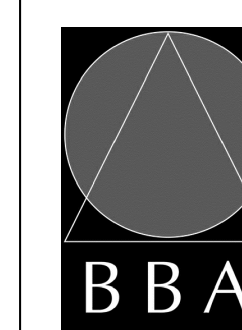
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PROJECT:
EASTSIDE SECONDARY
WINDOW AND OPTIONAL
DOOR REPLACEMENT &
GREENHOUSE DEMO.

275 FARLEY AVENUE
BELLEVILLE, ONTARIO

HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING:
SECTION DETAILS



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CHECKED BY: AA	INITIAL:
DATE: MAR. 2025	
SCALE: 1:5	
FILE:	

PROJECT NO.:

PROJECT NO.
2504

DRAFTING NO.:

A502



FINISH HARDWARE

1. SUBMIT HARDWARE LIST (6 COPIES) FOR APPROVAL IN ACCORDANCE WITH THE GENERAL CONDITIONS
2. SUBMIT TEMPLATES TO DOOR AND FRAME SUPPLIER
3. LOCKS TO BE MASTER KEYED TO SUIT OWNER'S REQUIREMENTS
4. ALL FASTENERS SHALL BE CONCEALED OR TAMPER-PROOF
5. HARDWARE SPECIFICATIONS OR SIMILAR

PAIR BUTTS HINGES	bb1168-114 X 101-NRP-626	HAGER
CLOSER	1441 X CUSH X 689	LDN
PANIC DEVICE	9BL X 996L X 1/LRHR X 628	VON DUPRIN
THRESHOLD	CT-65 X 7" - OT - 628	KN CROWDER
KICK PLATE	HAS9502A3087b7a630	HAGER
DOOR OPERATOR	SW200 X SINGLE HSG X 628	ASSA ABLOY
LOCKSET	NID90P X RHO X ASA X 626	SCHAGE
DOOR PULL	HAS509AB7b630	HAGER
ELECTRIC STRIKE	9600 X 630	ASSA ABLOY
WEATHERSTRIP	TW2100CS200A4EA	THOMAS
DOOR SWEEP	TW2100-900A4EA	THOMAS

FRAME SIZES AND OPENINGS ARE APPROXIMATE. CONFIRM ON SITE AND NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.

NOTE: DOOR OPERATORS ARE TO BE INCLUDED WITHIN CONTRACT.

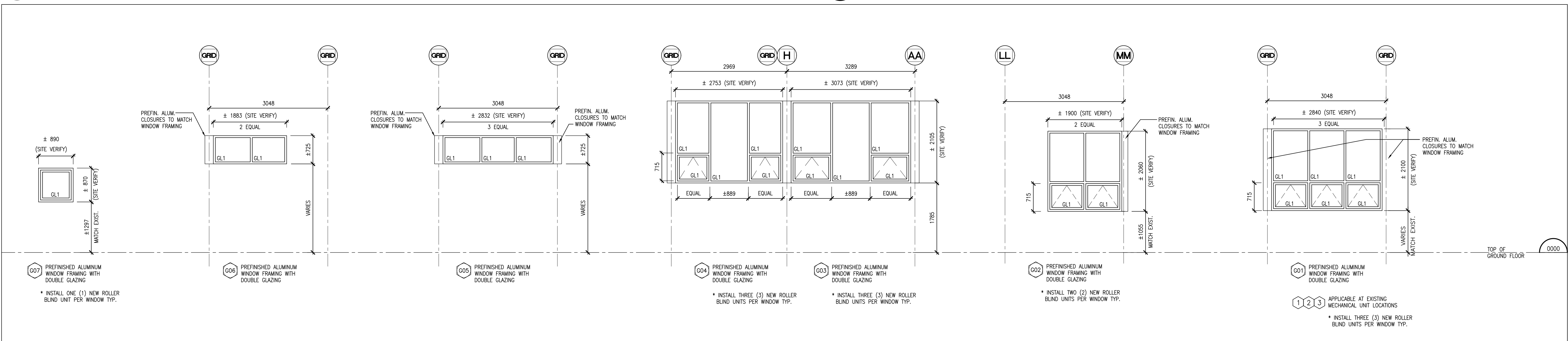
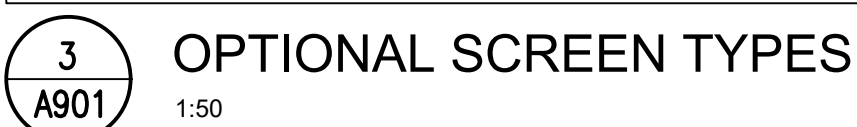
OPTIONAL DOOR AND FRAME SCHEDULE											DOOR HARDWARE												REMARKS	
DOOR							FRAME				FIRE RATING													
NO.	SIZE AND THICKNESS	TYPE	MATERIAL	FINISH	GLASS	TYPE	SEAL	MOULDING	MATERIAL	FINISH		PAINTED SURFACE	DOOR HANGERS	DOOR LOCKS	DOOR LATCHES	DOOR KICKERS	DOOR STOPPERS	DOOR TRIM	DOOR WEATHER					
1049	2'-865x21'35x45	ZG	M	HM	PT	-	SQ04	-	-	PS	PT	●	●	●	●	●	●	●	●	CONFIRM AND VERIFY ALL EXISTING DOOR/SCREEN OPENINGS				
1050	2'-915x21'35x45	M	HM	PT	-	SQ06	-	-	-	PS	PT	●	●	●	●	●	●	●	●	ALL NEW GLASS AND FRAMES TO BE ULIC RATED.				
1055	915x21'35x45	M	HM	PT	-	SQ03	-	-	-	PS	PT	●	●	●	●	●	●	●	●	PULL NEW GLASS AND FRAMES (UNPAINTED)				
1062	915x21'35x45	M	HM	PT	-	SQ02	-	-	-	PS	PT	●	●	●	●	●	●	●	●					
1063	865x21'35x45	M	HM	PT	-	SQ01	-	-	-	PS	PT	●	●	●	●	●	●	●	●	VESTIBULE #1047				
1064	3'-915x21'35x45	ZG	M	HM	PT	QL1	SQ07	-	-	PS	PT	●	●	●	●	●	●	●	●	AUTO SHOP 151 #1055				
1073	3'-915x21'35x45	M	HM	PT	-	QL1	SQ07	-	-	PS	PT	●	●	●	●	●	●	●	●	WOOD SHOP 153 #1059				
1076	915x21'35x45	M	HM	PT	-	SQ05	-	-	-	PS	PT	●	●	●	●	●	●	●	●	MACHINE SHOP 154 #1062				
1136		-	-	-	-	-	-	-	-	-	-	●	●	●	●	●	●	●	●	MACHINE SHOP 155 #1063				
		ZG	M	HM	PT	QL1	SQ07	-	-	PS	PT	●	●	●	●	●	●	●	●	CORRIDOR #1064				
		M	HM	PT	-	QL1	SQ07	-	-	PS	PT	●	●	●	●	●	●	●	●	VESTIBULE #1073				
		M	HM	PT	-	SQ05	-	-	-	PS	PT	●	●	●	●	●	●	●	●	STORAGE #1076				
		-	-	-	-	-	-	-	-	-	-	●	●	●	●	●	●	●	●	VESTIBULE #1136 (PROVIDE FOR MAIN SCOPE)				

FINISH ABBREVIATION LEGEND	
ALUM	ALUMINUM
CONC	CONCRETE
CONT	CONTINUE
EQ	EQUAL
EXIST	EXISTING
GL	GLASS
HM	HOLLOW METAL
NTS	NOT TO SCALE
PT	PAINT
PS	PRESSED STEEL

GENERAL NOTES	
A.	ALL EXTERIOR FRAMES SHALL BE INSULATED AND THERMALLY BROKEN.
B.	ALL EXTERIOR GLAZING SHALL BE TYPE GL1 UNLESS NOTED OTHERWISE.

GLAZING LEGEND

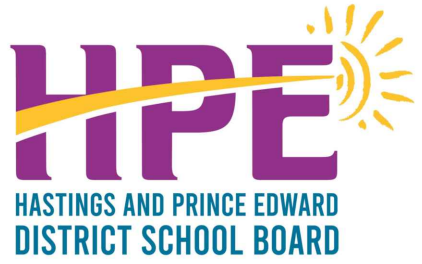
GL1	25mm SEALED, DOUBLE GLAZED UNITS. REFER TO SPECIFICATION.
SP	SPANDREL PANEL
①	INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL ON LEFT SIDE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION. - REFER TO ELEVATIONS FOR LOCATIONS
②	INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL ON RIGHT SIDE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION - REFER TO ELEVATIONS FOR LOCATIONS
③	INSTALLATION OF HVAC UNIT WITH SPANDREL PANEL IN CENTRE TO BE COORDINATED WITH CLIENT AND CONSULTANT PRIOR TO PROCUREMENT AND FABRICATION. - REFER TO ELEVATIONS FOR LOCATIONS



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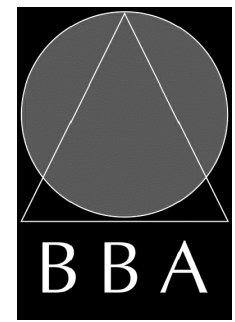
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1	ISSUED FOR CLIENT REVIEW	MAR. 21, 2025	BBA
2	ISSUED FOR TENDER	MAR. 28, 2025	BBA

NO.	REVISIONS	DATE	BY

**PROJECT:
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WINDOW AND OPTIONAL
DOOR REPLACEMENT &
GREENHOUSE DEMO.**

275 FARLEY AVENUE
BELLEVILLE, ONTARIO
HASTINGS & PRINCE EDWARD DISTRICT SCHOOL BOARD

DRAWING: WINDOW AND DOOR SCHEDULES AND DETAILS



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