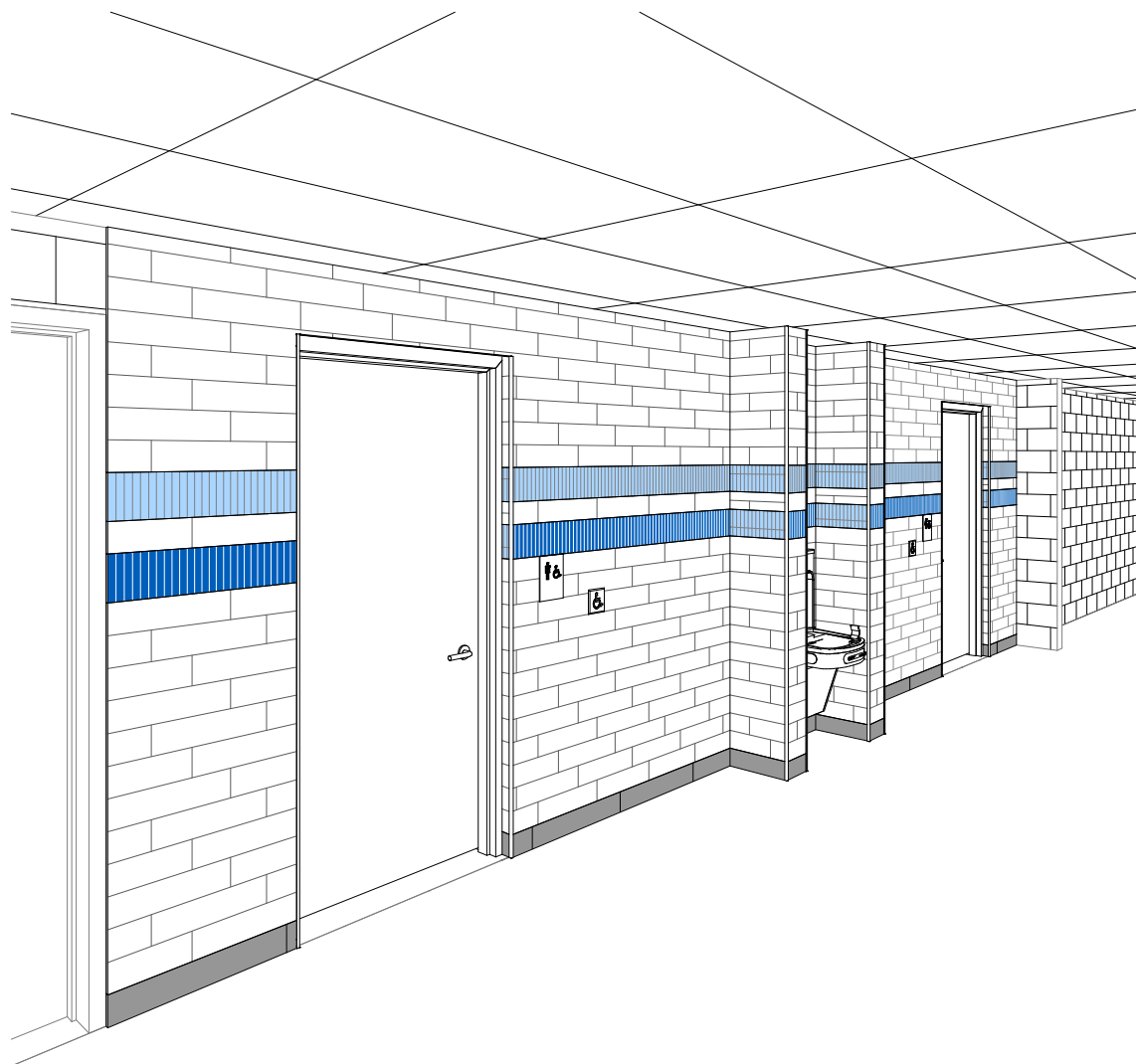
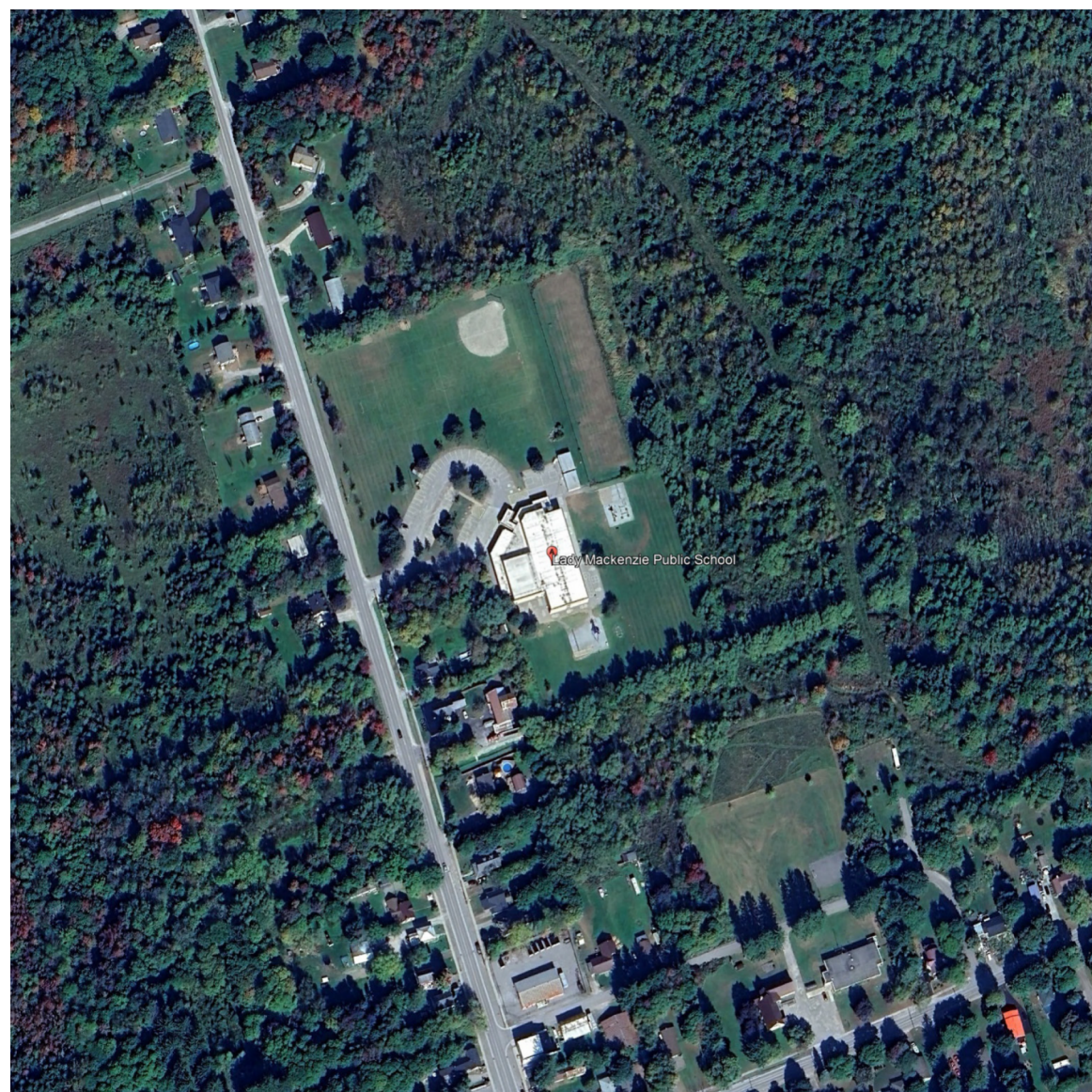


1 KEYPLAN
1: 200



2 3D CORRIDOR PERSPECTIVE

GENERAL NOTES

1. THESE DRAWINGS FORM PART OF THE CONTRACT DOCUMENTS. REFER TO THE CONTRACT FOR THE COMPLETE LIST OF CONTRACT DOCUMENTS AND THEIR RELATED HIERARCHY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ AND UNDERSTAND THE CONTRACT DOCUMENTS IN THEIR ENTIRETY AND REQUEST CLARIFICATION FROM THE CONSULTANT WHERE NECESSARY.
2. THESE DRAWINGS, THE APPENDIX A - DETAIL BOOKLET, APPENDIX B - REFERENCE BOOKLET, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THE SPECIFICATION PROJECT MANUAL ARE TO BE READ IN CONJUNCTION WITH ONE ANOTHER IN THEIR ENTIRETY.
3. DRAWINGS ARE NOT TO BE SCALED. WHERE DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE CONSULTANT BEFORE PROCEEDING.
4. KEYNOTES IN THE ARCHITECTURAL DRAWINGS ARE NUMBERED REFERENCES TO THE KEYNOTE LEGEND AND TO THE RELEVANT SPECIFICATION SECTION AND ARE TO BE READ IN CONJUNCTION WITH THE REQUIREMENTS OF THE SPECIFICATIONS.
5. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL RETAIN ONE SET OF THE COMPLETE SET OF CONTRACT DOCUMENTS ON SITE AT ALL TIMES FOR REFERENCE INCLUDING ALL ADDENDA ISSUED DURING TENDER. ALL CLARIFICATIONS OR MODIFICATIONS ISSUED DURING CONSTRUCTION IN THE FORM OF SUPPLEMENTARY INSTRUCTIONS AND/OR CHANGE ORDERS/DIRECTIVES.
7. DETAIL BOOKLET. THE APPENDIX A AND B DETAIL BOOKLET CONTAINS CRITICAL INFORMATION FOR UNDERSTANDING THE WORK:
- GUIDES FOR ABBREVIATIONS AND GRAPHIC LANGUAGE OF THE ARCHITECTURAL DRAWINGS
 - CODE REQUIRED MOUNTING HEIGHTS AND CLEARANCES
 - CONSTRUCTION ASSEMBLIES
 - TYPICAL DETAILS ORGANIZED BY DIVISION CATEGORY FOR CONCRETE, MASONRY, METALS, WOOD AND PLASTICS, MILLWORK, THERMAL AND MOISTURE AND FIRESTOPPING, DOORS AND WINDOWS, PARTITION ASSEMBLIES, FINISH DETAILS AND INFORMATION FOR WASHROOM ACCESSORIES.
 - STRUCTURAL DETAILS (REFER TO STRUCTURAL DRAWINGS FOR REFERENCES)
- SOME OF THESE DETAILS ARE REFERENCED DIRECTLY FROM THE DRAWING SET OTHERS ARE REFERENCED BY THE TAG NUMBERING SYSTEM INDICATED ON THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE CONTENTS OF THE DETAIL BOOKLET AND PROVIDING THE APPROPRIATE TYPICAL DETAIL.

DIMENSIONING CONVENTIONS

- A. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE CLEAR MEASUREMENTS TO FINISHED FACE UNLESS OTHERWISE NOTED.
- B. THE CONTRACTOR SHALL ENSURE ALL CODE REQUIRED MINIMUM CLEARANCES ARE MAINTAINED IN THE WORK. NOTIFY CONSULTANT WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE ACHIEVED FOR REVIEW AND DIRECTION.
- C. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- D. MAINTAIN CONSISTANT FINISHED FLOOR DATUM THROUGHOUT THE PROJECT AREA SUCH THAT DIMENSIONS INDICATED AS ABOVE FINISHED FLOOR (AFF) ARE REFERENCED FROM THE SAME DATUM TO MAINTAIN ALIGNMENT OF ELEMENTS HORIZONTALLY.
- E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. REPORT ALL DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- F. REFER TO APPENDIX A: DETAILS FOR TYPICAL MOUNTING HEIGHTS. BUILDING CODE REQUIRED MINIMUM CLEARANCES ARE TO BE MAINTAINED.

ARCHITECTURAL

#	Sheet
A000	COVER
A010	CODE COMPLIANCE
A020	DEMOLITION
A200	NEW WORK PLAN
A000	OPENINGS
A001	RM 125 FINISHES
APPENDIX A	TYPICAL ARCHITECTURAL DETAILS

STRUCTURAL

#	Sheet
G1	GENERAL NOTES
S1	ROOM 134 AND 135
S2	SLAB TRENCHING, THICKENING AND BACKFILL DETAILS AND MASONRY INFILL
S3	LATERAL SUPPORT OF MASONRY WALLS AND LINTEL DETAILS

MECHANICAL

#	Sheet
M-01	LEGEND, DRAWING LIST, SCHEDULES AND SPECIFICATIONS - MECHANICAL
M-11	HVAC, PLUMBING AND DRAINAGE LAYOUTS - MECHANICAL

ELECTRICAL

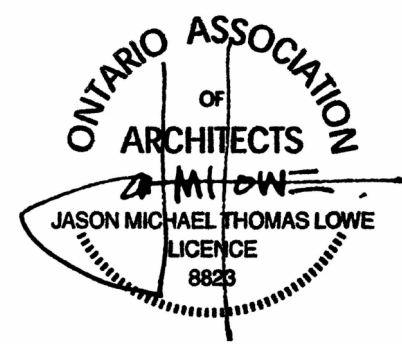
#	Sheet
E-01	LEGEND, LUMINAIRE SCHEDULE AND DETAILS - ELECTRICAL
E-02	ELECTRICAL LAYOUTS



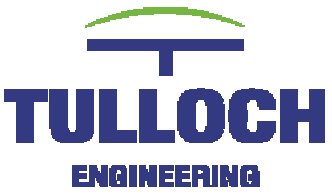
ARCHITECTURE

Jason Lowe Architect Inc.
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Contact: Dan Whalen
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daniel.whelen@tldsbo.on.ca

RFT B25-03 LADY MACKENZIE PUBLIC SCHOOL

ISSUED FOR

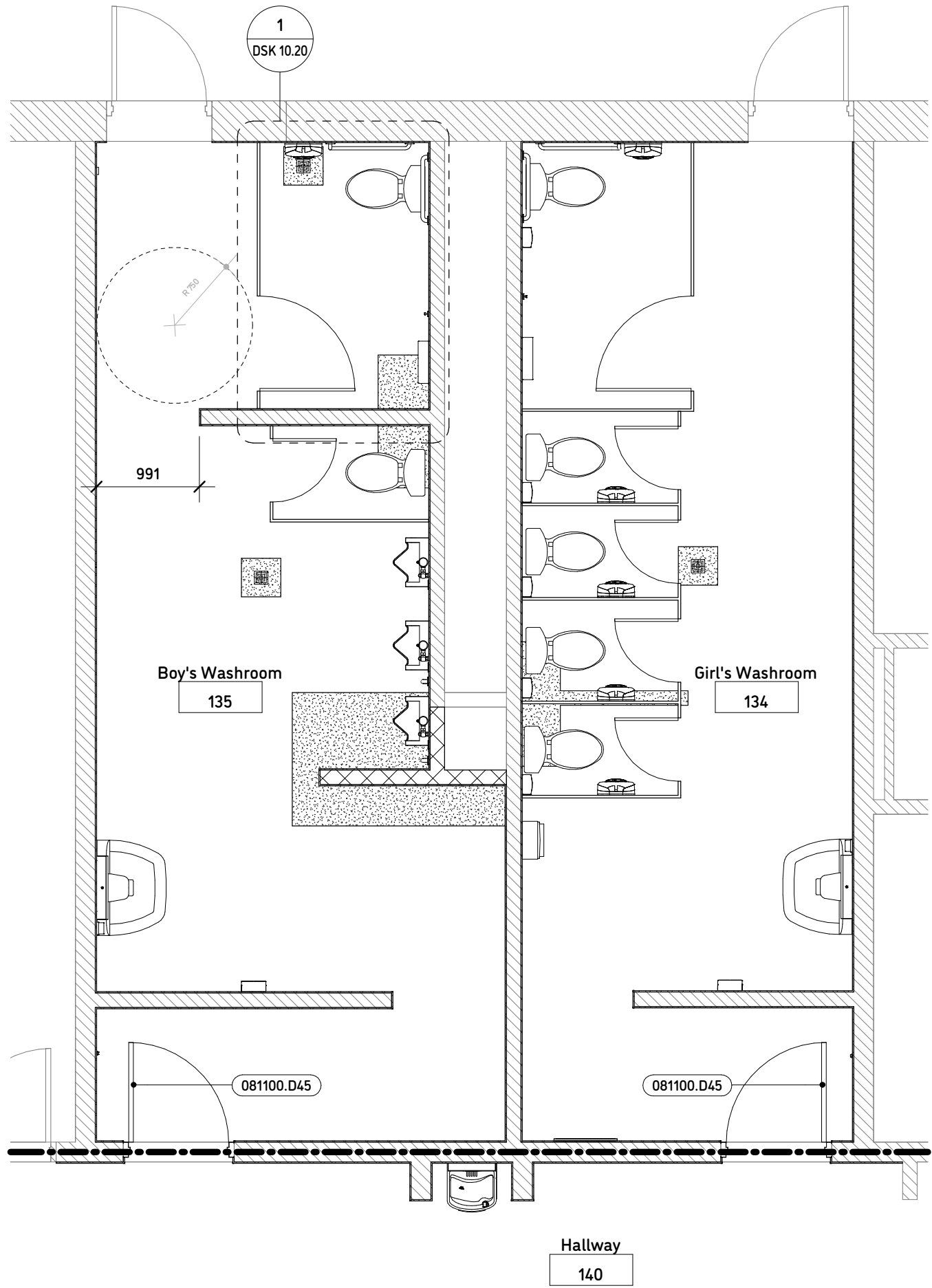
Issued for: TENDER and BUILDING PERMIT

MARCH 24, 2025

ONTARIO BUILDING CODE DATA MATRIX
PART 11

11.00	Building Code Version:	0. Reg. 163/24 Last Amendments: 0. Reg 5/25				OBC Ref.																														
11.01	Project Type:	<div><div><input type="checkbox"/> New</div><div><input type="checkbox"/> Addition</div><div><input type="checkbox"/> Change of Use</div><div><input type="checkbox"/> Addition and Renovation</div><div><input checked="" type="checkbox"/> Renovation</div></div> <div>Description: WASHROOM RENOVATION</div>				[A] 1.3.3.B.																														
11.02	Major Occupancy Classification	Occupancy Assembly (A2)	Use Secondary school			3.1.2.1.(1), 2.1.4.1.(1), and 11.2.1.																														
11.03	Superimposed Major Occupancies	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description:			11.2, 3.2.2.5 to 3.2.2.8, and 2.2.1.																														
11.04	Building Area (m2)	No changes to building area				[A] 1.4.1.2, 11.2., and 11.3.																														
11.05	Building Height	2 Storeys above grade	0 Storeys below grade	Existing - no change		[A] 1.4.1.2, 3.2.1.1, 2.2.2.2., and 11.3.																														
11.06	Number of streets/ Firefighter access	_____ street(s) Existing - no change				3.2.2.10, 3.2.5, 2.2.4.1, and 11.3.																														
11.07	Building size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large				11.2.1.1, and T.11.2.1.1.B-N.																														
11.08	Existing Building Classification	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable (no change of major occupancy) Construction Index: _____ Hazard Index: _____ Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-Disaster				10.1.1.2, 11.2.1.1, T 11.2.1.1.A T 11.2.1.1.B to N 4.1.2.1.(3), 2.3.1., and 5.2.2.1.(2)																														
11.09	Renovation Type	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation				11.3.3.1, and 11.3.3.2.																														
11.10	Occupant Load	Floor Level/Area	Occ. Type	Based On		Occ. Load (Persons)																														
		Entire School A2 Existing no change																																		
11.11	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50 <table><tr><th>Floor Level/Area</th><th>Occupant Load</th><th>OBC Reference</th><th>Fixtures Required</th><th>Fixtures Existing</th><th>Fixtures Provided</th></tr><tr><td colspan="6">Entire School</td></tr><tr><td></td><td>Existing</td><td></td><td></td><td></td><td></td></tr><tr><td>F</td><td>Rm 134</td><td>3.7.4.3 (14)</td><td>_____</td><td>5</td><td>5</td></tr><tr><td>M</td><td>Rm 135</td><td>3.7.4.3 (14)</td><td>_____</td><td>5</td><td>5</td></tr></table>				Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Existing	Fixtures Provided	Entire School							Existing					F	Rm 134	3.7.4.3 (14)	_____	5	5	M	Rm 135	3.7.4.3 (14)	_____	5	5	3.7.4., 11.3.4., 11.3.5, 11.4.2.4., and 11.4.2.5, Tables 3.8.2.3.A and 3.8.2.3.B
Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Existing	Fixtures Provided																															
Entire School																																				
	Existing																																			
F	Rm 134	3.7.4.3 (14)	_____	5	5																															
M	Rm 135	3.7.4.3 (14)	_____	5	5																															
11.12	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Explanation: Existing washrooms to be upgraded to current barrier free requirements.			11.3.1.2, 11.3.2, and 11.3.3.2.																														
11.13	Reduction in Performance Level	Structural: By increase in occupant load: By change of major occupancy: Plumbing: Sewage systems: Extension of combustible construction:		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.																														
11.14	Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes _____		Structural: By increase in occupant load: By change of major occupancy: Plumbing: Sewage systems: Extension of combustible construction:		11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.																														
11.14	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes _____ _____ _____ _____				11.5.1																														
11.15	Notes:	RESERVED				11.5.1																														

All references are to Division B of the OBC, unless provided by (A) for Division A and (T) for Division C.



1 PLAN - FIRE SEPARATIONS
1 : 50

KEYNOTE LEGEND

Key Value	Keynote Text
081100.D45	New 45 Min FRR door and frame c/w power door operator and integrated hold open tied to fire alarm system to release on FA signal.

CODE COMPLIANCE - NOTES

1. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH THE CURRENT ONTARIO BUILDING CODE 2024 AND THE AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
2. FOR GENERAL NOTES, SYMBOLS AND ARCHITECTURAL ABBREVIATIONS REFER TO APPENDIX A: DETAILS.
3. FIRE SEPARATION CONTINUITY. INDICATED FIRE SEPARATIONS AND ASSEMBLIES ARE TO BE CONTINUOUS AND UNINTERRUPTED AT FLOOR, WALL AND ROOF JUNCTIONS. CONDITION OF EXISTING FIRE SEPARATIONS TO BE REVIEWED WITH ARCHITECT ONCE EXPOSED AT THE COMPLETION OF DEMOLITION.
4. FIRE SEPARATIONS/FIRE STOPPING. ALL NEW AND EXISTING PENETRATIONS THROUGH WALLS, FLOORS AND/OR CEILINGS DESIGNATED AS FIRE SEPARATIONS, NEW OR EXISTING EXPOSED DURING DEMOLITION, SHALL BE FIRE STOPPED AND SMOKE SEALED USING ULC TESTED AND APPROVED SYSTEMS. PATCH AND REPAIR ALL FIRE PROOFING AT BUILDING STRUCTURE WHERE MISSING OR DAMAGED TO MAINTAIN REQUIRED FIRE RATING. SEE DRAWING A010. REFER TO SPECIFICATION SECTIONS 01 33 00 AND 07 84 00.
5. MOUNTING HEIGHTS. REFER TO APPENDIX A: DETAIL BOOKLET FOR CODE REQUIRED BARRIER FREE MOUNTING HEIGHTS FOR ALL PLUMBING AND WASHROOM FIXTURES, ACCESSORIES AND DOOR CONTROLS.
6. CLEARANCES. CODE REQUIRED CLEARANCES ARE INDICATED BY DIMENSIONS IN PLAN AND ARE TO FINISHED FACES AND MUST BE MAINTAINED IN THE COMPLETED WORK.
7. SERVICE PENETRATIONS IN FIRE SEPARATIONS. COORDINATE ALL SERVICE PENETRATIONS, FIRE DAMPERS IN FIRE SEPARATIONS WITH MECHANICAL AND ELECTRICAL SCOPE.
8. CLOSURES. REFER TO DOOR SCHEDULE, APPENDIX A AND THE SPECIFICATIONS FOR REQUIRED RATED DOORS, FRAMES AND RELATED HARDWARE.

LEGEND

- 0 HR FRR FIRE SEPARATION (SMOKE SEAL)
- 45 MIN FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1-1/2 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE WALL
- EGRESS PATH
- EXIT



20 SOUTH DUFFERIN ST HUNTSVILLE ONTARIO P1H 1V7

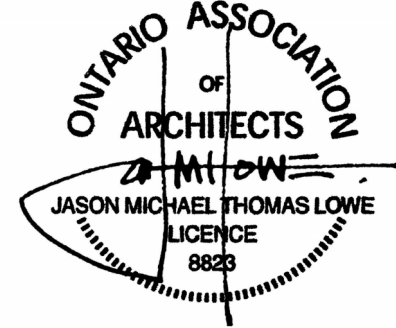
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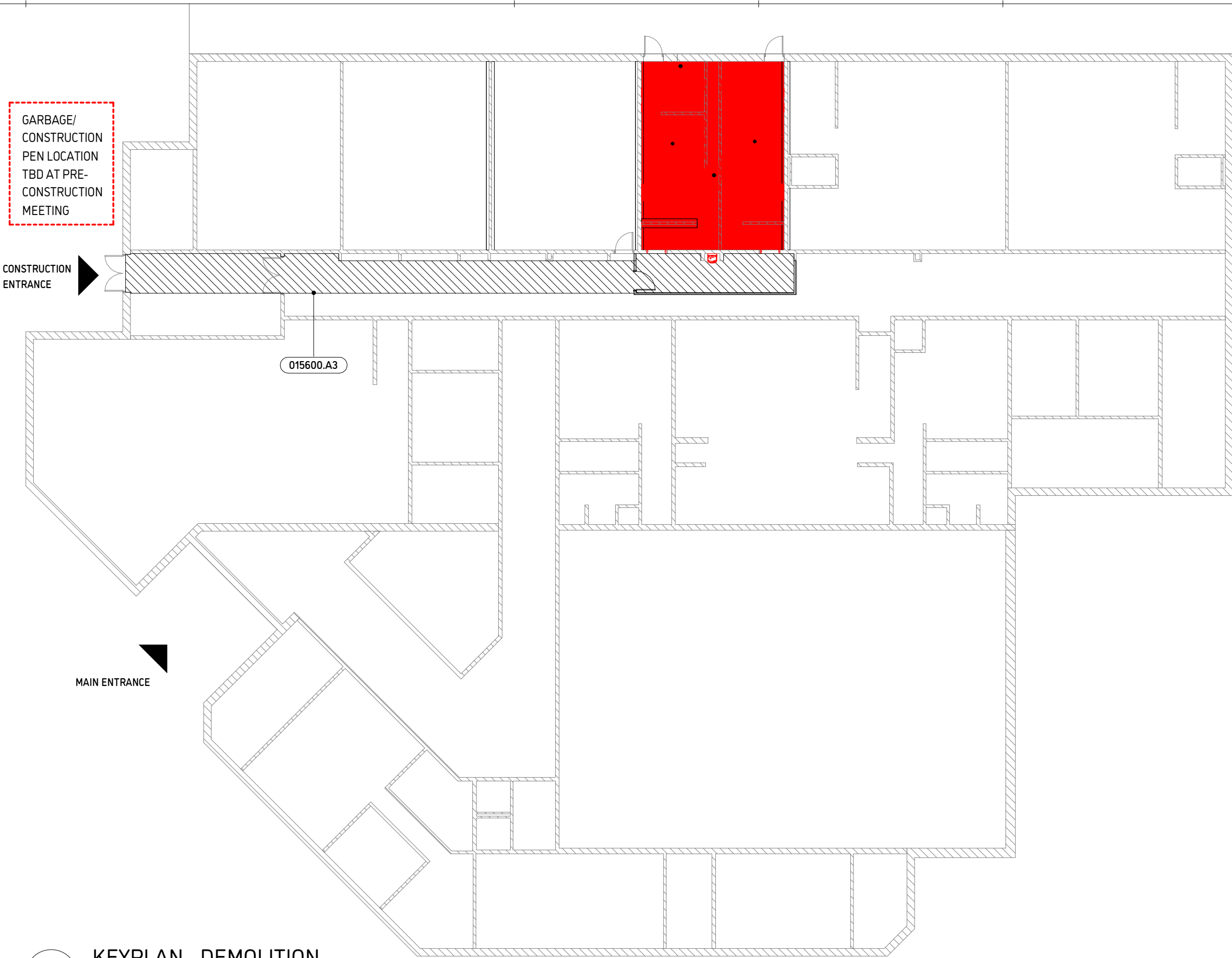
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PROJECT NO: RFT B25-03
DRAWN: JL
CHECKED: Checker

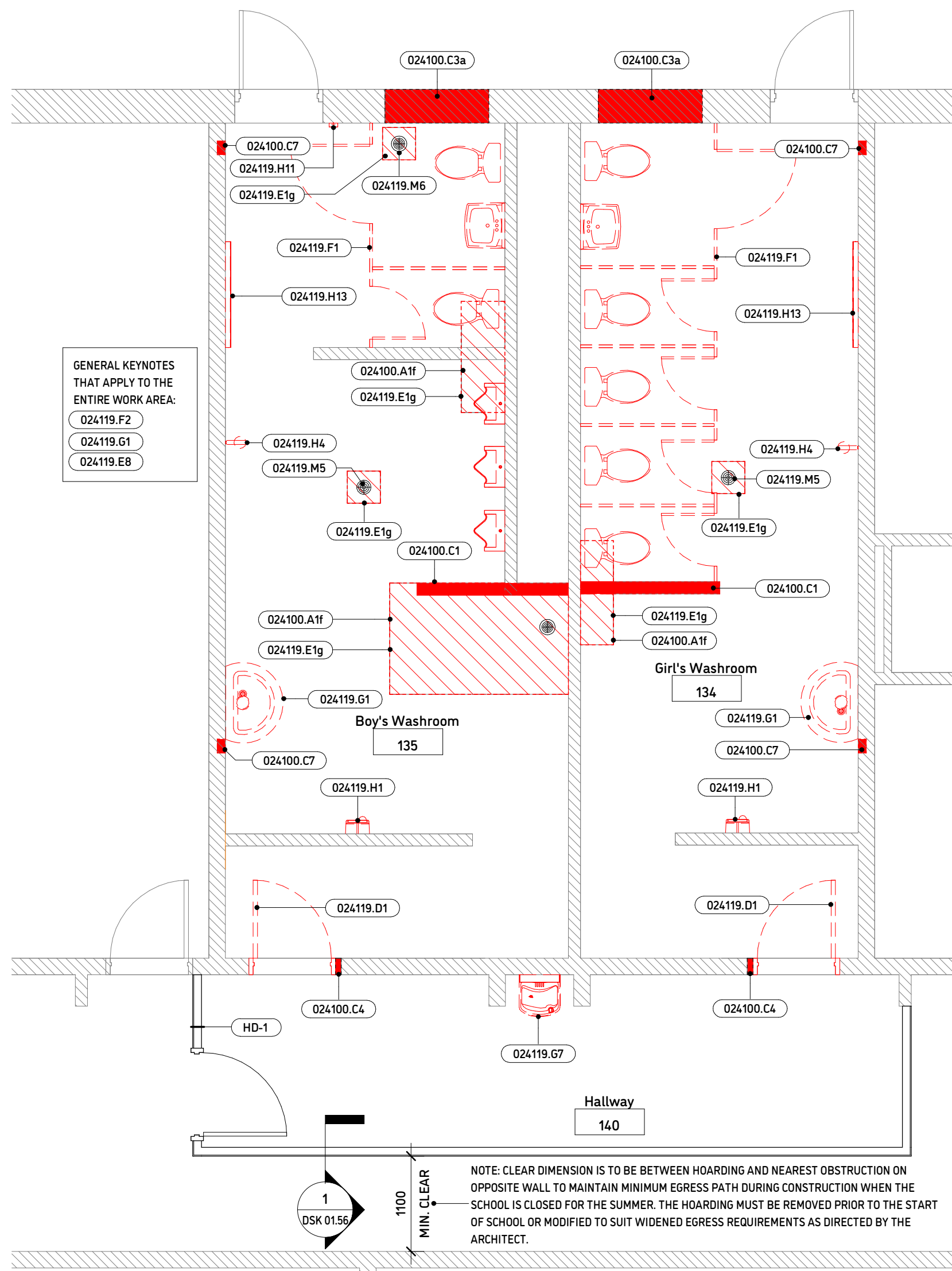
Revisions	
#	Description
Date	

Title
CODE COMPLIANCE

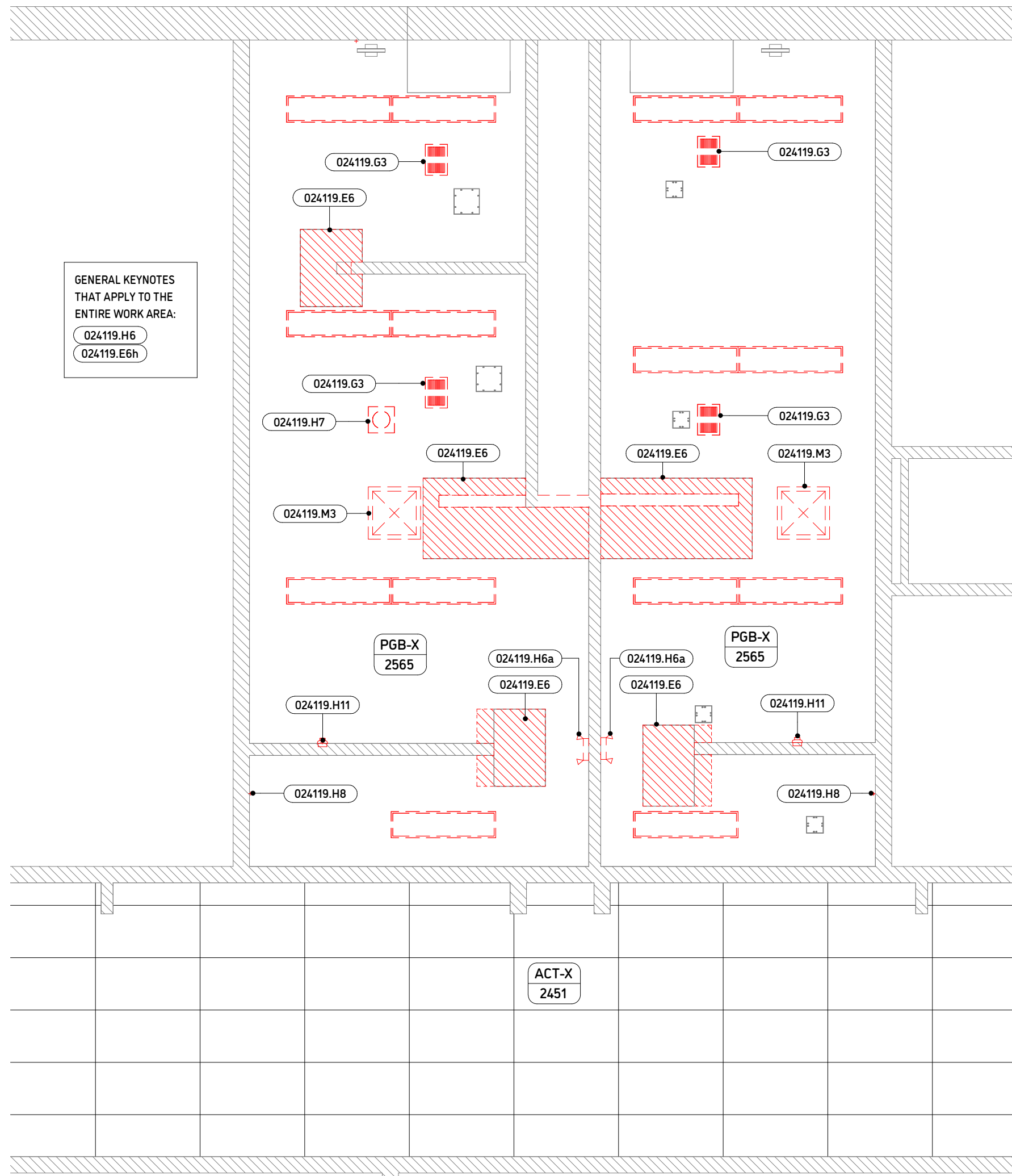
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A010



3 KEYPLAN - DEMOLITION
1:200



1 PLAN - DEMOLITION
1:50



2 RCP - DEMOLITION
1:50

KEYNOTE LEGEND

Key Value	Keynote Text
015600.A3	TEMPORARY FLOOR PROTECTION. Provide and maintain "Ram Board" protection over existing floor finish during entire duration of construction. Attach so as not to damage existing finish.
024100.A1f	SLAB ON GRADE. Refer to mechanical for new plumbing requirements. Provide all scanning, sawcutting and removal of entire or portions of existing slab on grade, excavation and trenching (assume 600mm deep) of existing below slab material to achieve below slab drainage installations as indicated in the mechanical drawings. Refer to structural for scanning, backfill, compaction, underpinning of adjacent walls and repair/replacement of slab on grade requirements. Refer to mechanical for post construction inspection, video and report requirements.
024100.C1	MASONRY WALL. Remove completely to accommodate new work. Refer to structural for further information.
024100.C3a	NEW OPENING IN EXTERIOR WALL. Remove portion of wall as required to accommodate new work. Refer to structural for new lintel requirements. Provide engineered shoring as required.
024100.C4	WIDENED DOOR OPENING. Remove portion of wall as required to accommodate new work. Refer to structural for new lintel requirements. Provide engineered shoring as required.
024100.C7	VERTICAL TRENCH. Refer to structural for detail. Trench existing concrete block masonry vertically to accommodate new service routing.
024119.D1	DOOR. Remove existing door, frame and related hardware.
024119.E1g	TERRAZZO FLOORING. Remove portions of existing terrazzo flooring in area indicated to accommodate slab removal for new work. Remove to nearest divider strip and protect edges during construction. Extent of removals to be reviewed with the Consultant at time of demolition.
024119.E6	GYP SUM/PLASTER CEILING. Remove sections of existing gypsum/plaster ceiling for structural modifications including installation of masonry lateral supports, lintels and repair work, new partition installation and/or modifications to existing, and all M&E services new and/or existing as required to accomplish new work.
024119.E6h	GYP SUM BOARD CEILING. Existing gypsum board membrane ceiling. Remove portions required to perform new work for plumbing and electrical work. Reinstall same assembly in New Work.
024119.E8	RUBBER BASE. Remove existing rubber base and prepare substrate for new finish.
024119.F1	TOILET/URINAL/SHOWER PARTITIONS. Remove all toilet/shower partitions including floor and wall brackets, doors and related hardware. Patch/repair any holes/damage to substrate to remain.
024119.F2	WASHROOM ACCESSORIES. Remove all mirrors, grab bars, toilet paper, paper towel and soap dispensers, sanitary napkin disposal and vending accessories, coat hooks and shelves. Where in new condition turn over to Owner or retain for reuse as directed by the Consultant. Where accessories are recessed into wall patch/repair/infill void as required to prepare for new finish.
024119.G1	PLUMBING FIXTURES. Remove all plumbing fixtures. Refer to Mechanical for complete removal scope.
024119.G3	EXHAUST GRILLES and FANS. Remove as indicated in mechanical drawings.
024119.G7	DRINKING FOUNTAIN. Remove existing drinking fountain. SALVAGE if newer type and in good condition review with Consultant if unit is to be retained for Owner.
024119.H1	HAND DRYER. Remove hand dryer and associated fasteners and any surface mounted conduit, repair substrate as required for new work. Refer also to Electrical.
024119.H4	ELECTRICAL RECEPTACLE. Refer to Electrical for removals.
024119.H6	LIGHT FIXTURES. Remove all existing light fixtures. Refer to Electrical for complete removal scope.
024119.H6a	LIGHT FIXTURES. Remove existing light fixtures as indicated. Refer to Electrical for complete removal scope.
024119.H7	PA SPEAKER. Remove PA Speaker. Refer to Electrical for complete removal scope.
024119.H8	ELECTRICAL DEVICES. Refer to Electrical for complete removal scope.
024119.H11	FIRE ALARM DEVICES. Refer to electrical for removals. Coordinate disconnection with Owner prior to removal.
024119.H13	ELECTRIC BASEBOARD HEATER. Refer to electrical for removals.
024119.M3	Refer to Mechanical for Removals
024119.M5	FLOOR DRAIN. Refer to Mechanical for further removals and cutting/capping, modifications to existing services.
024119.M6	CLEANOUT. Refer to Mechanical for further removals and cutting/capping, modifications to existing services.

PRE-CONSTRUCTION REQUIREMENTS

- SITE REVIEWS.** REFER TO SPECIFICATION FOR LIST OF REQUIRED ON SITE REVIEWS THAT THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE CONSULTANT.
- DRAINAGE INSPECTIONS.** A PRE-CONSTRUCTION DRAINAGE INSPECTION HAS BEEN PERFORMED BY THE OWNER FOR THIS PROJECT. REFER TO OWNER'S PROVIDED INFORMATION IN THE RFT DOCUMENTATION. NOTE THAT POST-CONSTRUCTION DRAINAGE INSPECTIONS ARE A REQUIREMENT OF THE CONTRACT. REFER TO MECHANICAL FOR REQUIREMENTS.
- AIR FLOW TESTS.** A PRE-CONSTRUCTION AIR FLOW TEST IS REQUIRED PRIOR TO CONSTRUCTION. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS.
- DOORS.** ALL DOOR AND DOOR FRAME DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO SHOP DRAWING PREPARATION. REPORT TO AND REQUEST CLARIFICATION FROM THE CONSULTANT ANY DISCREPANCIES.
- HAZARDOUS MATERIALS PROCEDURES.** PRIOR TO ANY ON SITE WORK THE CONTRACTOR IS TO CONSULT WITH THE OWNER AND OBTAIN A COMPLETE UNDERSTANDING OF THE OWNER'S ABATEMENT AND HAZARDOUS MATERIALS PROCEDURES.

DEMOLITION NOTES

- READ THESE DRAWINGS IN CONJUNCTION WITH NEW WORK AND ADDITIONAL DEMOLITION SCOPE DESCRIBED IN STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION ENGINEERING INCLUDING SHORING AND SCANNING OF EXISTING SLAB ON GRADE AND SUSPENDED SLABS TO PERFORM DEMOLITION WORK. REFER TO STRUCTURAL FOR FURTHER INFORMATION.
- DEMOLITION FLOOR PLAN DRAWINGS GENERALLY INDICATE THE EXISTING STATE OF THE EXISTING BUILDING. DIAGONAL HATCHED WALLS INDICATE APPROXIMATE EXTENT OF EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, EXTENT OF DEMOLITION AND REMOVALS ON SITE PRIOR TO PROCEEDING WITH THE WORK.
- BROKEN, DASHED AND RED LINES AND HATCHES GENERALLY INDICATE REMOVALS. SCOPE TO INCLUDE REMOVALS AS REQUIRED TO ACHIEVE NEW WORK.
- PROVIDE TEMPORARY BRACING AND SHORING TO SUPPORT EXISTING CONSTRUCTION TO ALLOW FOR NEW CONSTRUCTION AS INDICATED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION ENGINEERING REQUIRED TO PERFORM WORK OF CONTRACT. REFER TO STRUCTURAL.
- REFER TO OWNER'S REQUIREMENTS FOR HAZARDOUS MATERIALS PROCEDURES.
- UPON REMOVAL OF WALL AND CEILING FINISHES THE CONTRACTOR IS TO EXAMINE ALL WALLS TO IDENTIFY ANY EXISTING DEFICIENCIES IN DESIGNATED FIRE SEPARATIONS AND BRING THEM TO THE ATTENTION OF THE CONSULTANT. REPAIR AND REINSTATEMENT OF FIRE SEPARATION/FIRE STOPPING INTEGRITY WILL BE ADDRESSED THROUGH CONTINGENCY ALLOWANCE.
- ACCESS DOORS. EXISTING ACCESS DOORS IN WALLS AND CEILING ARE TO BE NOTED AND DIMENSIONED IN PLAN BY CONTRACTOR ON AS-BUILTS AND COORDINATED WITH MECHANICAL AND ELECTRICAL TRADES FOR RE-USE IN NEW WORK IF REQUIRED. IF NOT REQUIRED NOTIFY CONSULTANT. ABANDONED ACCESS DOOR PENETRATIONS IN WALLS TO BE FILLED/REPAIRED AS REQUIRED TO SUPPORT NEW FINISH OVER.
- SLAB CUTTING AND UNDERSLAB DRAINAGE WORK.
BID PRICE TO INCLUDE:
a) SELECTIVE AND CLEAN CUTTING AND REMOVAL OF SLAB TO ACHIEVE NEW WORK INDICATED IN MECHANICAL DRAWINGS AND SPECIFICATIONS.
b) ASSUME EXCAVATION/TRENCHING TO APPROXIMATELY 600mm BELOW SLAB TO EXPOSE UNDERSLAB DRAINAGE OR INSTALL NEW AS INDICATED IN THE MECHANICAL DRAWINGS.
c) BACKFILL. SUBSURFACE MATERIAL CONDITION IS TO BE REVIEWED BY CONSULTANT PRIOR TO BACKFILL. REFER TO STRUCTURAL FOR BACKFILL REQUIREMENTS.
d) NEW SLAB INFILL - REFER TO STRUCTURAL FOR DETAILS.
- HOARDING. REFER TO APPENDIX A: DETAILS FOR HOARDING DETAILS. CONTRACTOR TO PROVIDE PLYWOOD OR OTHER DUST-PROOF TYPE DOOR INTO EACH HOARDED ZONE. IF KEY IS REQUIRED FOR ACCESS, CONTRACTOR IS TO PROVIDE TLOSB ON-SITE STAFF WITH A KEY FOR ACCESS TO THE WORK SITE(S) AT ALL TIMES.
- WASHROOM ACCESSORIES. IN GENERAL ALL WASHROOM ACCESSORIES TO BE REMOVED UNLESS OTHERWISE NOTED.
- CEILING GRIDS. UNLESS NOTED OR DIMENSIONED OTHERWISE NEW CEILING GRIDS HAVE BEEN LOCATED TO MATCH EXISTING GRID LAYOUTS TO MAINTAIN EXISTING RELATIONSHIPS TO DUCTWORK, SUPPORTS ETC. CONTRACTOR TO LOCATE AN EXISTING GRID T REFERENCE POINT PRIOR TO DEMOLITION FOR LAYOUT OF NEW GRID AS REQUIRED.
- PROTECTION. ALL EXISTING TO REMAIN FLOOR, WALL AND CEILING FINISHES AND ANY FIXTURES TO REMAIN ARE TO BE PROTECTED FOR THE DURATION OF CONSTRUCTION WITH PLYWOOD, RAM BOARD, FOAM CORNER GUARDS OR OTHER APPROPRIATE MEANS PROVIDED AND MAINTAINED BY THE CONTRACTOR.



20 SOUTH DUFFERIN ST HUNTSVILLE ONTARIO P1H 1V7

RFT B25-03 LADY MACKENZIE PUBLIC SCHOOL

ISSUED FOR

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MARCH 24, 2025

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PROJECT NO: RFT B25-03
DRAWN: JL
CHECKED: Checker

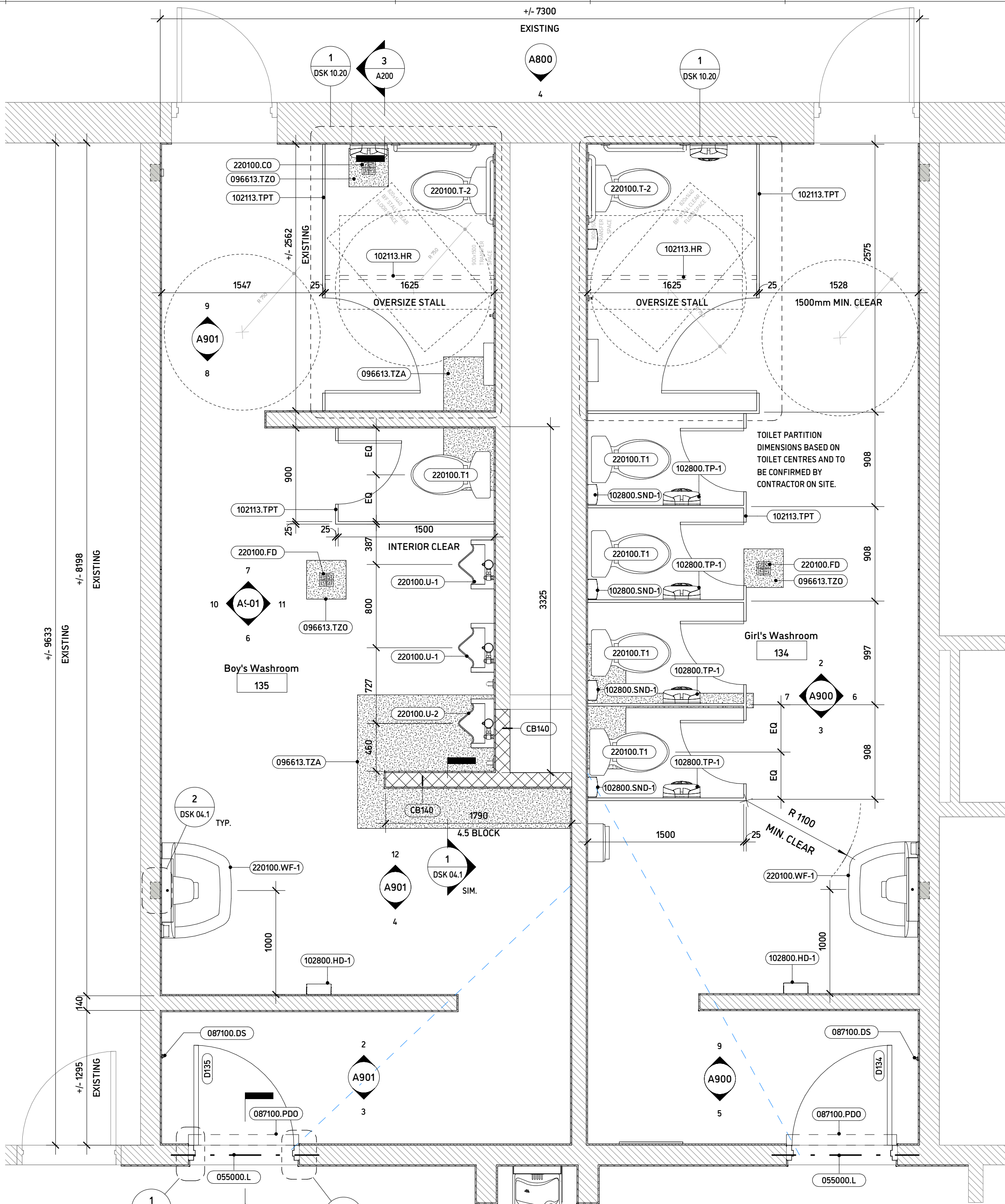
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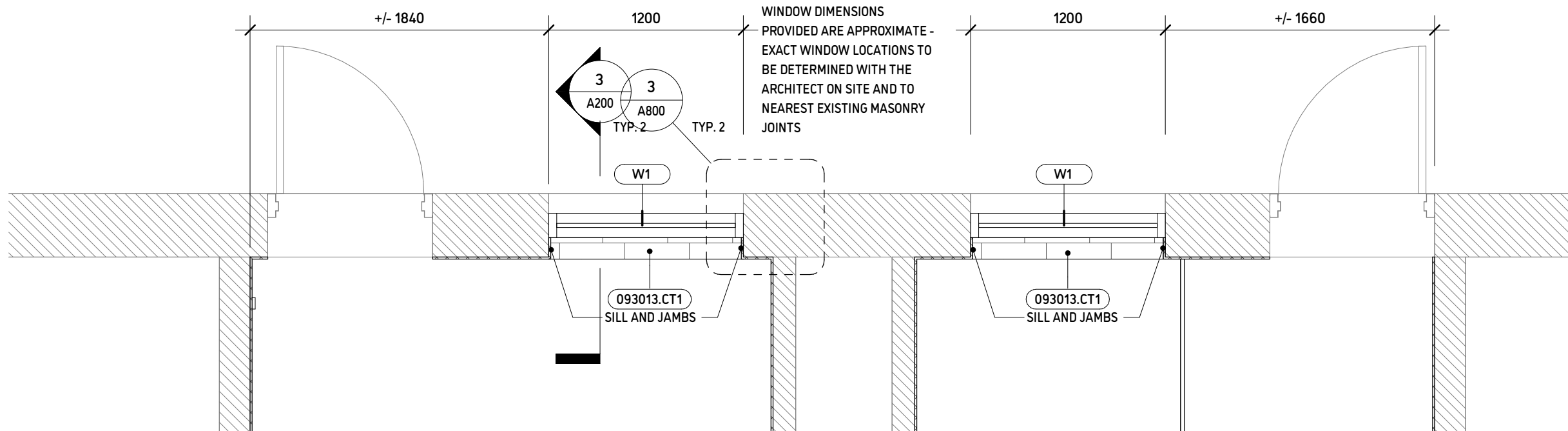
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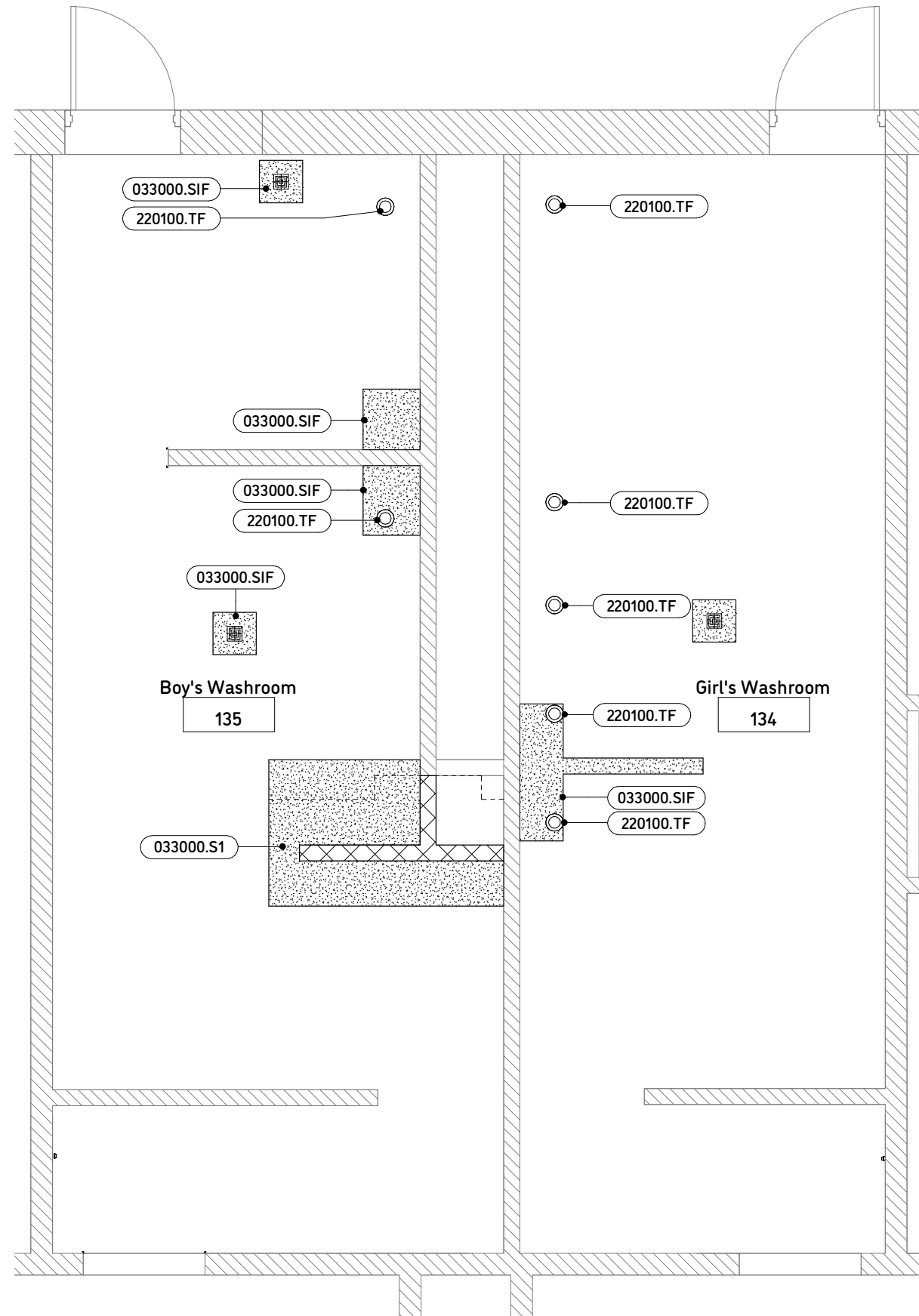
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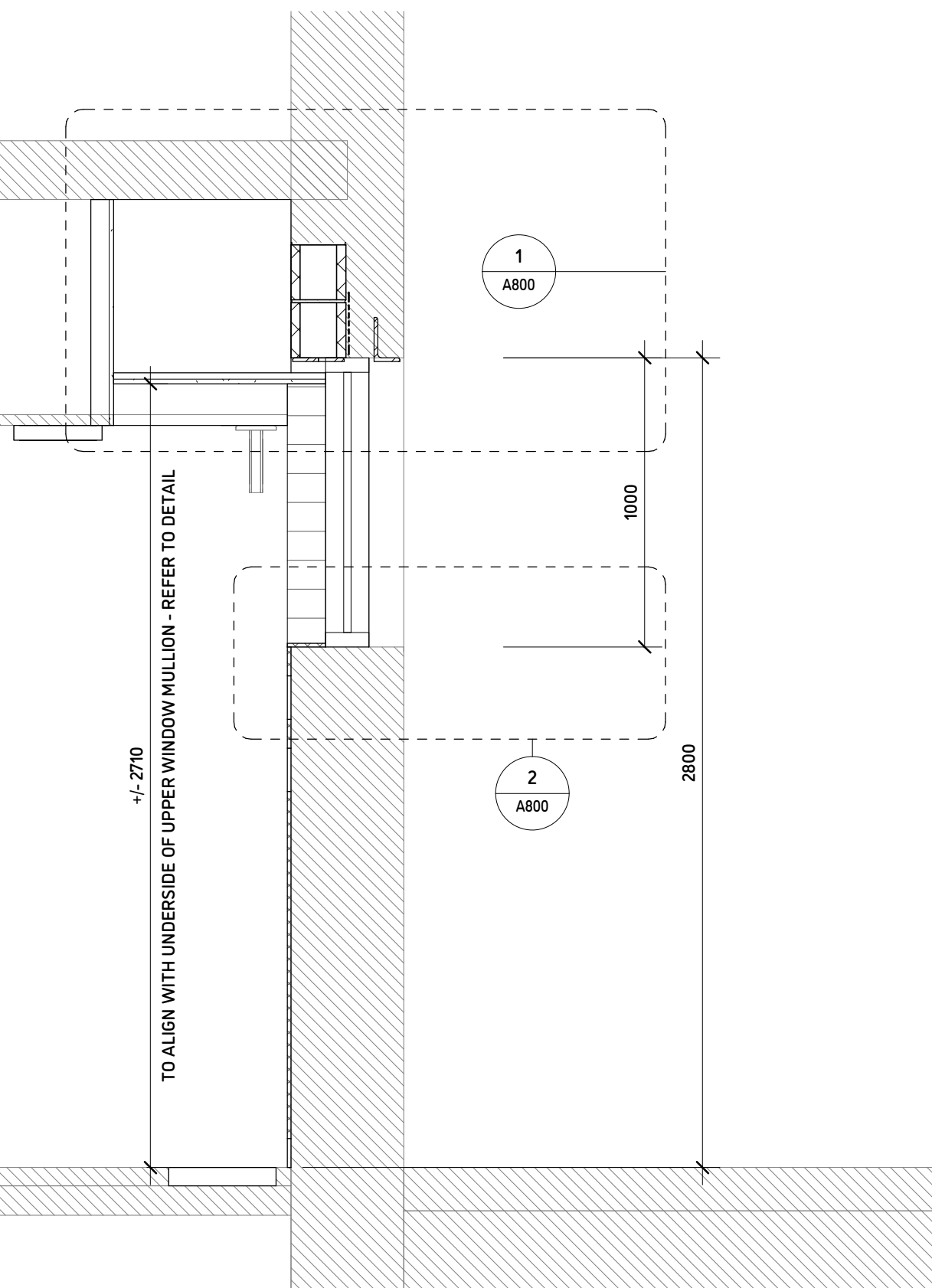
1 PLAN - NEW WORK
1:30



2 PART PLAN - NEW WORK CLERESTOREY
1:30



4 PLAN - NEW WORK SLAB EDGE
1:50



3 WALL SECTION - TYPICAL NEW WINDOW
1:20

KEYNOTE LEGEND

Key Value	Keynote Text
033000.S1	SLAB THICKENING below new masonry. Refer to structural for details.
033000.SIF	SLAB INFILL. Refer to structural for details.
055000.L	LINTEL Refer to structural.
087100.DS	DOOR STOP - wall mounted. Provide blocking behind gypsum board in steel stud partitions.
087100.PDO	POWER DOOR OPERATOR with hold open function. [Refer also to Electrical]
093013.CT1	CERAMIC WALL TILE 100x400 Arctic White Bright
096613.TZA	TERRAZZO New terrazzo floor finish to match existing.
096613.TZO	TERRAZZO Terrazzo infill to repair existing terrazzo removed for at new floor drain/cleanout.
102113.HR	HEADRAIL
102113.TPT	TOILET PARTITION - O/H Braced Floor Mount HDPE
102800.HD-1	HAND DRYER. Contractor to provide hand dryer and coordinate installation with Electrical trade. Refer to electrical for power supply.
102800.SND-1	SANITARY NAPKIN DISPOSAL
102800.TP-1	TOILET PAPER HOLDER supply by Owner install by Contractor
220100.CO	CLEAN OUT. Refer to mechanical.
220100.DF-1	DRINKING FOUNTAIN DF-1 Refer to mechanical.
220100.FD	FLOOR DRAIN. Refer to mechanical.
220100.T1	TOILET T-1. Refer to mechanical.
220100.T-2	TOILET T-2. Refer to mechanical.
220100.TF	TOILET FLANGE in tile
220100.U-1	URINAL U-1. Refer to mechanical.
220100.U-2	URINAL U-2 B/F Height. Refer to mechanical.
220100.WF-1	WASHFOUNTAIN WF-1. Refer to mechanical.

GENERAL NOTES - NEW WORK

1. ALL WORK SHALL COMPLY WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE, REFERENCED STANDARDS, AND MANUFACTURER'S INSTRUCTIONS.
2. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS AND WORK BY ALL TRADES.
3. COORDINATE LOCATIONS OF NEW FLOOR, WALL AND ROOF OPENINGS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LATEST REVIEWED SHOP DRAWINGS.
4. THE CONTRACT DOCUMENTS ARE TO BE READ AS A WHOLE. REFER TO CONTRACT FOR HIERARCHY OF INFORMATION. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. WHERE CONFLICTS ARE ENCOUNTERED BETWEEN DISCIPLINES THE CONTRACTOR IS TO REQUEST CALRIFICATION FROM THE CONSULTANT IN WRITING.
5. DETAILS AND SECTIONS ON THE DRAWINGS ARE INDICATED AT SPECIFIC LOCATIONS. DETAILS NOTED "TYPICAL" OR "TYP" IMPLY SIMILAR CONDITIONS TO BE TREATED SIMILARLY. MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS. WHERE SIGNIFICANT DIFFERENCES ARE ENCOUNTERED DUE TO SITE CONDITION CONTACT CONSULTANT FOR REVIEW AND DIRECTION PRIOR TO PROCEEDING.
6. FIRE SEPARATIONS/FIRE STOPPING. ALL NEW AND EXISTING PENETRATIONS THROUGH WALLS, FLOORS AND/OR CEILINGS DESIGNATED AS FIRE SEPARATIONS, NEW OR EXISTING EXPOSED DURING DEMOLITION, SHALL BE FIRE STOPPED AND SMOKE SEALED USING ULC TESTED AND APPROVED SYSTEMS, PATCH AND REPAIR ALL FIRE PROOFING AT BUILDING STRUCTURE WHERE MISSING OR DAMAGED TO MAINTAIN REQUIRED FIRE RATING. SEE DRAWING A010. REFER TO SPECIFICATION SECTIONS 0133 00 AND 0784 00.
7. COORDINATE AND SEQUENCE INSTALLATION OF ALL BLOCKING REQUIRED BY NEW WORK WITH ELEVATIONS AND DETAILS.
8. ACCESS PANELS/DOORS. NOT ALL REQUIRED OR EXISTING ACCESS PANELS, DOORS OR COVERS MAY BE INDICATED ON THE DRAWINGS. CONTRACTOR TO COORDINATE ACCESS DOOR AND PANEL REQUIREMENTS WITH APPROPRIATE TRADES. WHERE CONFLICTS ARISE REQUEST CLARIFICATION FROM CONSULTANT.
9. FLOOR DRAINS. REFER TO MECHANICAL. WHERE EXISTING FLOOR DRAINS ARE POSITIONED HIGH IN NEW WORK ALLOW FOR LOCAL SLAB CHIPPING AND FLOOR LEVELING TO SUIT SLOPE OR FLUSH TO NEW FINISHES INSTALL OF NEW DRAIN BODY.
10. FLOOR FINISHES. FLOOR FINISHES ARE NOT INDICATED ON GENERAL FLOOR PLANS FOR CLARITY. REFER TO FLOOR FINISH PLAN(S) FOR FLOOR FINISH INFORMATION, TILE PATTERNS AND RELATED INFORMATION.
11. CEILING GRIDS. UNLESS NOTED OR DIMENSIONED OTHERWISE NEW CEILING GRIDS HAVE BEEN LOCATED TO MATCH EXISTING GRID LAYOUTS TO MAINTAIN EXISTING RELATIONSHIPS TO DUCTWORK, SUPPORTS ETC. CONTRACTOR TO LOCATE AN EXISTING GRID T REFERENCE POINT PRIOR TO DEMOLITION FOR LAYOUT OF NEW GRID AS REQUIRED.
12. REFER TO APPENDIX A DSK 09 SERIES FOR CONSTRUCTION ASSEMBLIES.

DIMENSIONING CONVENTIONS

- A. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE CLEAR MEASUREMENTS TO FINISHED FACE UNLESS OTHERWISE NOTED.
- B. THE CONTRACTOR SHALL ENSURE ALL CODE REQUIRED MINIMUM CLEARANCES ARE MAINTAINED IN THE WORK. NOTIFY CONSULTANT WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE ACHIEVED FOR REVIEW AND DIRECTION.
- C. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- D. MAINTAIN CONSISTANT FINISHED FLOOR DATUM THROUGHOUT THE PROJECT AREA SUCH THAT DIMENSIONS INDICATED AS ABOVE FINISHED FLOOR (AFF) ARE REFERENCED FROM THE SAME DATUM TO MAINTAIN ALIGNMENT OF ELEMENTS HORIZONTALLY.
- E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. REPORT ALL DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- F. REFER TO APPENDIX A: DETAILS FOR TYPICAL MOUNTING HEIGHTS. BUILDING CODE REQUIRED MINIMUM CLEARANCES ARE TO BE MAINTAINED.

DOOR SCHEDULE

Door #	From		To		Door Type	Width	Height	Thick	Door Material	Door Finish	Frame			Hardware	Fire Rating	Comments
											Frame Type	Frame Material	Finish			
D134	Hallway	140	Girl's Washroom	134	D2	965	2134	44	HM	PME	F1	PSF	PME	HG #1	45 MIN	F
D135	Hallway	140	Boy's Washroom	135	D2	965	2134	44	HM	PME	F1	PSF	PME	HG #1	45 MIN	F

DOOR SCHEDULE - NOTES

1. REFER TO DOOR SCHEDULE COMMENTS COLUMN FOR APPLICABLE NOTE(S)
2. REFER TO APPENDIX A: DETAILS FOR ADDITIONAL DOOR AND FRAME INFORMATION
3. CONTRACTOR TO CONFIRM ON SITE ALL EXISTING DIMENSIONS FOR DOOR LEAF, FRAME WIDTH, HEIGHT, PROFILE AND DEPTH AT JAMB AND HEAD AND EXISTING ROUGH OPENINGS PRIOR TO SHOP DRAWING SUBMISSION AND FABRICATION. ANY DISCREPANCIES BETWEEN THE DOOR SCHEDULE AND EXISTING CONDITION DIMENSIONS TO BE REVIEWED WITH THE ARCHITECT.
- A. NEW DOOR AND HARDWARE IN EXISTING FRAME. CONTRACTOR TO CONFIRM ALL EXISTING DOOR, FRAME AND HARDWARE DIMENSIONS AND COORDINATE NEW DOOR AND HARDWARE WITH EXISTING FRAME PREP. FOR RATED DOORS/FRAMES ENSURE FIELD MODIFICATIONS MEET NFPA 80 REQUIREMENTS FOR ACCEPTABLE FIELD MODIFICATIONS SO AS TO NOT VOID RATING.
- B. PROVIDE NEW DOOR GRILLE REFER TO MECHANICAL.
- C. CUSTOM SIZE DOOR - CONTRACTOR TO CONFIRM DIMENSIONS ON SITE.
- D. FIRE SEPARATION INFILL REQUIRED ABOVE FRAME.
- E. UNDERCUT REQUIRED - REFER TO MECHANICAL.
- F. PAINT FINISH. DOOR AND FRAME PAINTED. COLOUR TO MATCH EXISTING SCHOOL COLOUR SCHEME IN ADJACENT DOORS.



20 SOUTH DUFFERIN ST HUNTSVILLE ONTARIO P1H 1V7

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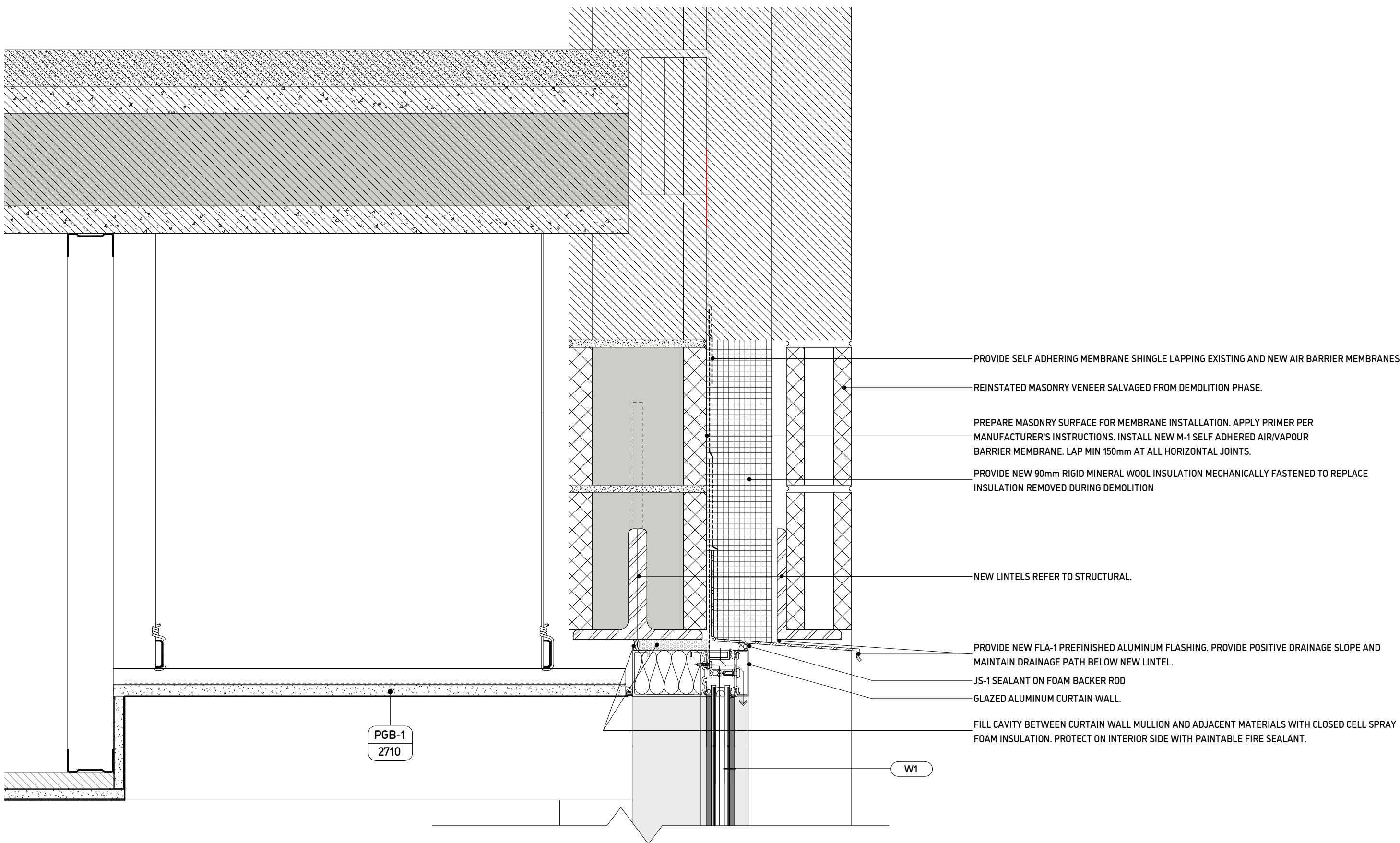
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NEW WORK PLAN

Title

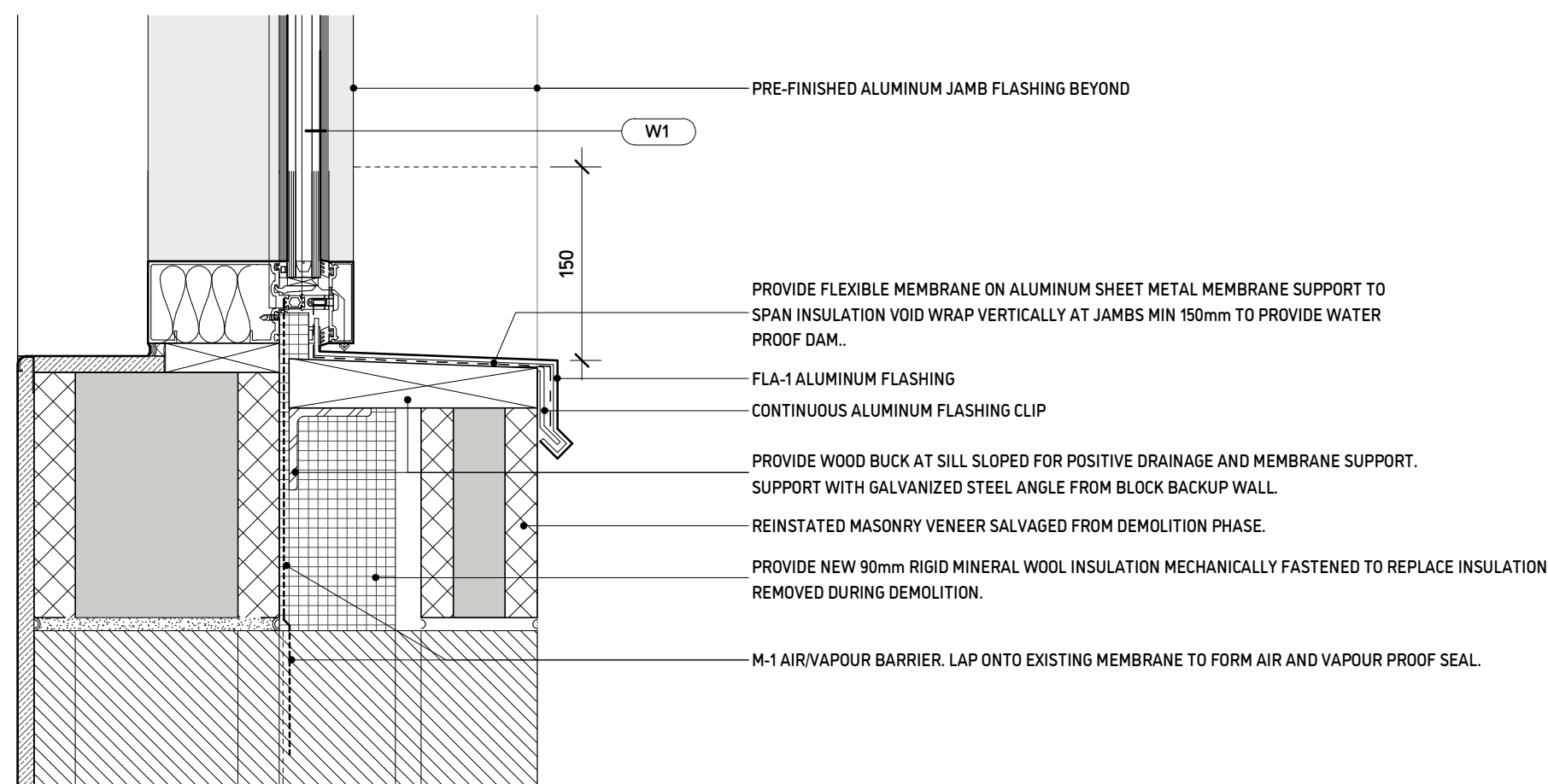
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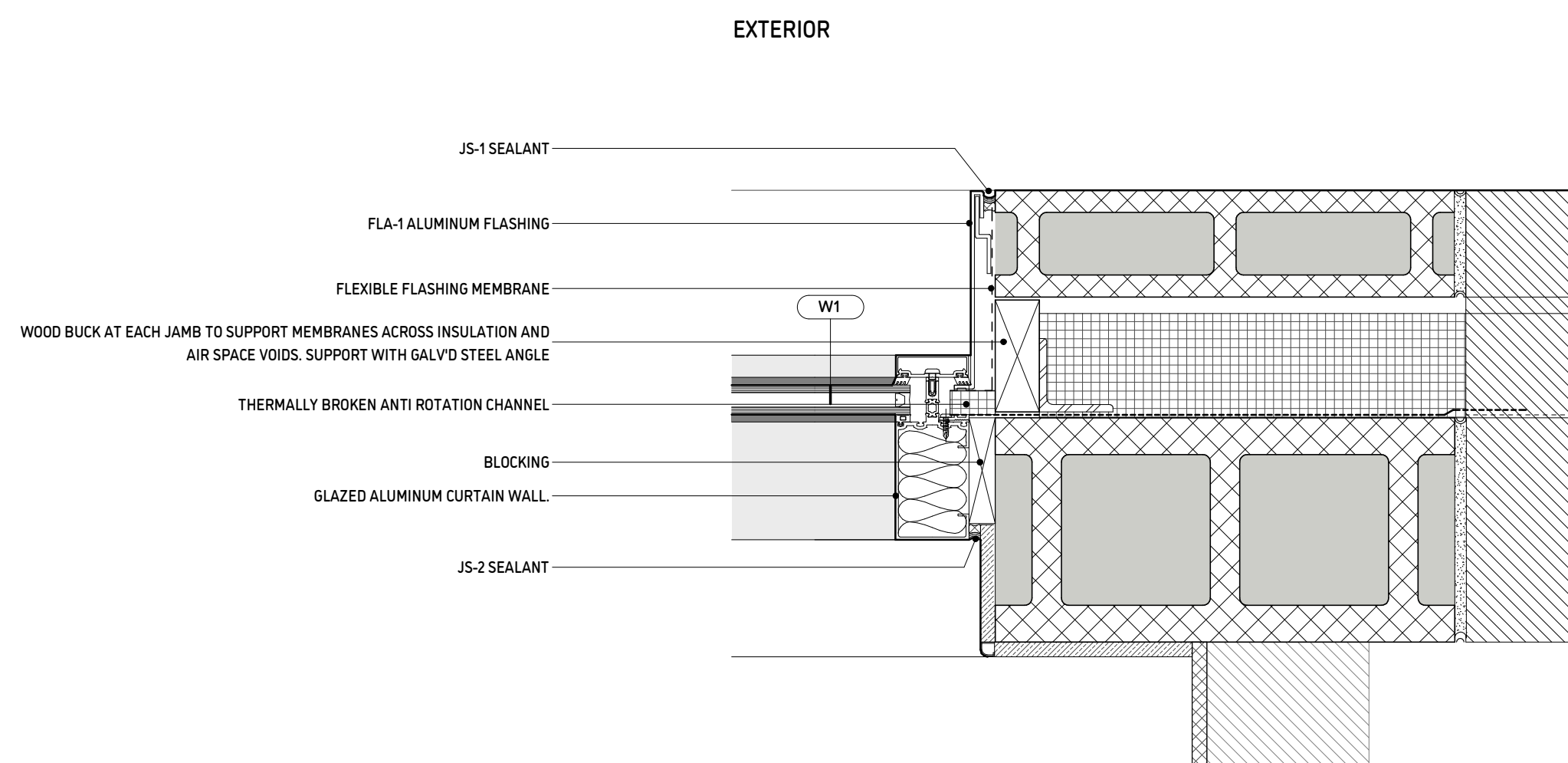
1 SECTION DETAIL - WINDOW HEAD

1:5



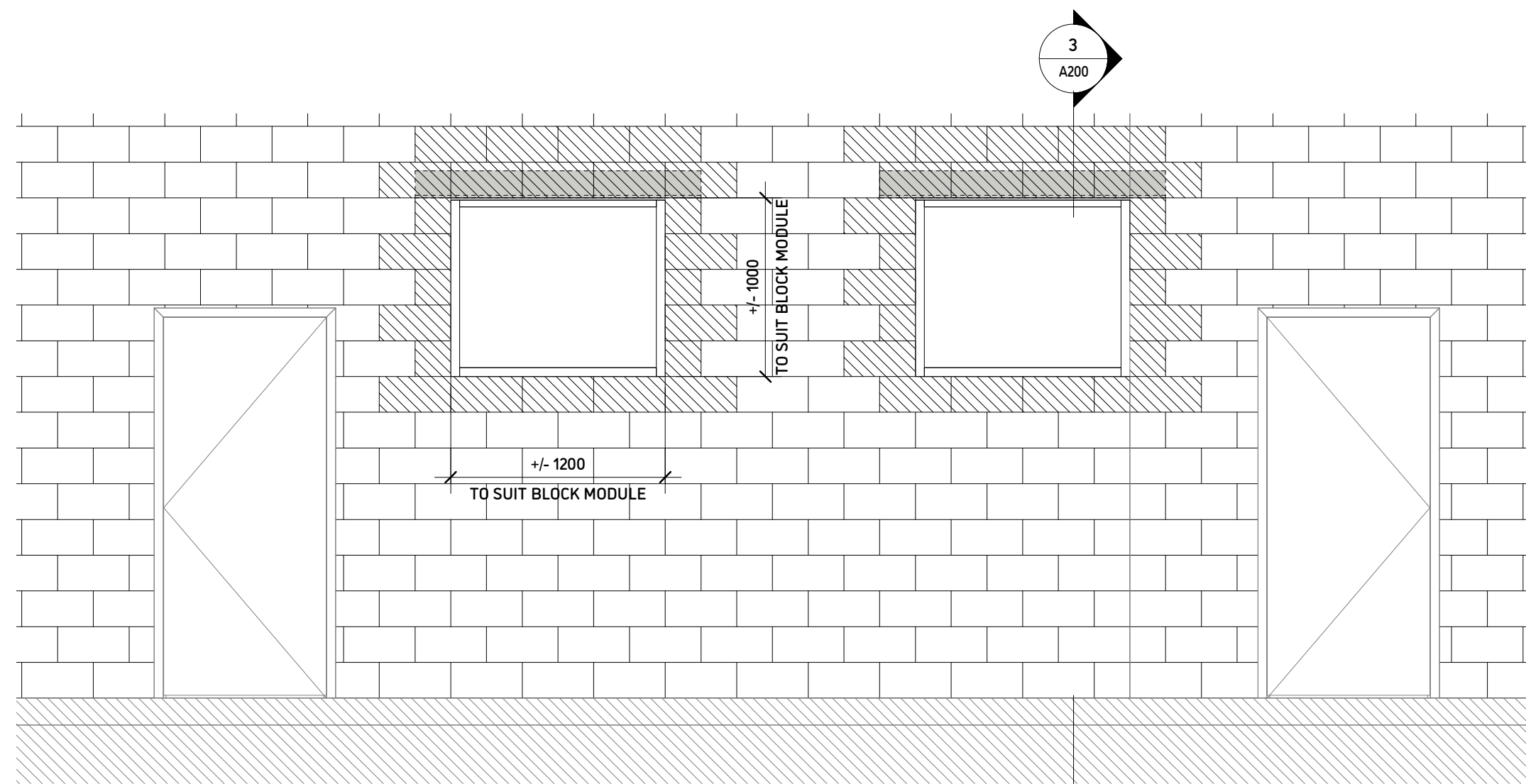
2 SECTION DETAIL - WINDOW SILL

1:5



3 PLAN DETAIL - TYPICAL WINDOW JAMB

1:5



4 EXTERIOR ELEVATION LOOKING SOUTH

1:30

DIMENSIONING CONVENTIONS

A. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE CLEAR MEASUREMENTS TO FINISHED FACE UNLESS OTHERWISE NOTED.

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E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. REPORT ALL DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.

F. REFER TO APPENDIX A: DETAILS FOR TYPICAL MOUNTING HEIGHTS. BUILDING CODE REQUIRED MINIMUM CLEARANCES ARE TO BE MAINTAINED.



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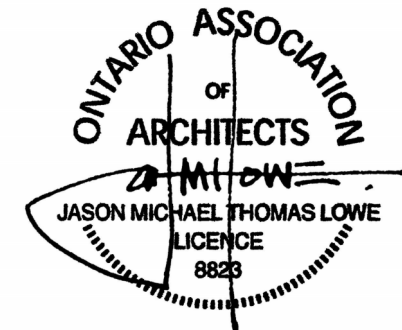
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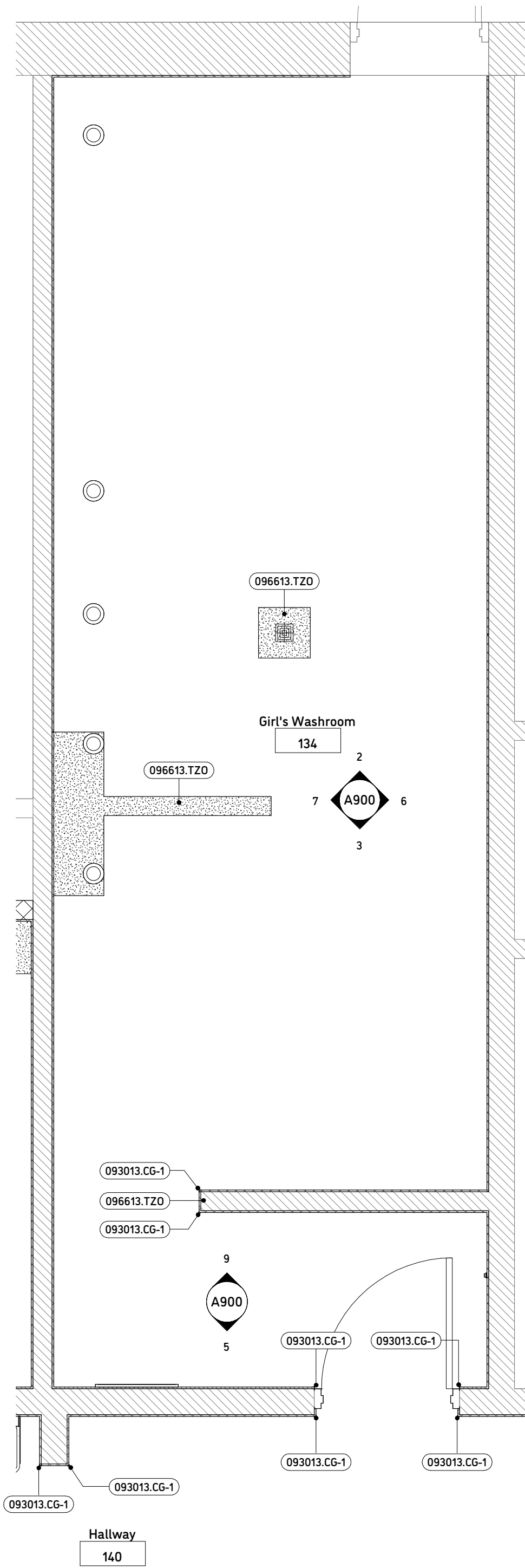
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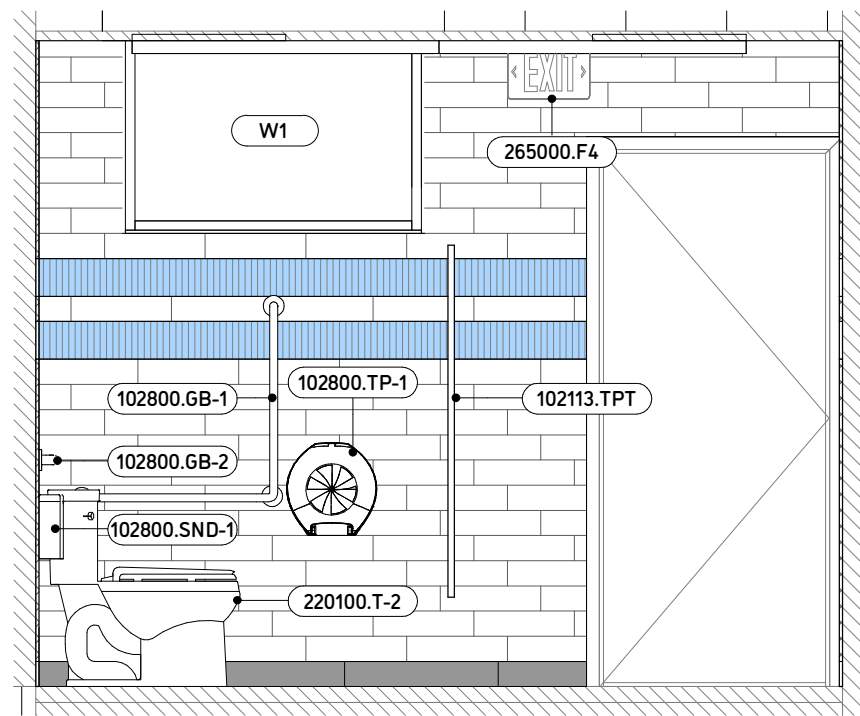
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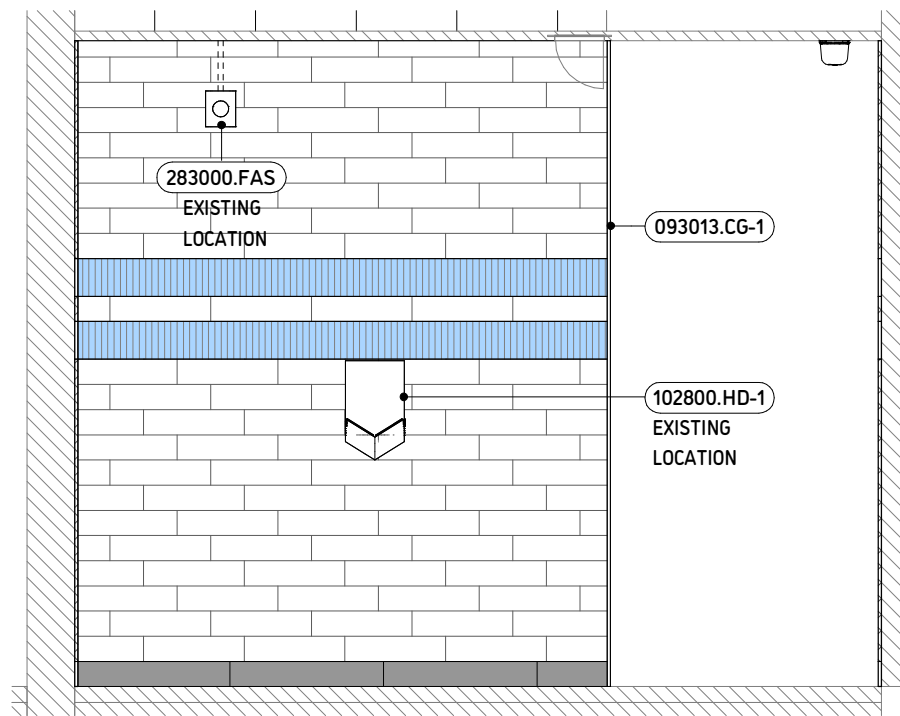
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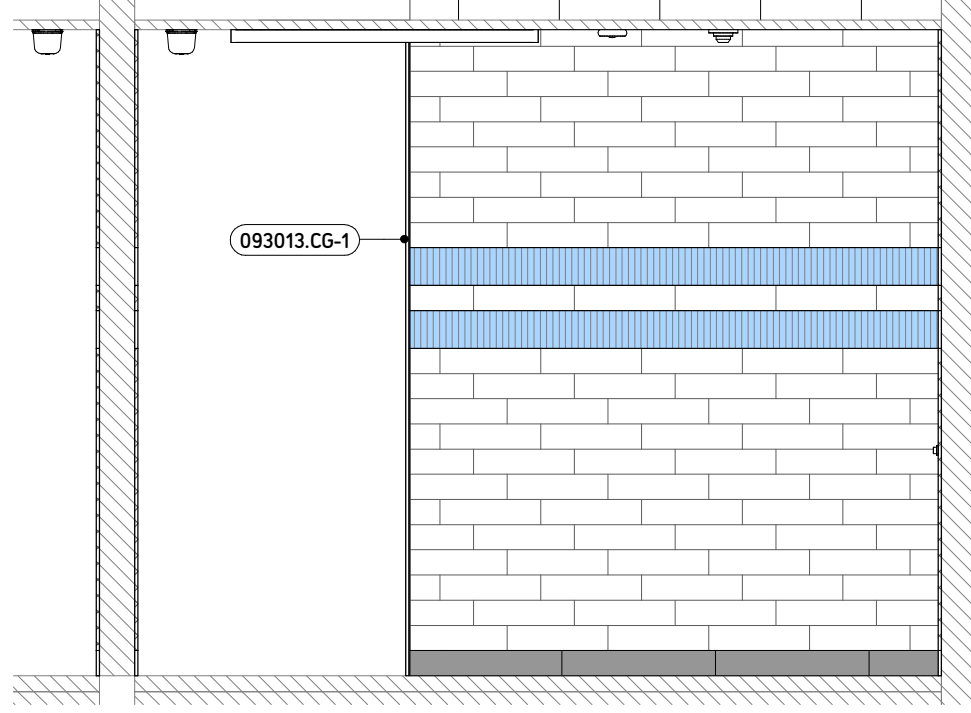
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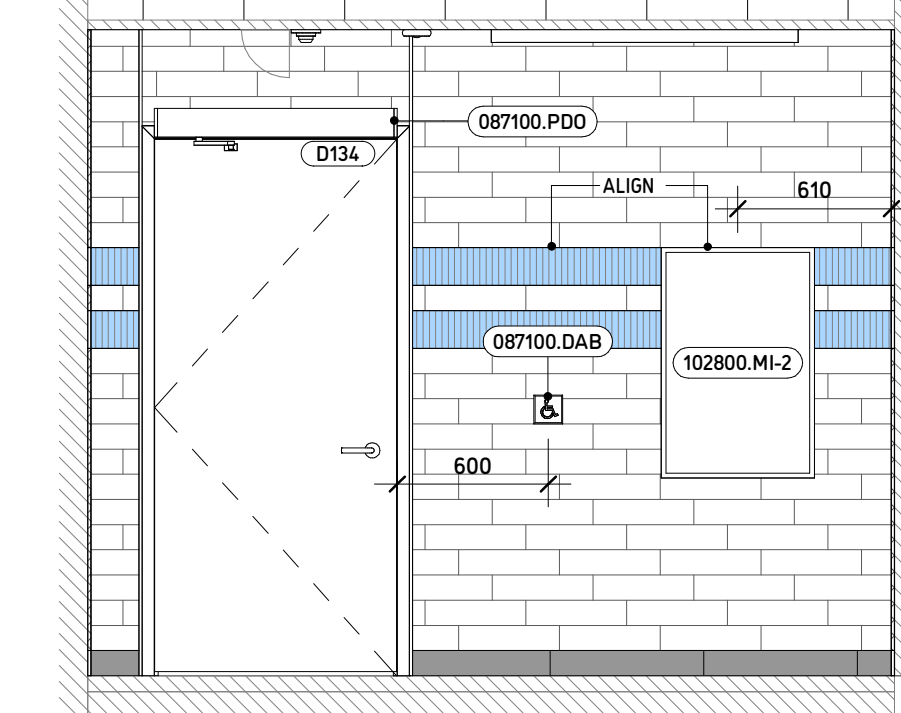
2 Rm 134 NORTH
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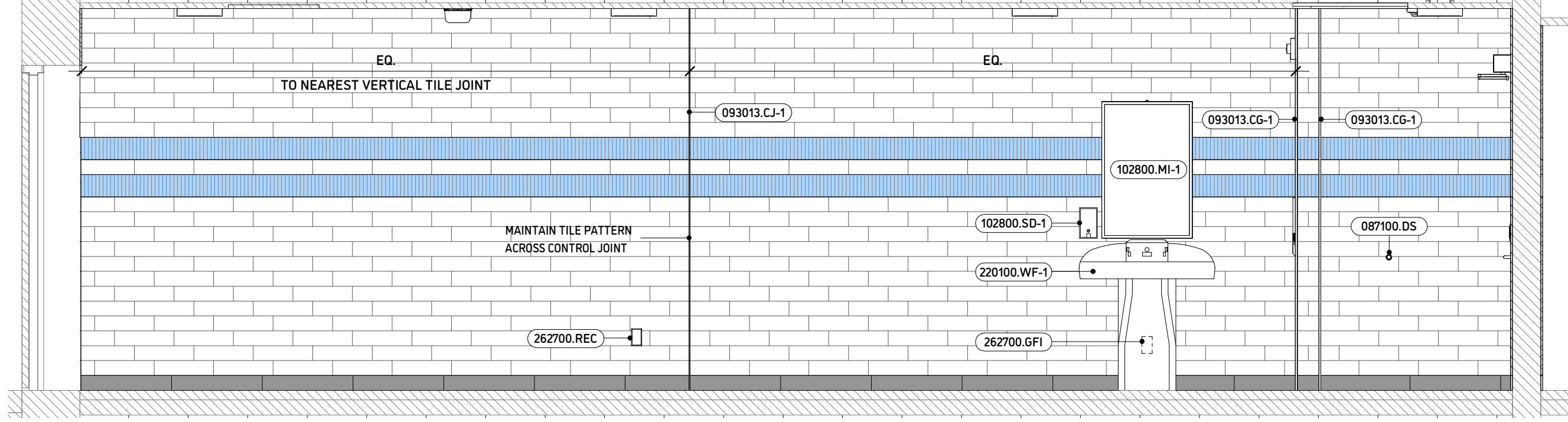
3 Rm 134 SOUTH Washfountain Wing Wall
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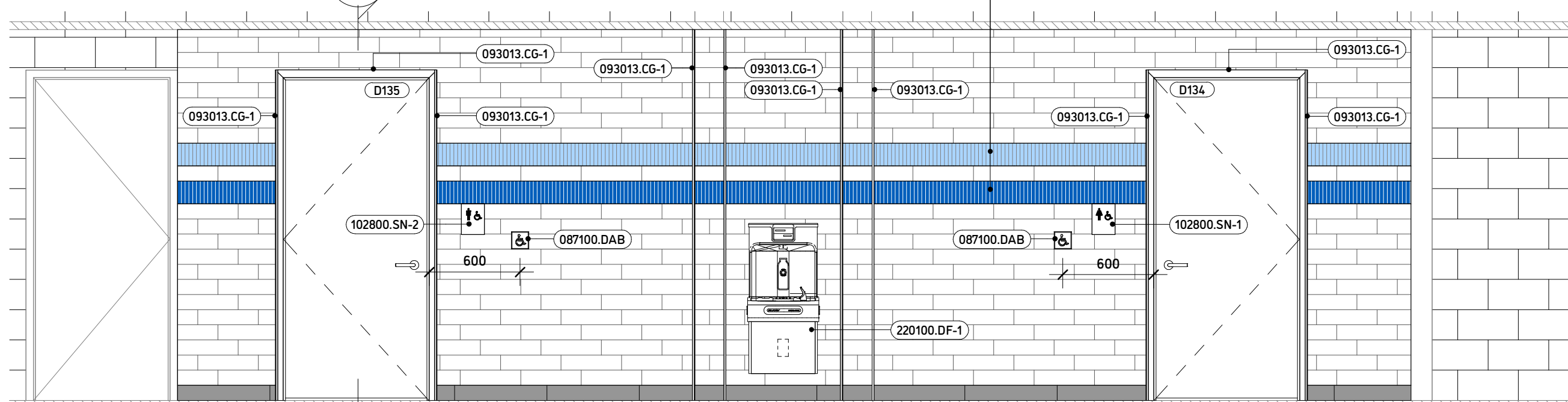
4 Rm 134 NORTH Vestibule Wing Wall
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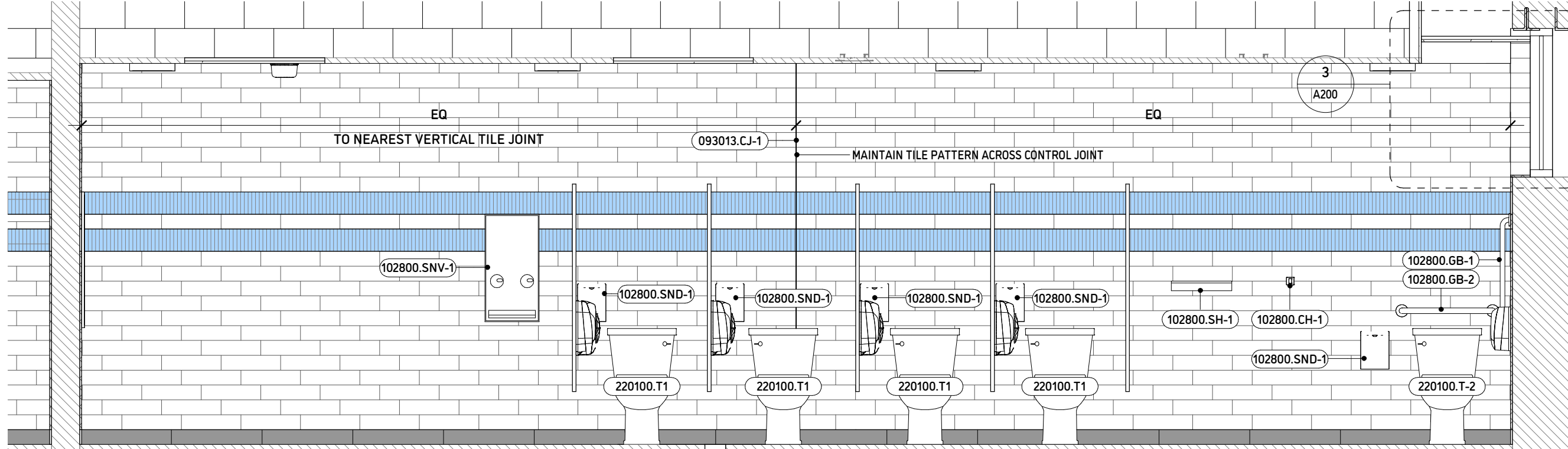
5 Rm 134 SOUTH
1:30



6 Rm 134 EAST
1:30



8 Rm 140 Corridor NORTH
1:30



7 Rm 134 WEST
1:30

KEYNOTE LEGEND

Key Value	Keynote Text
087100.DAB	DOOR ACTUATOR BUTTON [Refer also to Electrical]
087100.DS	DOOR STOP - wall mounted. Provide blocking behind gypsum board in steel stud partitions.
087100.PDO	POWER DOOR OPERATOR with hold open function. [Refer also to Electrical]
093013.CG-1	TILE CORNER TRIM CG-1 Schluter Rondo
093013.CJ-1	TILE CONTROL JOINT CJ-1 Schluter DILEX-BWS
093013.CT1	CERAMIC WALL TILE 100x400 Arctic White Bright
093013.MT2	GLASS MOSAIC TILE 25x150 Blue Lagoon/Powder Glass Tile. Installed in vertical "soldier" pattern.
093013.PT2	PORCELAIN TILE 305x610 Anthracite. Pattern as indicated.
096613.TZO	TERRAZZO Terrazzo infill to repair existing terrazzo removed for at new floor drain/cleanout.
102113.TPT	TOILET PARTITION - Q/H Braced Floor Mount HDPE
102800.CH-1	COAT HOOK
102800.GB-1	GRAB BAR - Stainless Steel, 90 Degree peened grip
102800.GB-2	GRAB BAR - Stainless Steel 24" Straight peened grip
102800.HD-1	HAND DRYER. Contractor to provide hand dryer and coordinate installation with Electrical trade. Refer to electrical for power supply.
102800.MI-1	TILT MIRROR - 24" x 36" barrier free
102800.MI-2	FLAT MIRROR - 24" x 36"
102800.SD-1	SOAP DISPENSER supply by Owner install by Contractor
102800.SH-1	SHELF - Stainless Steel
102800.SN-1	SIGN Girl's Washroom Barrier Free
102800.SN-2	SIGN Boy's Washroom Barrier Free
102800.SND-1	SANITARY NAPKIN DISPOSAL
102800.SNV-1	SANITARY NAPKIN VENDING MACHINE supply by Owner install by Contractor
102800.TP-1	TOILET PAPER HOLDER supply by Owner install by Contractor
220100.DF-1	DRINKING FOUNTAIN DF-1 Refer to mechanical.
220100.T1	TOILET T-1. Refer to mechanical.
220100.T-2	TOILET T-2. Refer to mechanical.
220100.WF-1	WASHFOUNTAIN WF-1. Refer to mechanical.
262700.GFI	GFI RECEPTACLE. Refer to electrical.
262700.REC	RECEPTACLE. Refer to electrical.
265000.F4	EXIT LIGHT Refer to Electrical
263000.FAS	FIRE ALARM STROBE. Refer to electrical.

ROOM FINISH SCHEDULE

Room name	Room #	Floor Finish	Wall Finish	Base Finish	Ceiling Finish	Comments
Girl's Washroom	134	EXT	CT-1/MT-2	PT-2	PGB-X	A, B
Boy's Washroom	135	EXT	CT-1/MT-4	PT-2	PGB-X	A, B

ROOM FINISH SCHEDULE - NOTES

1. REFER TO SPECIFICATIONS FOR SPECIFIC PRODUCTS IDENTIFIED BY THE TAG AND KEYNOTES ON DRAWINGS AND SCHEDULES.

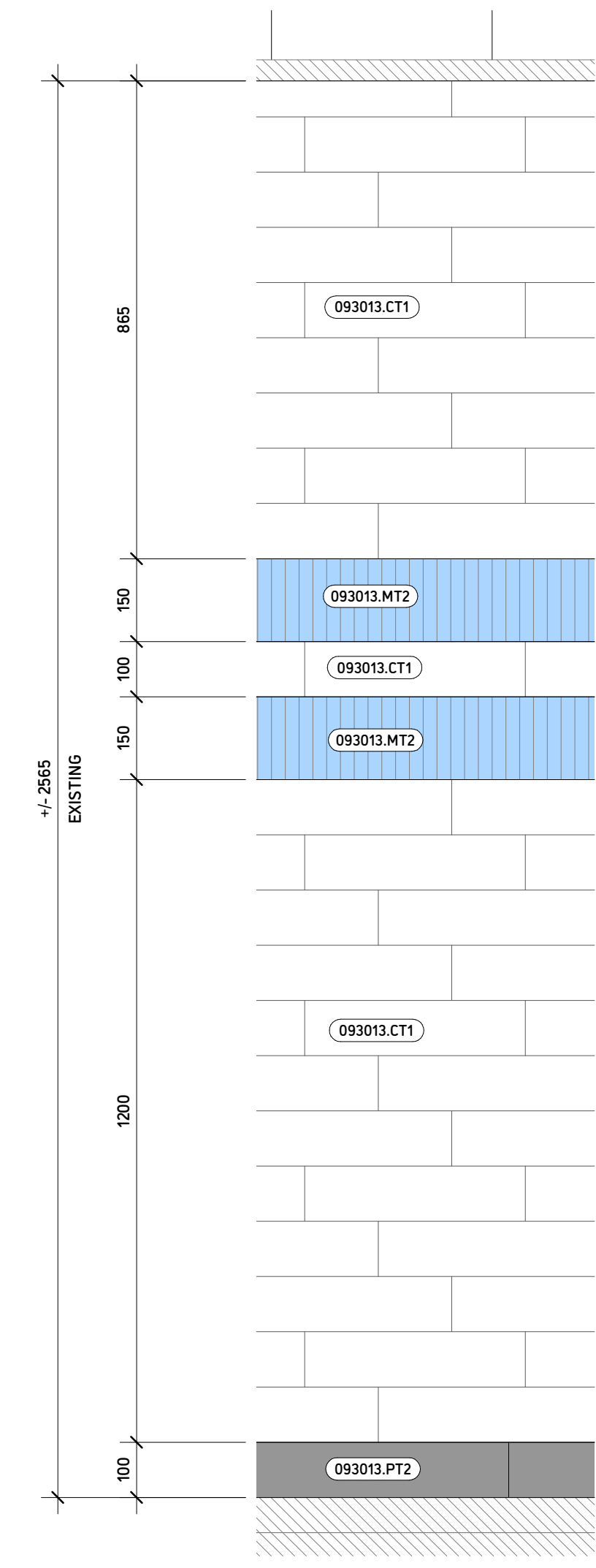
PT-X. PORCELAIN TILE.
CT-X. CERAMIC TILE.
MT-X. MOSAIC TILE.
PF. PAINT FINISH.
PME. PAINT MATCH EXISTING.
RB. RUBBER BASE.
VCT. VINYL COMPOSITE TILE.
ACT. ACOUSTIC CEILING TILE.
EXIST. EXISTING FINISH TO REMAIN.
EXT. EXISTING TERRAZZO TO REMAIN
CS. CONCRETE SEALER

2. REFER TO A900 SERIES FINISH DRAWINGS FOR FULL EXTENT OF FINISHES.

A. DOOR AND FRAME TO RECEIVE PAINT FINISH TO MATCH EXISTING.
B. GYPSUM CEILING TO RECEIVE PAINT FINISH.

GENERAL NOTES - FINISHES

1. TILE PRE-INSTALLATION MEETING. A PRE-INSTALLATION MEETING IS TO BE COORDINATED BY THE CONTRACTOR AND THEIR TILE TRADE(S), THE ARCHITECT AND THE OWNER PRIOR TO COMMENCING TILE INSTALLATION. REFER TO SPECIFICATION SECTION 013119 FOR FURTHER INFORMATION.
2. KEYNOTE NUMBERS RELATE TO THE SPECIFICATION SECTIONS - REFER TO APPROPRIATE SPECIFICATION SECTION FOR FURTHER INFORMATION.
3. FIXTURES AND ACCESSORIES HAVE BEEN REMOVED FROM VIEW IN FINISH PLANS FOR CLARITY. REFER TO A200 SERIES FLOOR PLANS FOR FURTHER INFORMATION.
4. COORDINATE PLUMBING FIXTURE FINISHED HEIGHTS WITH FINISHED FLOOR ELEVATIONS FOR FLUSH INSTALL.
5. PAINTING.
1. ALL EXISTING PAINTED SURFACES WITHIN AREA OF NEW WORK TO RECEIVE NEW PAINT INCLUDING WALLS, GYPSUM CEILINGS, DOORS AND FRAMES AND ANY ACCESSORY ITEMS SUCH AS METAL SUPPORT BRACKETS AND FRAMES FOR BENCHES AND HOOKS IF APPLICABLE, UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS.
2. ALL NEW GYPSUM BOARD SURFACES TO RECEIVE PAINT FINISH.
3. COLOUR. PAINT COLOURS ARE TO MATCH EXISTING SCHOOL COLOUR SCHEME(S).
4. DO NOT PAINT FIRE RATED DOOR OR CEILING GRILLES (TYP.).
5. REFER TO DRAWINGS AND SPECIFICATIONS FOR FINISH REQUIREMENTS FOR EXISTING MILLWORK ELEMENTS.
6. REFER TO APPENDIX A: DETAILS FOR TYPICAL APPLICABLE FINISH DETAILS:
DSK 01.4 MOUNTING HEIGHTS
DSK 08.1 DOOR FRAME DETAILS - MASONRY WALLS
DSK 08.2 DOOR FRAME DETAILS - STEEL STUD WALLS
DSK 09.10 DOOR "POCKET" DETAIL
DSK 09.12 TILE ACCESSORIES (CORNER GUARDS AND TRANSITIONS)
DSK 09.12 TILE BASE DETAILS
7. FOR TILE PATTERNS - REFER TO DETAIL THIS PAGE UNLESS NOTED OTHERWISE BY KEYNOTES ON ELEVATIONS.



9 Rm 134 TYPICAL TILE
1:10



20 SOUTH DUFFERIN ST. HUNTSVILLE, ONTARIO P1H 1V7

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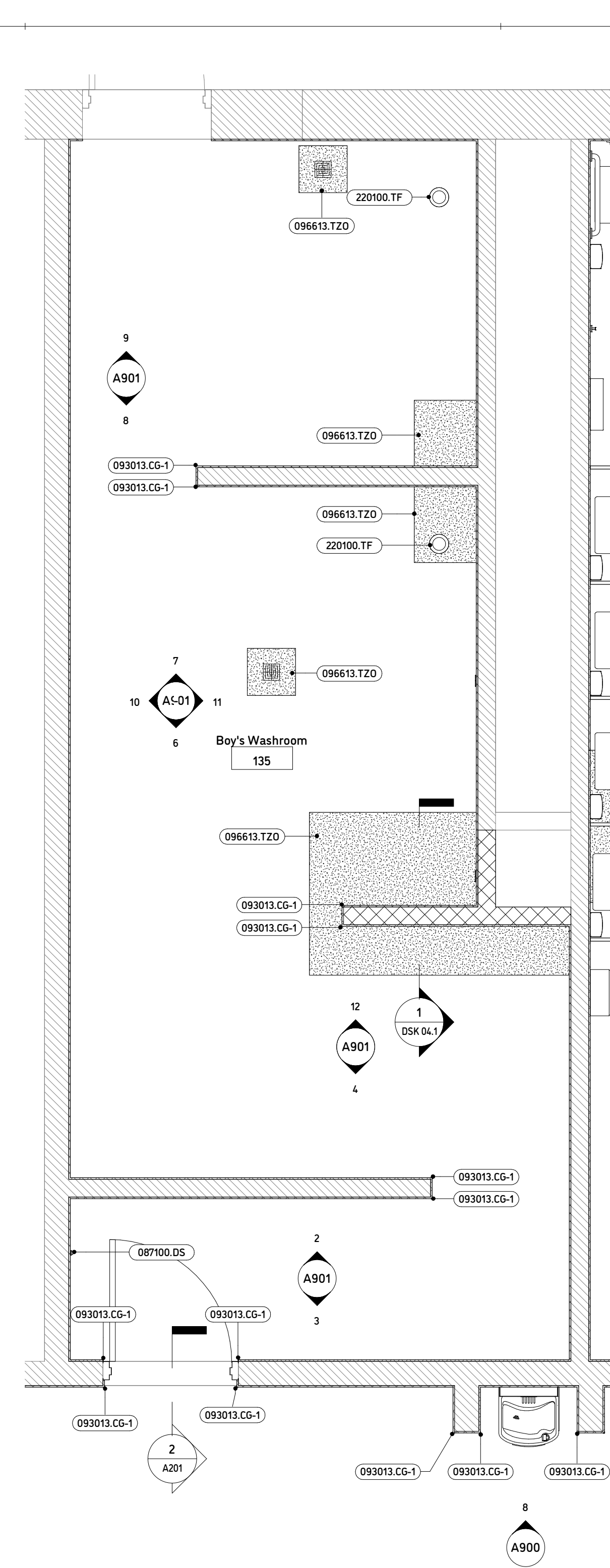
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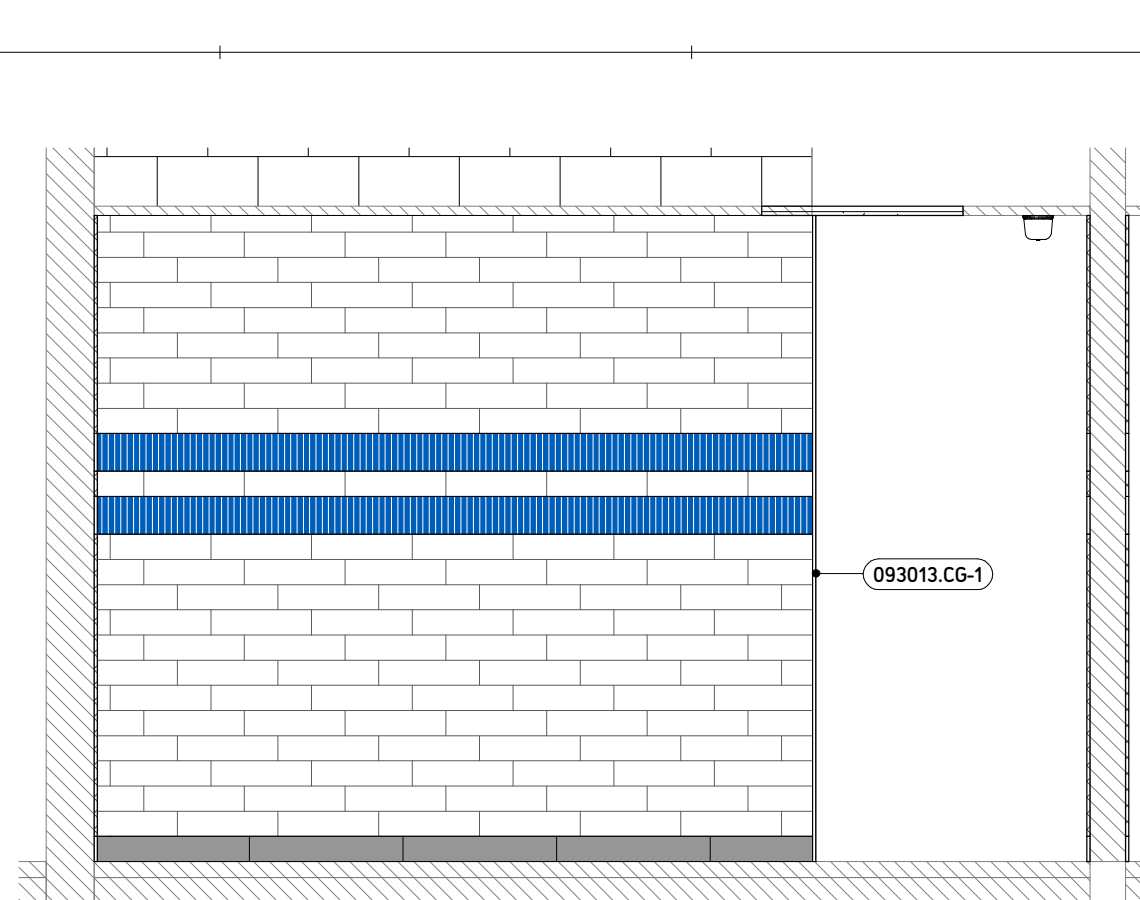
Rm 134 GIRL'S WASHROOM FINISHES

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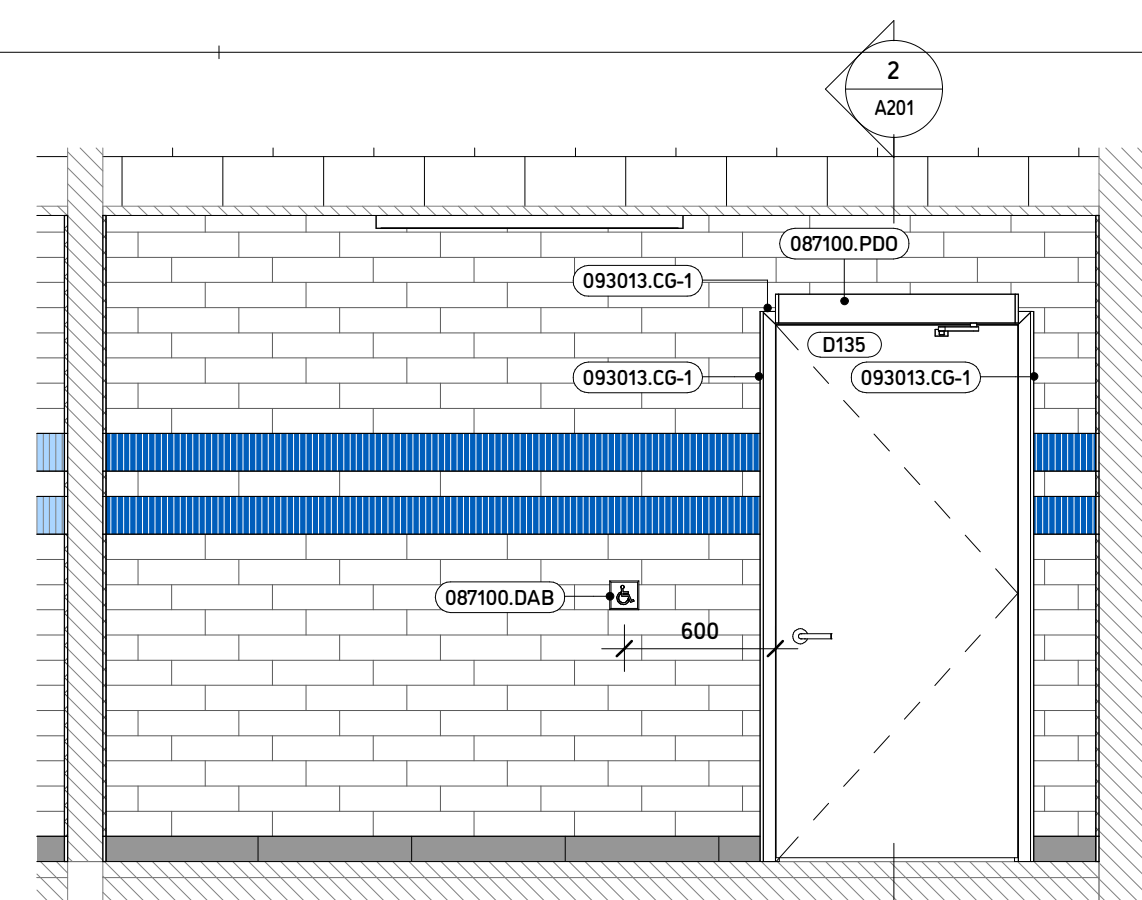
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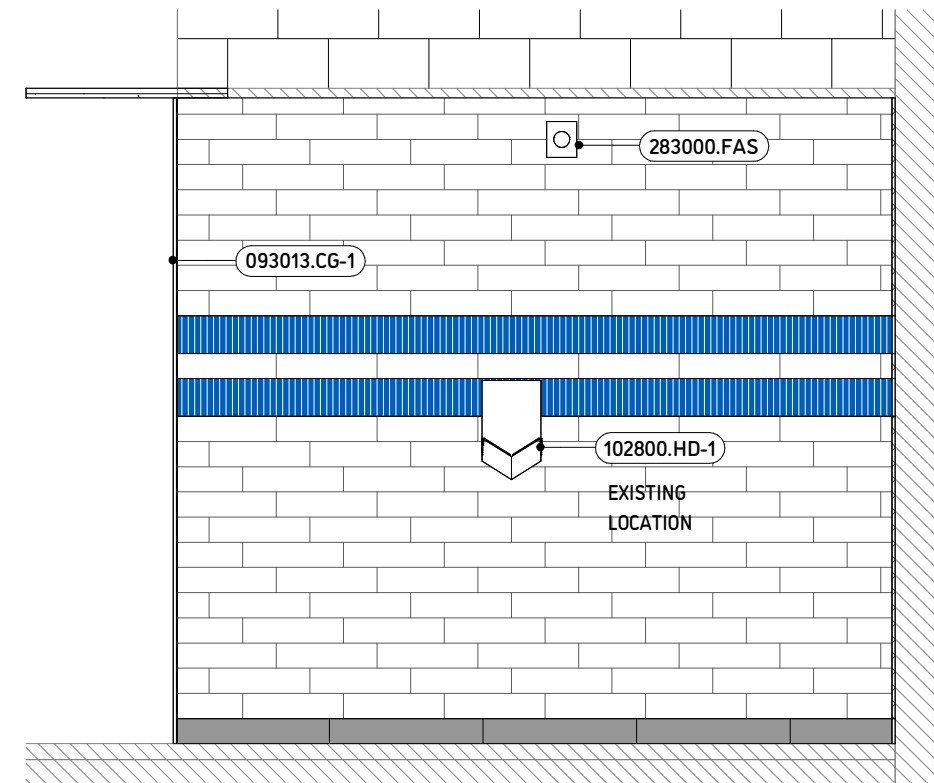
1 PLAN - Rm 135 FINISHES
1:30



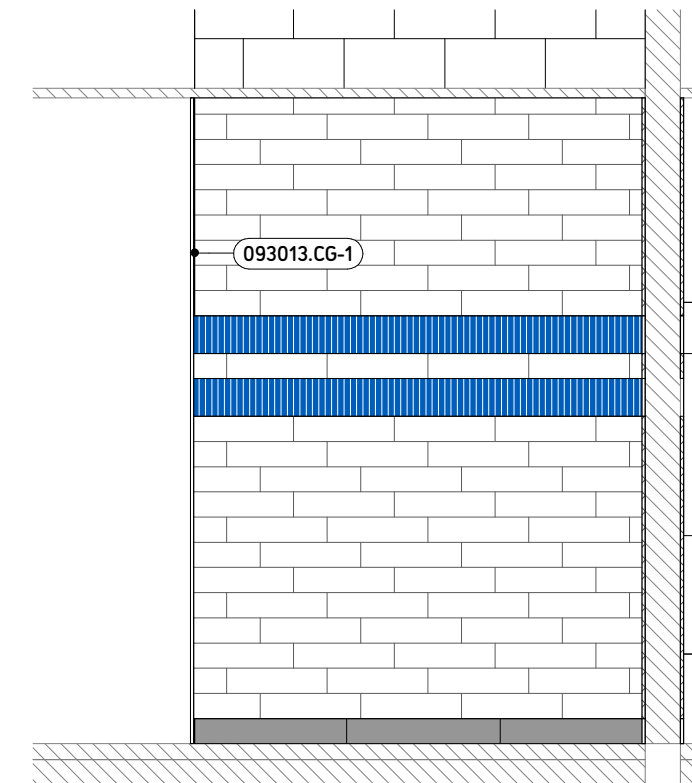
2 Rm 135 Boy's NORTH Vestibule Wing Wall
1:30



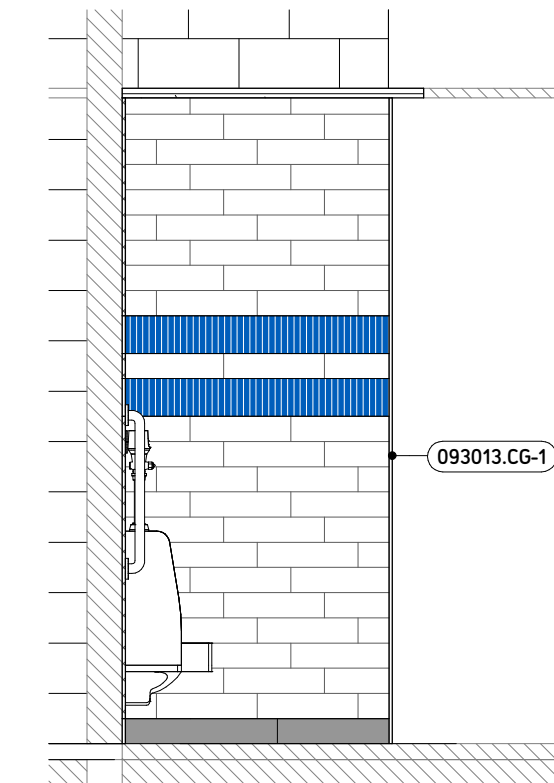
3 Rm 135 Boy's South
1:30



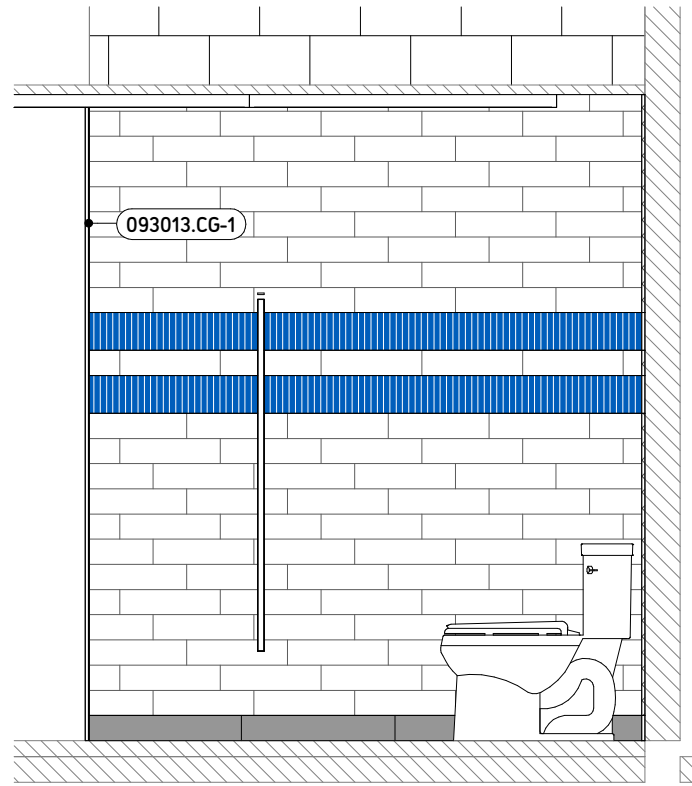
4 Rm 135 Boy's South Wing Wall
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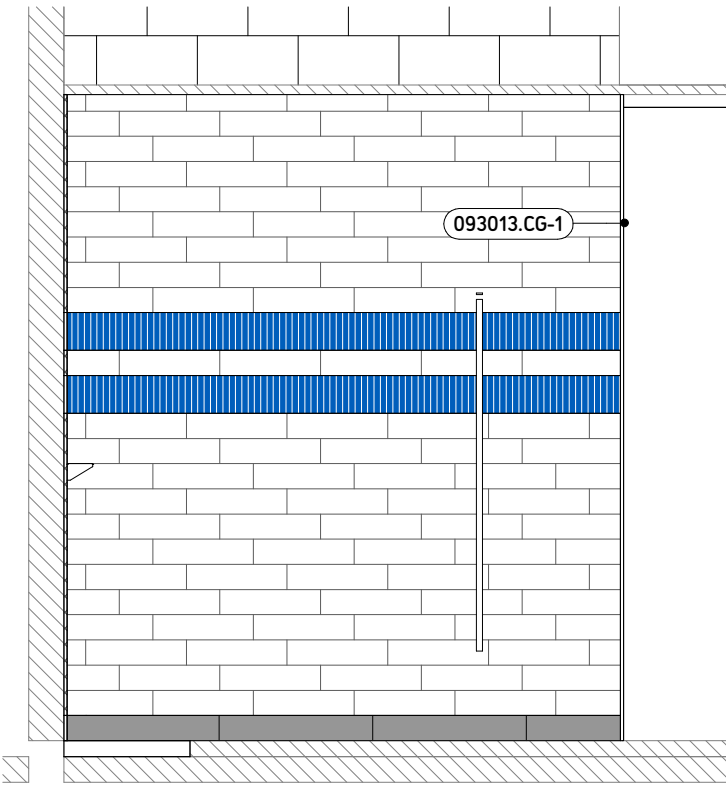
5 Rm 135 Boy's North Wing Wall
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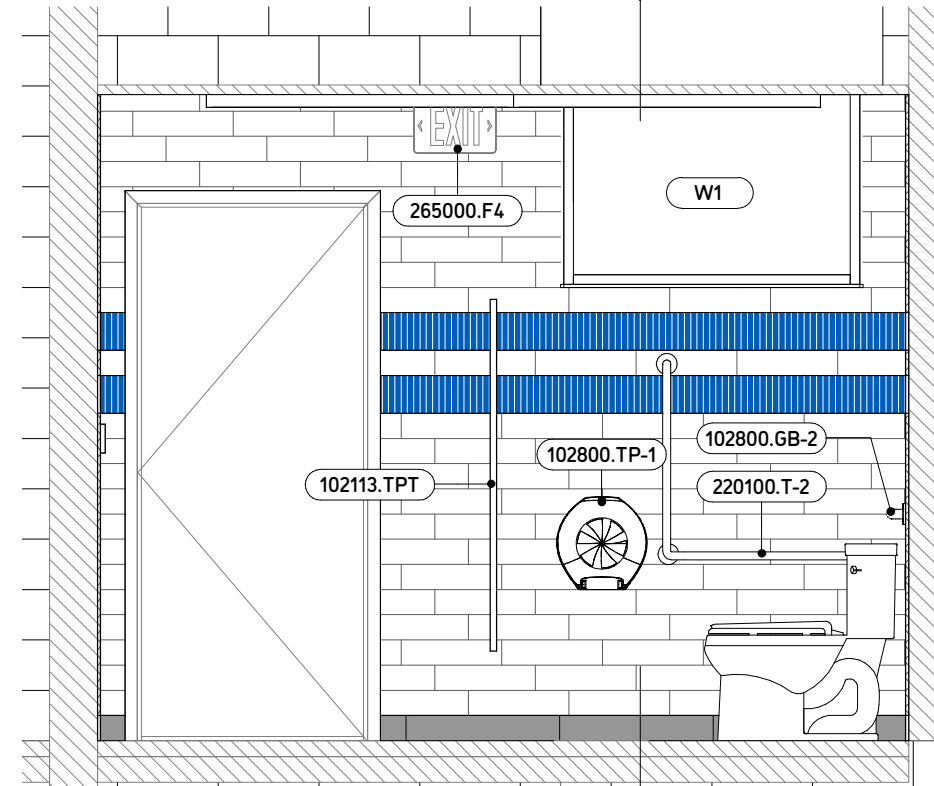
6 Rm 135 Boy's South Urinal Wing Wall
1:30



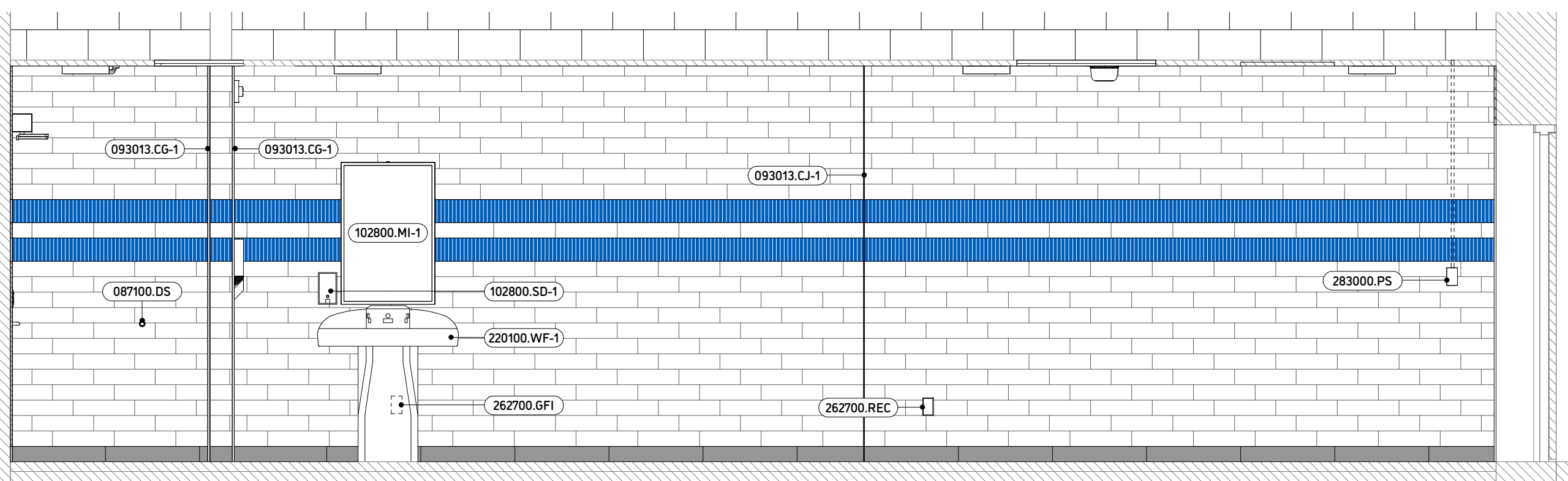
7 Rm 135 Boy's North BF Wing Wall
1:30



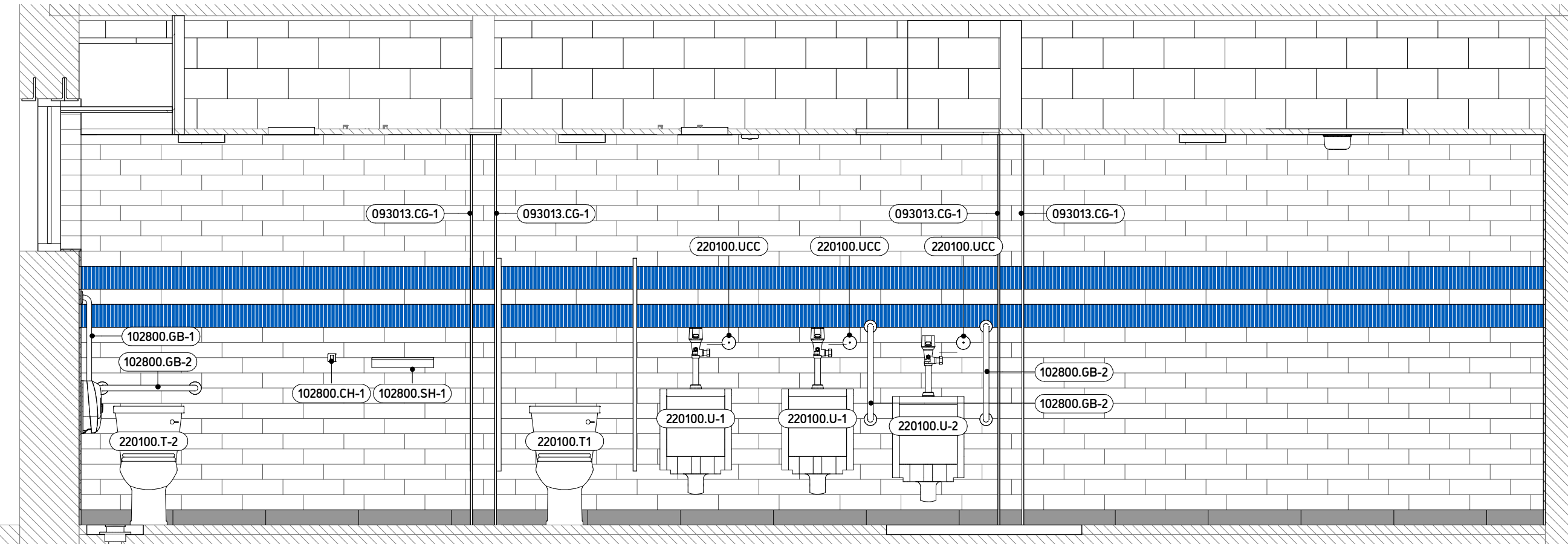
8 Rm 135 Boy's South BF Stall Wing Wall
1:30



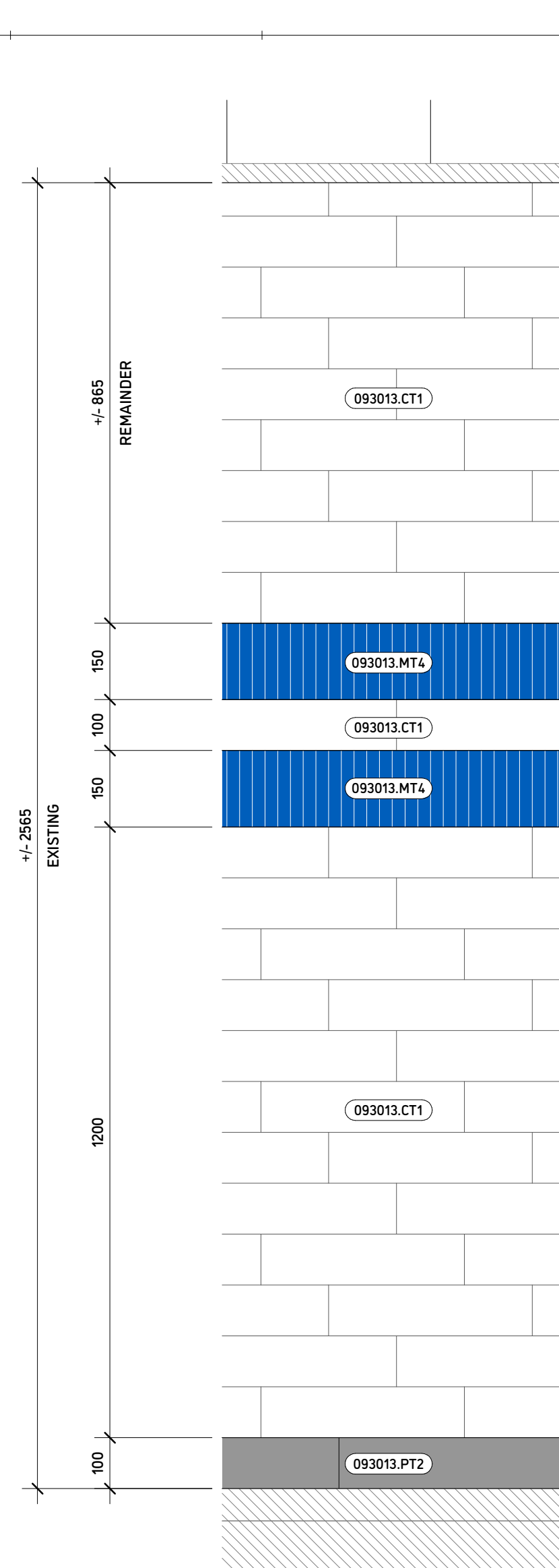
9 Rm 135 Boy's North Exterior Wall
1:30



10 Rm 135 Boy's West
1:30



11 Rm 135 Boy's East
1:30



12 Rm 135 Boy's TYPICAL TILE
1:10

GENERAL NOTES - FINISHES

1. TILE PRE-INSTALLATION MEETING: A PRE-INSTALLATION MEETING IS TO BE COORDINATED BY THE CONTRACTOR AND THEIR TILE TRADE(S), THE ARCHITECT AND THE OWNER PRIOR TO COMMENCING TILE INSTALLATION. REFER TO SPECIFICATION SECTION 013119 FOR FURTHER INFORMATION.
2. KEYNOTE NUMBERS RELATE TO THE SPECIFICATION SECTIONS - REFER TO APPROPRIATE SPECIFICATION SECTION FOR FURTHER INFORMATION.
3. FIXTURES AND ACCESSORIES HAVE BEEN REMOVED FROM VIEW IN FINISH PLANS FOR CLARITY. REFER TO A200 SERIES FLOOR PLANS FOR FURTHER INFORMATION.
4. COORDINATE PLUMBING FIXTURE FINISHED HEIGHTS WITH FINISHED FLOOR ELEVATIONS FOR FLUSH INSTALL.
5. PAINTING.
1. ALL EXISTING PAINTED SURFACES WITHIN AREA OF NEW WORK TO RECEIVE NEW PAINT INCLUDING WALLS, GYPSUM CEILINGS, DOORS AND FRAMES AND ANY ACCESSORY ITEMS SUCH AS METAL SUPPORT BRACKETS AND FRAMES FOR BENCHES AND HOOKS IF APPLICABLE, UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS.
2. ALL NEW GYPSUM BOARD SURFACES TO RECEIVE PAINT FINISH.
3. COLOUR: PAINT COLOURS ARE TO MATCH EXISTING SCHOOL COLOUR SCHEME(S).
4. DO NOT PAINT FIRE RATED DOOR OR CEILING GRILLES (TYP.).
5. REFER TO DRAWINGS AND SPECIFICATIONS FOR FINISH REQUIREMENTS FOR EXISTING MILLWORK ELEMENTS.
6. REFER TO APPENDIX A: DETAILS FOR TYPICAL APPLICABLE FINISH DETAILS:
DSK 01.4 MOUNTING HEIGHTS
DSK 08.1 DOOR FRAME DETAILS - MASONRY WALLS
DSK 08.2 DOOR FRAME DETAILS - STEEL STUD WALLS
DSK 09.10 DOOR "POCKET" DETAIL
DSK 09.11 TILE ACCESSORIES (CORNER GUARDS AND TRANSITIONS)
DSK 09.12 TILE BASE DETAILS
7. FOR TILE PATTERNS - REFER TO DETAIL THIS PAGE UNLESS NOTED OTHERWISE BY KEYNOTES ON ELEVATIONS.

KEYNOTE LEGEND

Key Value	Keynote Text
087100.DAB	DOOR ACTUATOR BUTTON [Refer also to Electrical]
087100.DS	DOOR STOP - wall mounted. Provide blocking behind gypsum board in steel stud partitions.
087100.PDO	POWER DOOR OPERATOR with hold open function. [Refer also to Electrical]
093013.CG-1	TILE CORNER TRIM CG-1 Schluter Rondo
093013.CJ-1	TILE CONTROL JOINT CJ-1 Schluter DILEX-BWS
093013.CT1	CERAMIC WALL TILE 100x400 Arctic White Bright
093013.MT4	GLASS MOSAIC TILE 25x150 Twilight Blue/Dusk Glass Tile. Installed in vertical "soldier" pattern.
093013.PT2	PORCELAIN TILE 305x610 Anthracite. Pattern as indicated.
096613.TZO	TERRAZZO Terrazzo infill to repair existing terrazzo removed for at new floor drain/cleanout.
102113.TPT	TOILET PARTITION - Q/H Braced Floor Mount HDPE
102800.CH-1	COAT HOOK
102800.GB-1	GRAB BAR - Stainless Steel, 90 Degree peened grip
102800.GB-2	GRAB BAR - Stainless Steel 24" Straight peened grip
102800.HD-1	HAND DRYER. Contractor to provide hand dryer and coordinate installation with Electrical trade. Refer to electrical for power supply.
102800.MI-1	TILT MIRROR - 24" x 36" barrier free
102800.SD-1	SOAP DISPENSER supply by Owner install by Contractor
102800.SH-1	SHELF - Stainless Steel
102800.TP-1	TOILET PAPER HOLDER supply by Owner install by Contractor
220100.T1	TOILET T-1. Refer to mechanical.
220100.T-2	TOILET T-2. Refer to mechanical.
220100.TF	TOILET FLANGE in tile
220100.U-1	URINAL U-1. Refer to mechanical.
220100.U-2	URINAL U-2 B/F Height. Refer to mechanical.
220100.UCC	URINAL CLEANOUT COVER. Align all cleanout access covers at single elevation horizontally. Ensure no conflict with urinal, fish valves or grab bars.
220100.WF-1	WASHFOUNTAIN WF-1. Refer to mechanical.
262700.GFI	GFI RECEPTACLE. Refer to electrical.
262700.REC	RECEPTACLE. Refer to electrical.
265000.F4	EXIT LIGHT Refer to Electrical
283000.FAS	FIRE ALARM STROBE. Refer to electrical.
283000.PS	FIRE ALARM PULL STATION. Refer to electrical.



20 SOUTH DUFFERIN ST HUNTSVILLE ONTARIO P1H 1V7

RFT B25-03 LADY MACKENZIE PUBLIC SCHOOL

ISSUED FOR

TENDER and BUILDING PERMIT

MARCH 24, 2025

Seal



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Revisions
Description Date

RM 135 FINISHES

Title

Sheet

A901

GENERAL NOTES:

1. READ STRUCTURAL DRAWINGS IN CONNECTION WITH OTHER CONTRACT DOCUMENTS
2. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE STRUCTURE DRAWINGS WITH THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION. ANY DISCREPANCIES OR ERRORS MUST BE REPORTED TO THE ARCHITECT / ENGINEER PRIOR TO COMMENCING WORK
3. DO NOT SCALE DRAWINGS
4. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
5. STRUCTURAL DESIGN IS BASED ON THE LATEST EDITION OF THE NATIONAL BUILDING CODE AND, SPECIFICALLY, DIV. B- PART 4 OF THE 2012 ONTARIO BUILDING CODE
6. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR THE TESTING OF CONCRETE, COMPACTION, INSPECTION OF STRUCTURAL REINFORCING AND STRUCTURAL STEEL FOR ALIGNMENT, BOLTS AND WELDED CONNECTIONS, AND FOR THE PROMPT SUBMISSION OF ALL REPORTS TO THE PROJECT ENGINEER AND ARCHITECT.
7. ANY TEMPORARY SHORING REQUIRED TO CONSTRUCT THE WORKS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT THE START OF THE PROJECT AND ARRANGE FOR ALL INSPECTIONS IN ACCORDANCE WITH CLAUSE 10.2 OF THE BUILDING CODE ACT AND DIV. C, PART 1 OF THE ONTARIO BUILDING CODE. PROVIDE MINIMUM 48 HOURS NOTICE WHEN AN INSPECTION IS REQUIRED. TULLOCH ENGINEER HUNTSVILLE MY BE CONTACTED BY PHONE AT (705)789-8751.
9. WHERE DEMOLITION OR RENOVATION OF EXISTING BUILDING IS INVOLVED, IT IS THE RESPONSIBILITY OF THE OWNER TO COMPLETE A DESIGNATED SUBSTANCE SURVEY. A COPY OF THE SURVEY SHALL BE FORWARDED TO THE ENGINEER AND TO THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.

STRUCTURAL STEEL

1. STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA SPECIFICATIONS S16.1 (LATEST EDITION) AND CSA SPECIFICATIONS G40.1 TYPE350W (LATEST EDITION) FOR BEAMS AND 350W FOR HSS (CLASS C).
2. THE WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE CSA W59 AND THE WELDING COMPANY AND WELDERS SHALL BE QUALIFIED UNDER THE REQUIREMENTS OF CSA W57 (LATEST EDITION) FOR THE APPROPRIATE POSITION.
3. PREPARE AND SUBMIT FOR APPROVAL, FULLY DETAILED AND DIMENSIONED DRAWINGS AND ERECTION DIAGRAMs, FOUR COPIES SHALL BE PROVIDED TO THE ENGINEER FOR APPROVAL, FABRICATION, AND ERECTION, DRAWINGS SHALL BE SEALED BY THE FABRICATORS ENGINEER. ADDITIONAL COPIES OF THE DRAWINGS SHALL BE PROVIDED AS REQUIRED.
4. BOLTED CONNECTIONS SHALL BE MADE USING FRICTION TYPE CONNECTIONS AND HIGH TENSILE STRENGTH BOLTS (A325 MINIMUM).
5. PROVIDE AND REMOVE TEMPORARY BRACING NECESSARY TO KEEP THE STRUCTURE TRUE AND PLUMB DURING CONSTRUCTION.
6. ALL CONNECTIONS TO BE STANDARD FRAME BEAM CONNECTORS AND ARE TO BE DESIGNED AND STAMPED BY THE FABRICATOR'S ENGINEER AS PER CSA S16.1
7. STEEL SHALL BE THOROUGHLY CLEANED AND BE GIVEN ONE SHOP COAT OF ANTI-CORROSIVE PRIMER, AREAS EFFECTED BY WEATHERING, DAMAGE DUE TO HANDLING ETC., SHALL HAVE THE RUST REMOVED AND BE "TOUCHED UP" IN THE FIELD.
8. ALL OF THE BASE PLATES FOR COLUMNS AND BEARING PLATES FOR THE BEAMS SHALL BE GROUTED WITH MINIMUM OF 38MM (1½") OF 35 MPA (5100 PSI) NON-SHRINK GROUT.
9. NO SPLICES IN BEAMS AND COLUMNS WILL BE ALLOWED WITHOUT WRITTEN APPROVAL BY THE ENGINEER, BUTT WELDS IN SPLICES AND MOMENT CONNECTIONS MUST BE ULTRASONICALLY TESTED OR X-RAYED AND PASSED BY AN INDEPENDENT TESTING COMPANY.
10. CO-ORDINATE WITH MECHANICAL ENGINEER, ELECTRICAL ENGINEER, AND ALL SUB-TRADES WHOSE WORK AFFECTS THE DETAILING, FABRICATION AND ERECTION OF THE STRUCTURAL STEEL. DO NOT CUT OPENINGS IN STRUCTURAL STEEL MEMBERS WITHOUT ENGINEER APPROVAL.
11. NO HOLES SHALL BE CUT IN THE BEAMS OR COLUMNS.

FOUNDATIONS

1. FOUND ALL FOOTINGS ON NATURALLY CONSOLIDATED, UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING 150 kPa (3000 psf). BEARING CAPACITY SHALL BE CONFIRMED BY CBO OR ENGINEER
2. NO FOOTINGS SHALL BE POURED UNTIL THE ENGINEER HAS APPROVED THE FOUNDATION CONDITIONS.
3. THE LINE SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 AND A RUN OF 10.
4. ERECT, MAINTAIN, AND IF REQUIRED, REMOVE A SUPPORTING SHORING SYSTEM ALONG THE SIDES OF THE EXCAVATION.

CONCRETE

1. CONCRETE IS SPECIFIED USING ALTERNATIVE NUMBER OF CSA A23.1 TABLE 2 AS FOLLOWS:

	EXTERIOR FOUNDATIONS	INTERIOR FLOOR SLAB
EXPOSED CLASS (TABLE 1)	C-1	N
AIR CONTENT CATEGORY (TABLE 4)	1	N/A
MAX. W/C RATIO (TABLE 2)	0.40	.055
CURING TYPE (TABLE 2)	2	1
MAX. COMPRESSIVE STRENGTH @ 28 DAYS	35MPa	30MPa
2. AT LEAST TWO (2) WEEKS PRIOR TO THE PLACEMENT OF CONCRETE THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE ENGINEER FOR REVIEW:
 - A VALID 'CERTIFICATE OF READY MIXED CONCRETE PRODUCTION FACILITIES' OR A VALID 'CERTIFICATE OF MOBILE MIX CONCRETE PRODUCTION FACILITIES' AS ISSUED BY THE 'READY MIXED CONCRETE ASSOCIATION OF ONTARIO' TO THE PLANT BEING USED.
 - A COMPLETED 'CONCRETE MIXED FINAL SUBMISSION FORM'
 - A QUALITY PLAN THAT DESIGNATES A SPECIFIED SLUMP OR SOME OTHER MEASURE OF WORKMANSHIP
 - TEST RESULTS TO SHOW COMPLIANCE WITH CSA A23.1
 - AIR VOID SYSTEM OF HARDENED CONCRETE.
 - STATISTICAL STRENGTH TEST ANALYSIS TO CONFIRM THE STRENGTH LEVEL FOR EACH CLASS OF CONCRETE INCLUDING THE EXPECTED 7/28 DAY STRENGTH RATIO
3. FABRICATION AND PLACEMENT OF REINFORCING STEEL TO BE IN ACCORDANCE WITH CSA A23.1 AND THE REINFORCING STEEL INSTITUTE OF CANADA'S 'REINFORCING STEEL MANUAL OF STANDARD PRACTICE'.
4. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA G30.18 M92, Fy=400 MPa (GRADE 400)
5. CONCRETE SHALL NOT BE POURED UNTIL REBAR HAS BEEN INSPECTED BY THE ENGINEER.
6. WHERE REBARS JOIN AT CORNERS PROVIDE CORNER BARS FOR LAPS, UNLESS NOTED OTHERWISE.
7. CONCRETE COVER FOR REINFORCING STEEL AS PER TABLE 17 OF CSA A23.1
 - ALL CONCRETE CAST AGAINST EARTH 76MM
 - ALL CONCRETE CAST IN FORMS BUT EXPOSED TO EARTH OR WEATHER 50MM
 - BARS 20M AND SMALLER IN WALLS AND SLABS 32MM
 - CONCRETE NOT EXPOSED TO EARTH AND WEATHER 25MM OR 1.5 NOMINAL BAR DIAMETER
8. ALL REINFORCING BARS SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BY PRECAST CONCRETE, ADDITION BARS, TIES, TIES OR APPROVED CHAIRS AGAINST DISPLACEMENT.
9. CONTINUOUS AND TEMPERATURE REINFORCING BARS SPLICES TO BE LAPPED 40 BAR DIAMETERS OR A MINIMUM OF 600 AT SPLICES AND CORNERS, UNLESS OTHERWISE SHOWN ON SECTION OR TYPICAL DETAILS. LAP CONTINUOUS TOP BARS AT CENTRE BETWEEN SUPPORTS AND CONTINUOUS ENDS WITH STANDARD HOOKS.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CONCRETE IS PLACED AND CURED IN CONFORMANCE WITH THE REQUIREMENT OF CSA A23.1-14. THE CONTRACTOR IS RESPONSIBLE FOR ALL HEATING AND HOARDING REQUIRED.
11. ALL EXTERIOR EDGES TO BE CHAMFERED 19MM UNLESS NOTED OTHERWISE.

CEMENTITIOUS GROUT:

1. CEMENTITIOUS GROUT UNDER BASE PLATES TO BE SIKAGROUT Z12.

CONCRETE ANCHORS:

1. ALL CONCRETE ANCHORS TO BE HILTI HAS ROD HOT DIPPED GALVANIZED (DIAMETER AS NOTED ON DRAWINGS).
2. ALL CONCRETE ANCHORS TO BE COMPLETE WITH HOT DIPPED GALVANIZED FLAT WASHERS, NUTS, LOCK NUTS, ETC. AS SPECIFIED ON THE DRAWINGS
3. ALL EPOXY ADHESIVE SHALL BE HILTI HIT-HY 200/HIT ICE.
4. INSTALL AS PER MANUFACTURE'S SPECIFICATIONS.

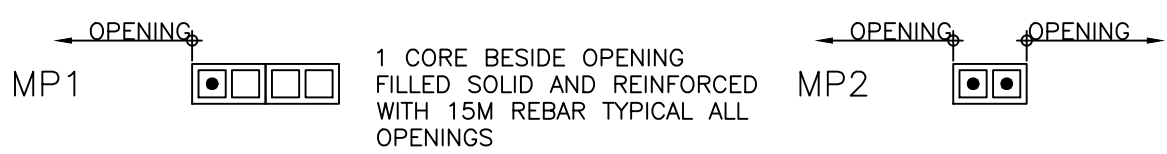
MASONRY:

1. ALL MASONRY WORK SHALL CONFORM TO NATIONAL BUILDING CODE LATEST EDITION AND CSA STANDARDS S 304.1 - "DESIGN OF MASONRY STRUCTURES", LATEST EDITION.
2. ALL CONCRETE MASONRY UNITS SHALL CONFORM TO CAN/CSA A165 SERIES-04 EXCEPT WHERE OTHERWISE SPECIFIED. PROVIDE MASONRY BLOCK WITH A MINIMUM COMPRESSIVE STRENGTH OF 15 MPa
3. LINTELS OVER ALL OPENINGS IN NON LOAD BEARING MASONRY WALLS, UNLESS OTHERWISE SHOWN ON STRUCTURAL DRAWINGS, PROVIDE LINTELS AS PER THE FOLLOWING SCHEDULE:

LINTEL SCHEDULE FOR NON-LOADBEARING MASONRY WALLS					
THICKNESS OF WALL	MAXIMUM CLEAR SPAN OF OPENING				TYPE
	L1 4'-0" OR LESS	L2 4'-0" OR 6'-0" OR LESS	L3 6'-0" OR 8'-0" OR LESS	L4 8'-0" OR 10'-0" OR LESS	
150mm	Z - L89x89x8 L.V.	Z - L89x64x8 L.V.	L125x125x8	L150x150x8	OR

4. ALL STEEL LINTELS TO HAVE MINIMUM OF 150MM (6") BEARING ON EACH SIDE OF OPENING.
5. PROVIDE MINIMUM OF 2 COURSES OF 100% FILLED SOLID BLOCK 16" LONG MINIMUM FILLED WITH 20 MPa CONCRETE, CENTERED UNDER EACH BEAM AND JOIST BEARING PLATE.
6. MINIMUM BEAM BEARING PLATE UNLESS NOTED FOR JOIST OR BEAM SUPPLIED BY STEEL FABRICATOR
 - SP1 - 150MM CONC BLOCK - 250 x 12 x 125
 - SP2 - 200MM CONC BLOCK - 250 x 12 x 178
 - EACH WITH 1-12MMØ ANCHORS
7. FILL BLOCKS SOLID BELOW BEARING PLATES TWO COURSES, AND ALL LINTEL BLOCKS WITH TYPE M MORTAR 17.5 MPa
8. LOAD BEARING AND NON-LOAD BEARING WALLS TYPE S MORTAR 12.5 MPa
9. PROVIDE HORIZONTAL REINFORCING AT EVERY 2nd BLOCK COURSE USING HEAVY DUTY BLOCK-LOG LADDER REINFORCING.
10. OVER ALL OPENING AND RECESSES IN MASONRY WALLS, INCLUDING THOSE FOR MECHANICAL AND ELECTRICAL SERVICES OR EQUIPMENT, PROVIDE AND INSTALL MASONRY OR STEEL LINTELS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LINTEL SCHEDULE
11. OBTAIN THE ENGINEER'S PERMISSION FOR ALL OPENINGS, SLEEVES, AND SLOTS THROUGH STRUCTURAL COMPONENTS NOT SHOWN ON STRUCTURAL DRAWINGS.
12. WHERE DOWELS, ANCHOR BOLTS, ETC., ARE SHOWN PROJECTING INTO MASONRY, GROUT THESE TIGHT INTO MASONRY VOIDS WITH CONCRETE OR CEMENT MORTAR.
13. PROVIDE A MINIMUM OF 400MM (16") DEPTH OF 100% SOLID MASONRY UNITS FOR BEARING OF STEEL, CONCRETE, OR MASONRY LINTELS AND FOR MINIMUM OF 200MM (8") PAST BEARING PLATE EACH SIDE.
14. ALL MASONRY MUST BE SET WITH FULLY FILLED JOINTS USING MORTAR AS DEFINED IN THE NATIONAL BUILDING CODE AND/OR CSA A179M. MORTAR TO BE TYPE 'S' UNLESS NOTED OTHERWISE.
15. PROVIDE A MINIMUM OF 38MM (1½") PORTLAND CEMENT GROUT UNDER ALL WALL PLATES AND BASE PLATES.
16. GROUT SHALL ALSO BE SUPPLIED IN CONCRETE BLOCK WALLS WHEREVER HORIZONTAL OR VERTICAL REINFORCING STEEL IS SPECIFIED. FILL CORES SOLID WHEREVER GROUT IS REQUIRED.
17. ALL MASONRY GROUT SHALL CONFORM TO CA/CSA A179-04 AND SHALL BE FINE TYPE GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 10 MPa.
18. THE CONCRETE BLOCK SHALL CONFORM TO CSA STANDARD CAN3-A165 SERIES-04
19. THE MASONRY WIRE REINFORCING SHALL CONFORM TO CSA A370-04.
20. MASONRY VENEER CONNECTORS SHALL CONFORM TO AN BE INSTALLED IN ACCORDANCE WITH CSA A370-04
21. NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURE BELOW 5 DEGREES CELSIUS UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE WORK WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
22. ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARDS A371-04.
23. PROVIDE CONTINUOUS TRUSS TYPE JOINT REINFORCING AT 400MM (16") O.C. AND USE "CORNER-LOG" AT ALL WALL INTERSECTIONS. REINFORCING TO BE HOT DIP GALVANIZED AT ASTM A 153 CLASS B2. LONGITUDINAL WIRES TO BE 4.76MM (3⁄16") DIAMETER, AND DIAGONAL WIRES TO BE 3.66MM DIAMETER (9 GA).
24. ALL METAL ANCHORS TO BE SECURE WALLS EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED.
25. ANCHOR ALL MASONRY TO COLUMNS WITH STEEL STRAP PLATE 40 X 5 X 525MM, 50MM HOOKS AT 600MM O.C. (PLATE 1½" X 1½" X 21", 2" HOOKS AT 24") UNLESS NOTED.
26. PROVIDED LINTELS PER LINTEL SCHEDULE.
27. VERTICAL REINFORCING SHALL BE CONTINUOUS. LAB BARS 450MM (18")
28. REINFORCE ALL OPENINGS THROUGH MASONRY WALLS WITH TWO (2) 15M VERTICAL BARS EACH SIDE OF THE OPENING AND EXTENDING 600MM (16") PAST OPENING.
29. PROVIDE ONE COURSE BOND BEAM COMPLETE WITH TWO (2) 15M CONTINUOUS FOR ALL BEARING WALLS UNDER ROOF STRUCTURES AND ALL FLOOR STRUCTURES.

REINFORCED MASONRY PIER:



MATERIAL TESTING AND INSPECTION:

- THE CONTRACTOR SHALL INCLUDE COSTS TO ENSURE THAT THE FOLLOWING QUALITY CONTROL ACTIVITIES ARE UNDERTAKEN DURING THE COURSE OF WORK:
1. COMPACTION TESTING AS SPECIFIED ON THE DRAWINGS
 2. TULLOCH TO PERFORM REBAR INSPECTION PRIOR TO CONCRETE PLACEMENT ON BEHALF OF OWNER AT NO COST TO CONTRACTOR
 3. CONCRETE TESTING AN COMPACTION IN ACCORDANCE WIN CSA A23.1 AND A23.2 TO BE INCLUDED IN CONTRACTOR BID PRICE BY A THIRD PARTY INDEPENDENT FIRM

FINAL CLEAN UP:

1. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, THE BUILDING ERECTION CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL WASTE CONSTRUCTION MATERIALS, DEBRIS, ETC. FROM THE SITE.
2. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP, WIPE AND POWER WASH ALL SURFACES ON THE INTERIOR AND EXTERIOR OF THE BUILDING.

WOOD:

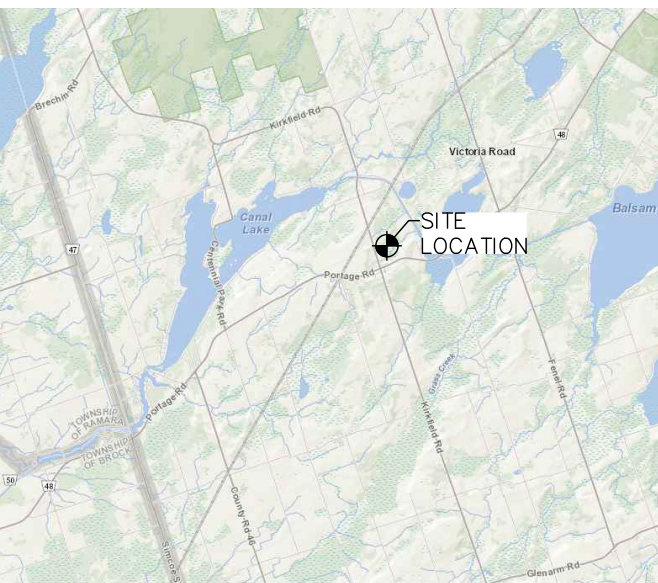
1. THE STRUCTURAL TIMBER AND LUMBER SHALL BE NO. 1 OR 2 GRADE SPECIES SPF OR BETTER UNLESS NOTED OTHERWISE.
2. THE DESIGN OF THE BEAMS, COLUMNS AND LINTELS IS BASED ON THE LIMIT STATES DESIGN SPECIFIED UNDER CSA STANDARD 086. ANY SUBSTITUTIONS OF SPECIES, GRADE OR GROUP MUST BE APPROVED BY THE ENGINEER PRIOR TO THE COMMENCING OF WORK.
3. THE LUMBER WAS DESIGNED FOR A MOISTURE CONTENT GREATER THAN 15% AT THE TIME OF MANUFACTURE AND LESS THAN 15% IN SERVICE.
4. DURING CONSTRUCTION, ENSURE ALL MEMBERS ARE IN GOOD BEARING CONTACT.
5. CONNECTION HARDWARE IS TO RECEIVE ONE COAT OF ZINC CHROMATE PRIMER OR EQUAL. ENSURE THAT ALL HARDWARE AND FASTENERS IN CONTACT WITH PRESSURE TREATED WORD ARE COMPATIBLE WITH THE PRESSURE TREATED CHEMICALS.
6. ALL PLYWOOD JOINTS ARE TO BE STAGGERED. NAIL ALL FLOOR, ROOF AND WALL SHEATHING AT 150MM (6") O.C. AT EDGES AND 300MM (1') CENTRES ELSEWHERE UNLESS NOTED OTHERWISE.
7. ALL PLYWOOD SHALL CONFORM TO CSA STANDARD 0121 OR 0151.
8. THE BEARING SHOWN ON THE DRAWINGS IS THE MAXIMUM WIDTH TO BE PROVIDED AND THE TRUSS MANUFACTURER MUST DESIGN THE TRUSSES TO SUIT THE BEARING WIDTH.
9. PROVIDE STANDARD JOIST HANGERS AS REQUIRED BY SIMPSON, RSC OR APPROVED EQUIVALENT.
10. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
11. MAXIMUM BRIDGING SPACING FOR SWAN LUMBER JOISTS SHALL BE 2300MM (7'-6") O.C.
12. SPIKE EACH LAMINATION OF BUILD-UP BEAMS @ 300MM (1') O.C. AS FOLLOWS:
 - 1 ROW OF 90MM (3½") LONG NAILS FOR 140MM (5½") DEPTH.
 - 2 ROWS OF 90MM (3½") LONG NAILS FOR GREATER DEPTH.
13. SPIKE AND GLUE BUILD-UP POSTS Ø22-MM (¾") O.C. AS PER CODE AS FOLLOWS:
 - 1 ROW FOR 38x89 (2"x4")
 - 2 ROWS FOR LARGER SIZES
14. CONTINUITY OF POST MUST BE MAINTAINED TROUGH FLOORS BY SOLID BLOCKING OR POST EXTENSIONS.

SUBMITTALS:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SUBMITTAL OF ALL REQUIRED SHOP OR FABRICATION DRAWINGS IN A TIMELY MANNER.
2. ALL STRUCTURAL SUBMITTALS SUBMITTED FOR REVIEW MUST FIRST BE REVIEW BY AND STAMPED BY THE GENERAL CONTRACTOR.
3. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW:

DRAWING	P.ENG. SEAL
A. REINFORCING STEEL	NO
B. CONCRETE MIX DESIGN	NO
C. STRUCTURAL STEEL	NO
D. SHORING OF EXISTING STRUCTURE	YES
4. WHERE NOTED IN THE ABOVE TABLE, STRUCTURAL SUBMITTALS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
5. ALL STRUCTURAL SUBMITTALS WILL BE REVIEWED BY THE ARCHITECT AND THE ENGINEER SOLELY FOR THE CONFORMANCE WITH THE DESIGN INTENT AND THE CONSTRUCTION DOCUMENTS.
6. ALL SUBMITTALS SHALL CONSIST OF ONE ELECTRONIC PDF COPY OR FOUR PRINTS. ONE COPY WILL BE RETAINED BY THE ENGINEER.

KEY PLAN



44.56629, -78.97996

ENGINEER'S SEAL:



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DATE (DAY/MON/YR.)	REV.	REVISION	BY	APP'D

CLIENT:



CONSULTANT:



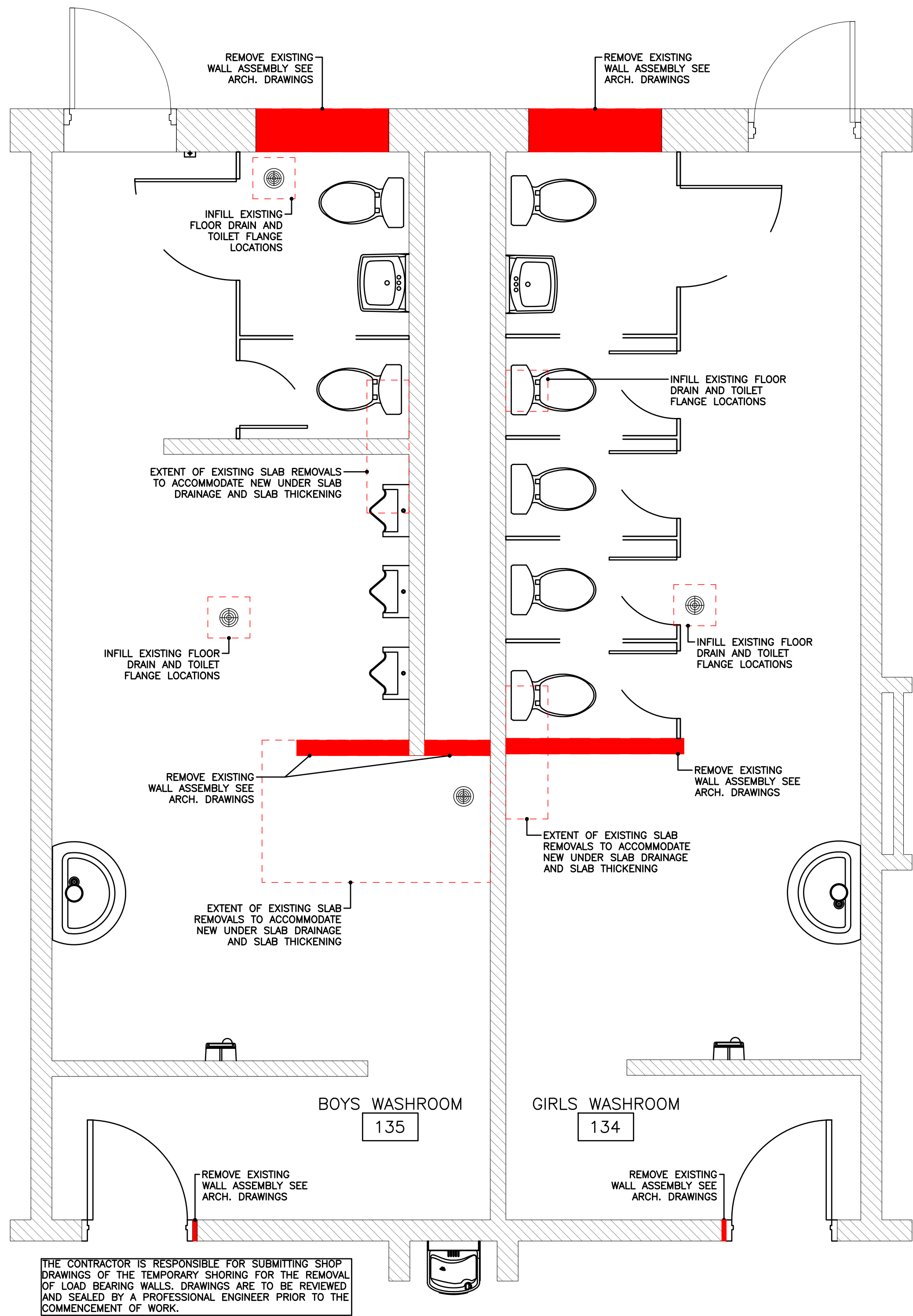
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LADY MACKENZIE
PUBLIC SCHOOL
KIRKFIELD, ONTARIO

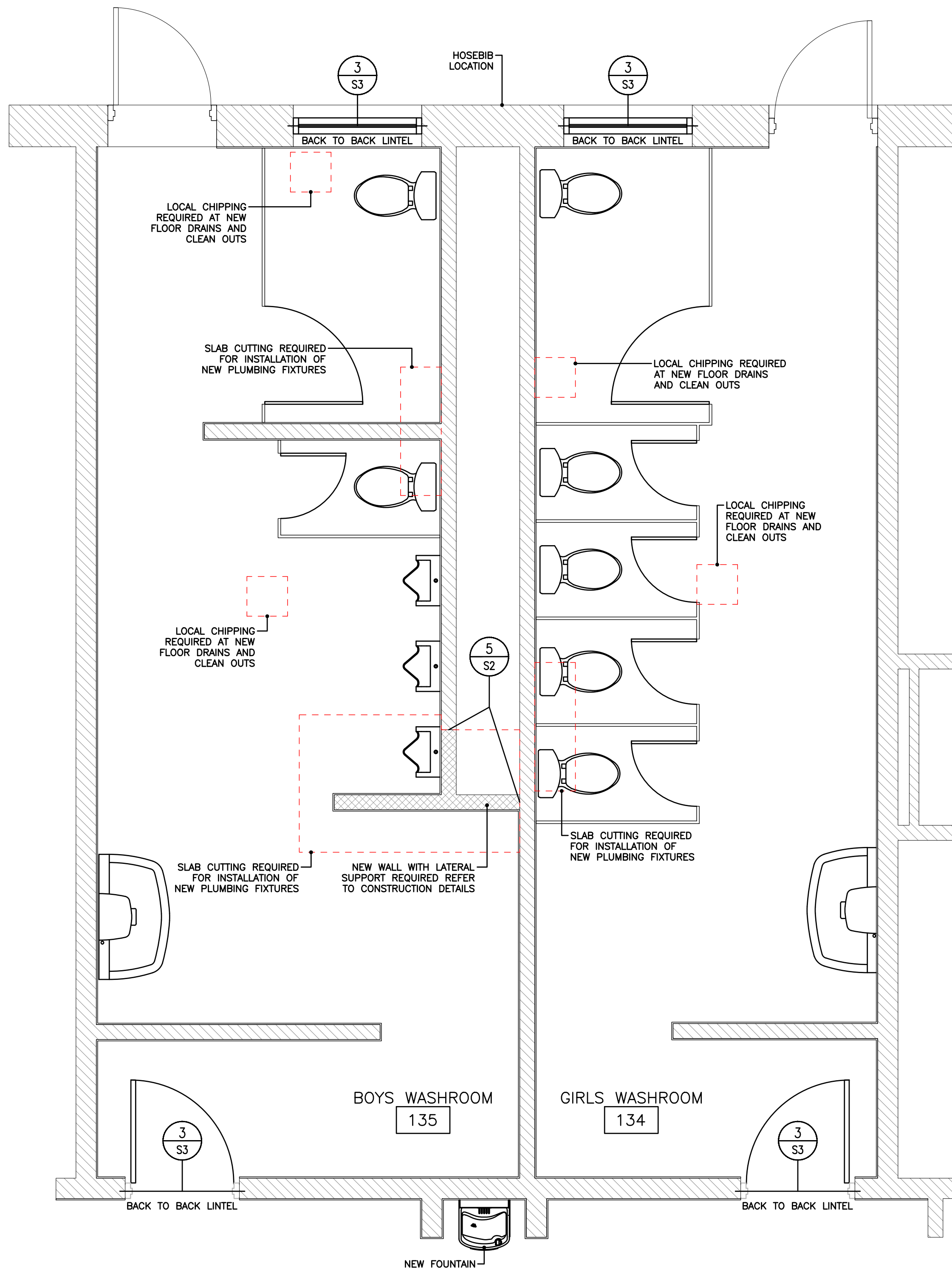
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RFT B25-03 STRUCTURAL
UPGRADE AND REPAIRS -
GENERAL NOTES

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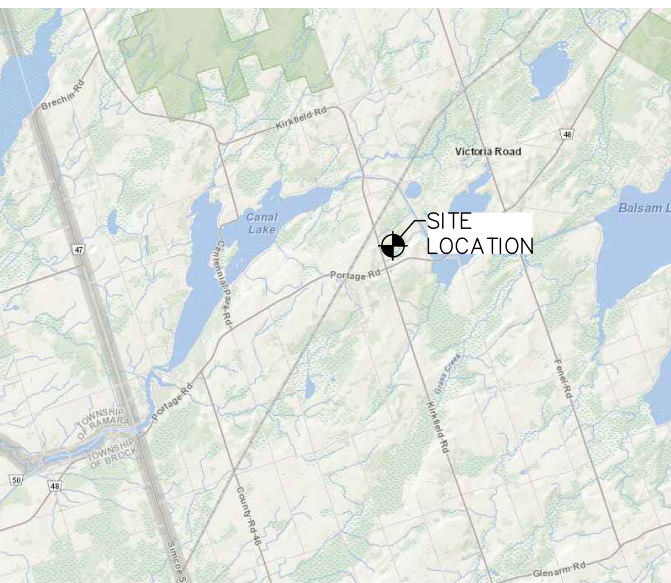


1 ROOM 134 AND 135 – EXISTING CONDITIONS
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2 ROOM 134 AND 135 – PROPOSED PLAN
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KEY PLAN



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ENGINEER'S SEAL:



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DATE	REV.	REVISION	BY	APP'D

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CONSULTANT:



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PUBLIC SCHOOL
KIRKFIELD, ONTARIO

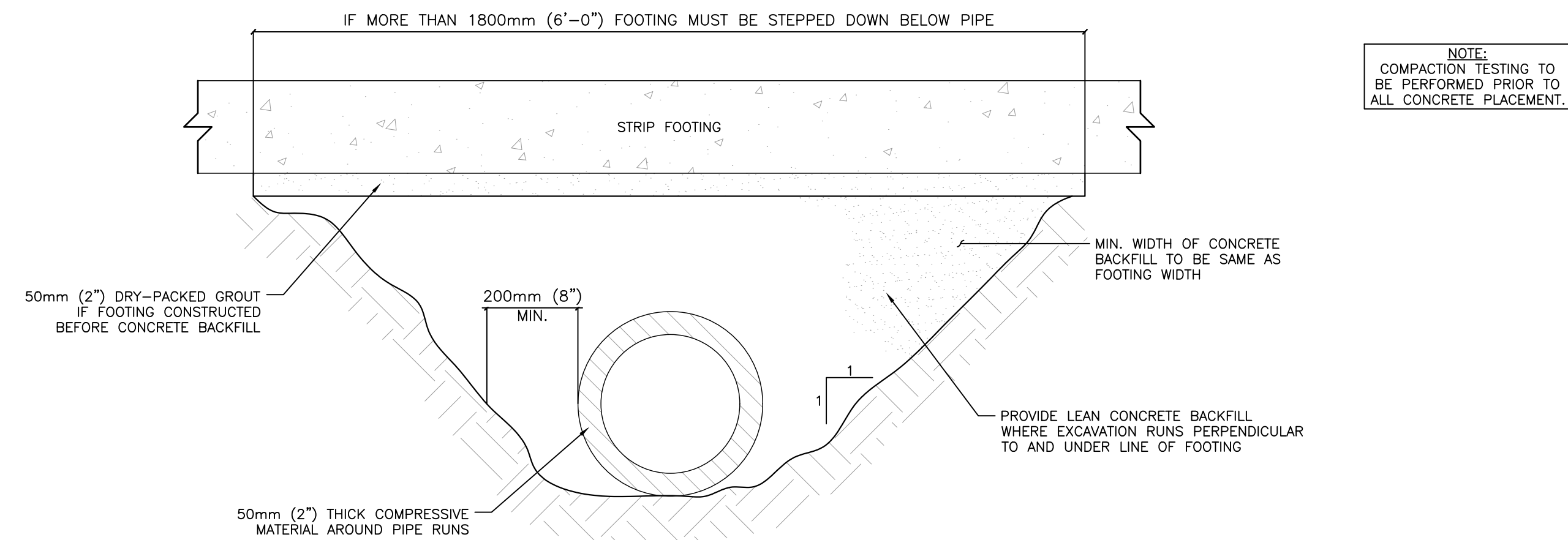
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RFT B25-03 STRUCTURAL
UPGRADE AND REPAIRS -
ROOM 134 AND 135

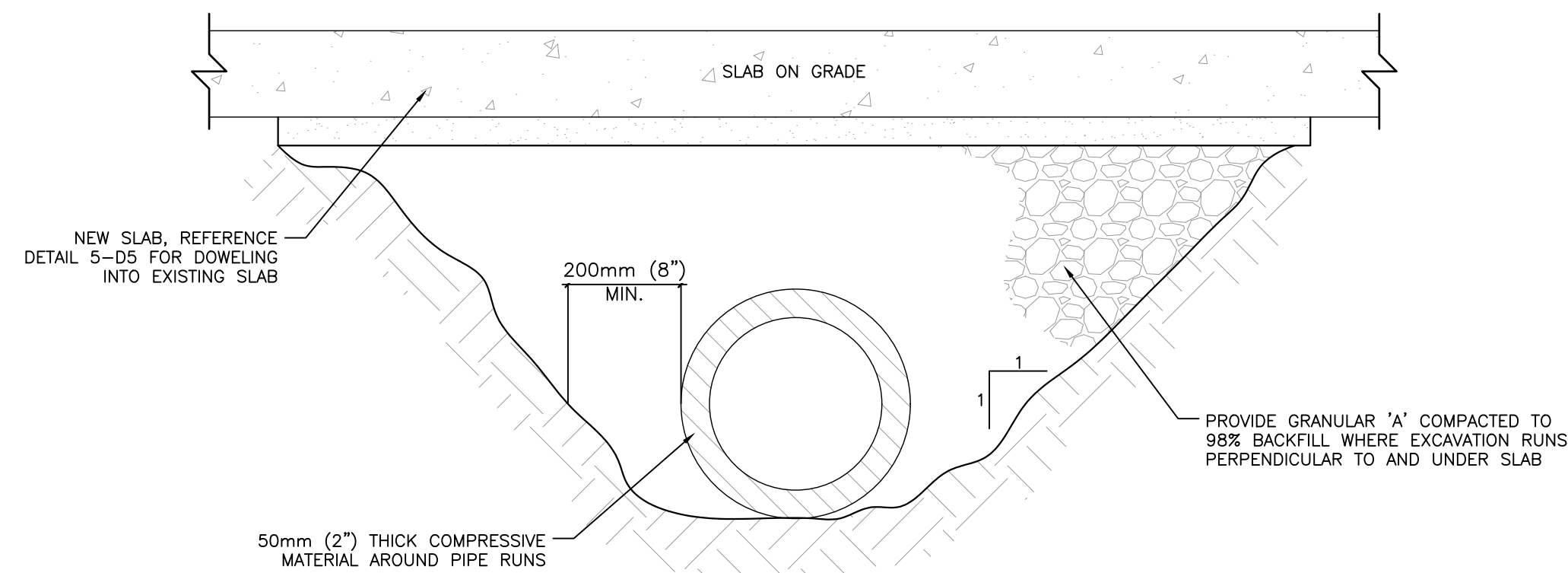
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DRAWN	DESIGNED	CHECKED	APPROVED

1:30	2025/03/21
SCALE	DATE

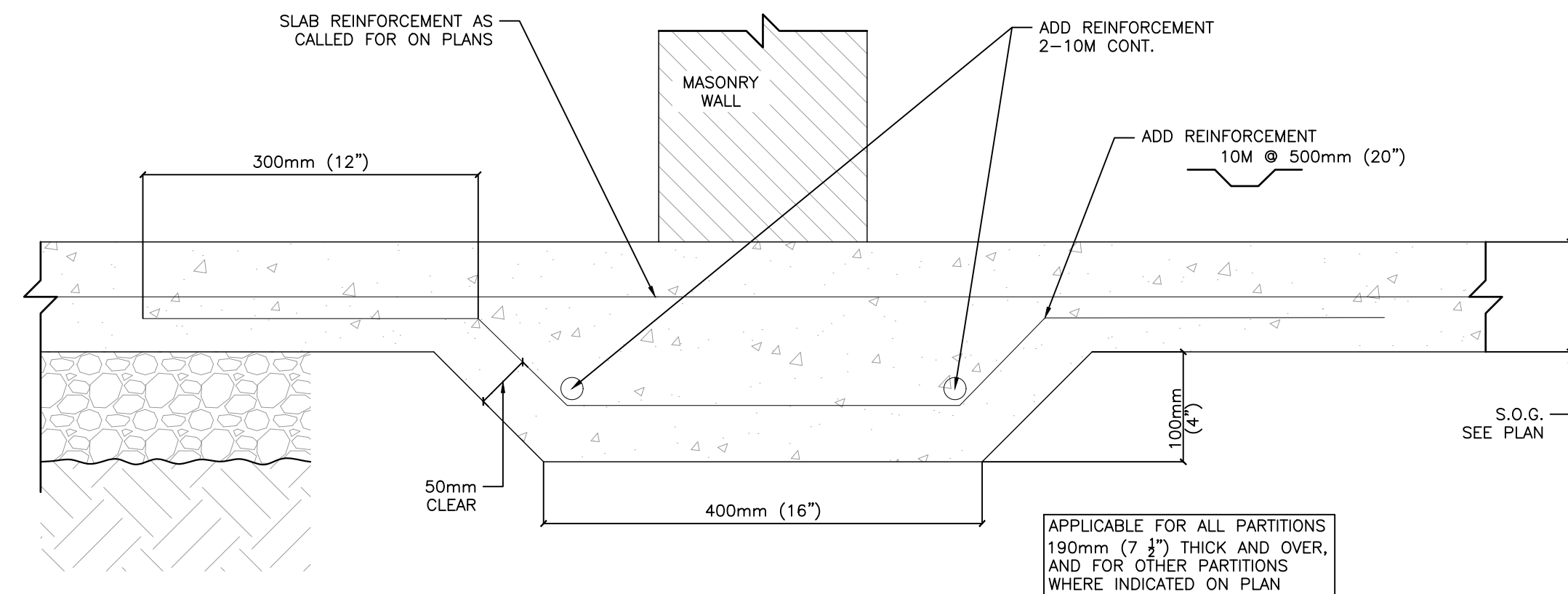
25-0710	0	S1
PROJECT No.	REVISION	DRAWING



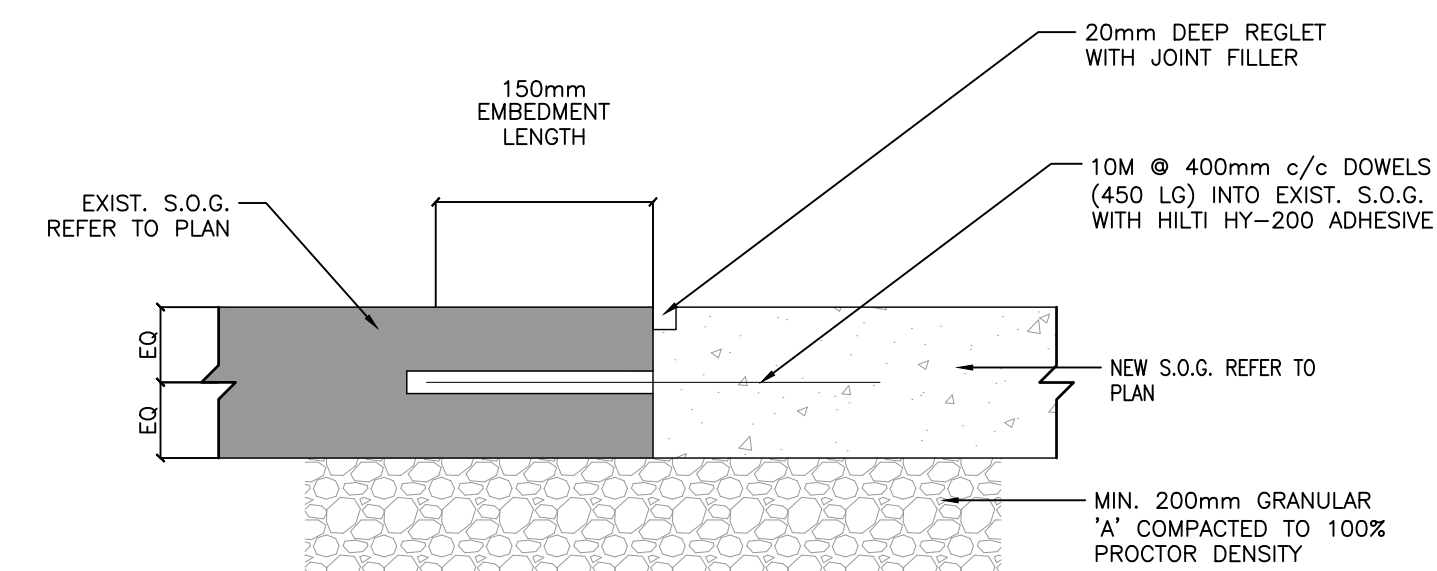
1 BACKFILL AROUND PIPE UNDER STRIP FOOTING
S2 SCALE 1:10



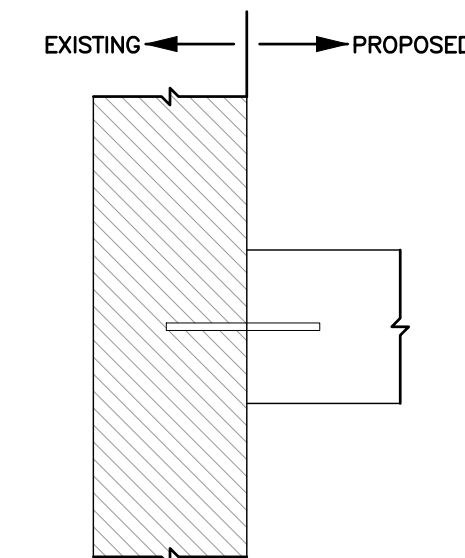
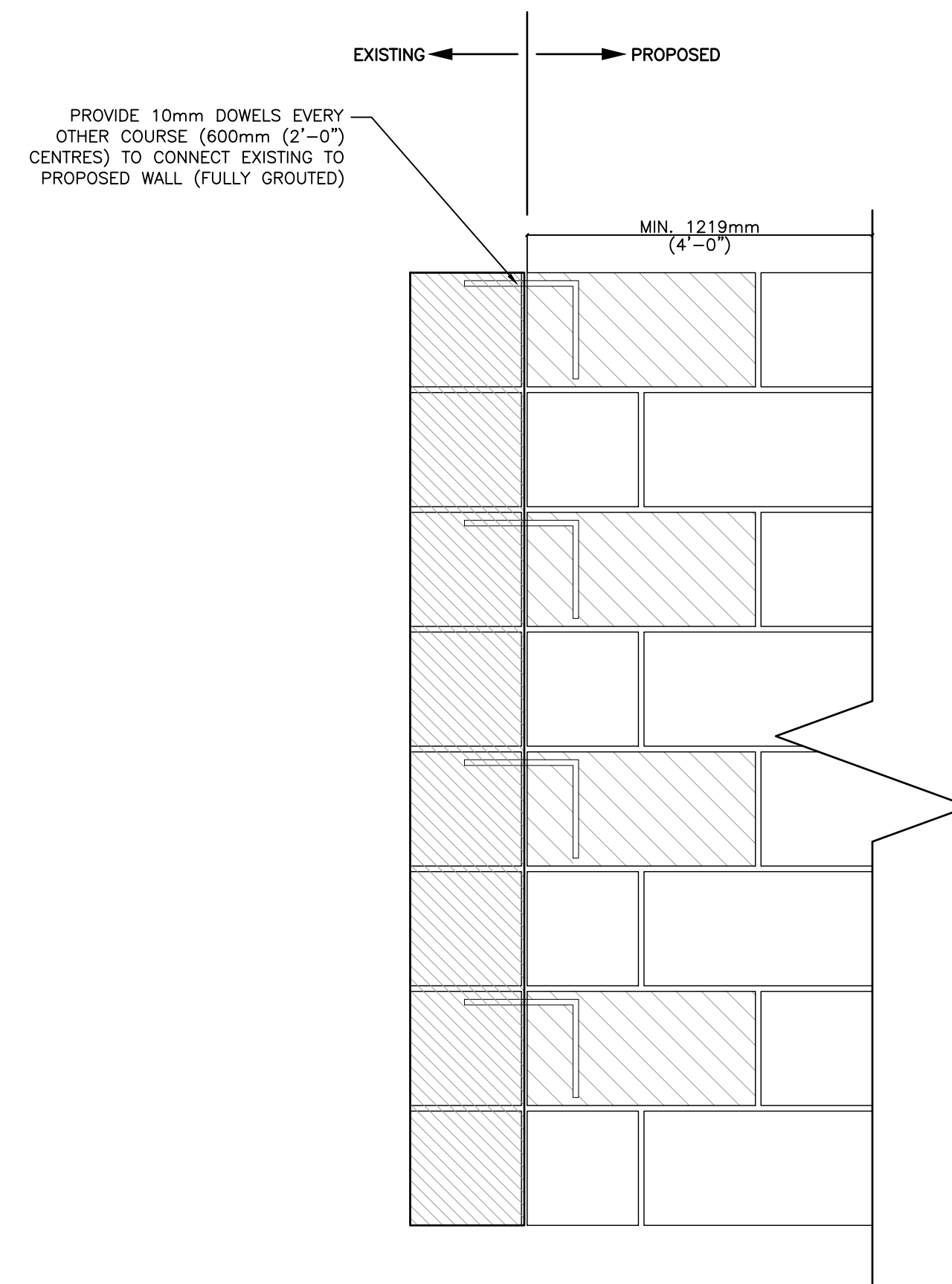
2 BACKFILL AROUND PIPE UNDER SLAB ON GRADE
S2 SCALE 1:10



3 SLAB ON GRADE THICKENING UNDER MASONRY PARTITIONS
S2 SCALE 1:10

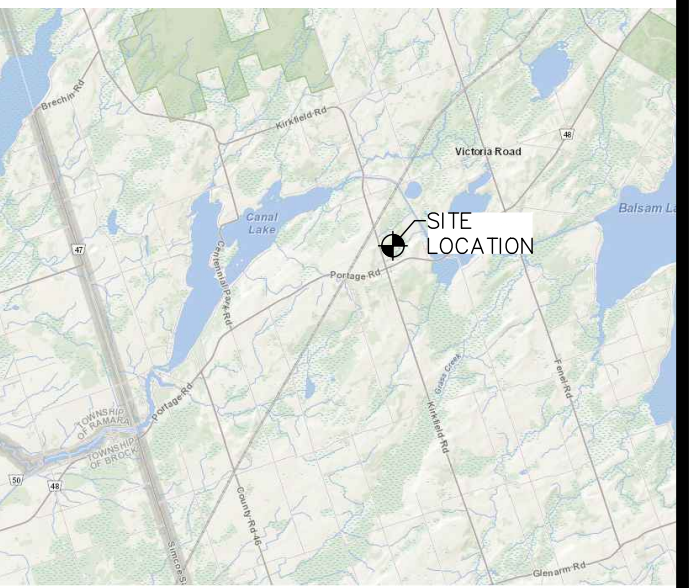


4 DOWEL TO EXISTING SLAB ON GRADE
S2 SCALE 1:5



5 MASONRY INFILL
S2 SCALE 1:10

KEY PLAN



44.56629, -78.97996

ENGINEER'S SEAL:



DATE (DAY/MON/YR.)	REV.	REVISION	BY	APP'D
2025/03/21	0	ISSUED FOR TENDER	HD	FP

CLIENT:



CONSULTANT:



PROJECT TITLE:

LADY MACKENZIE
PUBLIC SCHOOL
KIRKFIELD, ONTARIO

DRAWING TITLE:

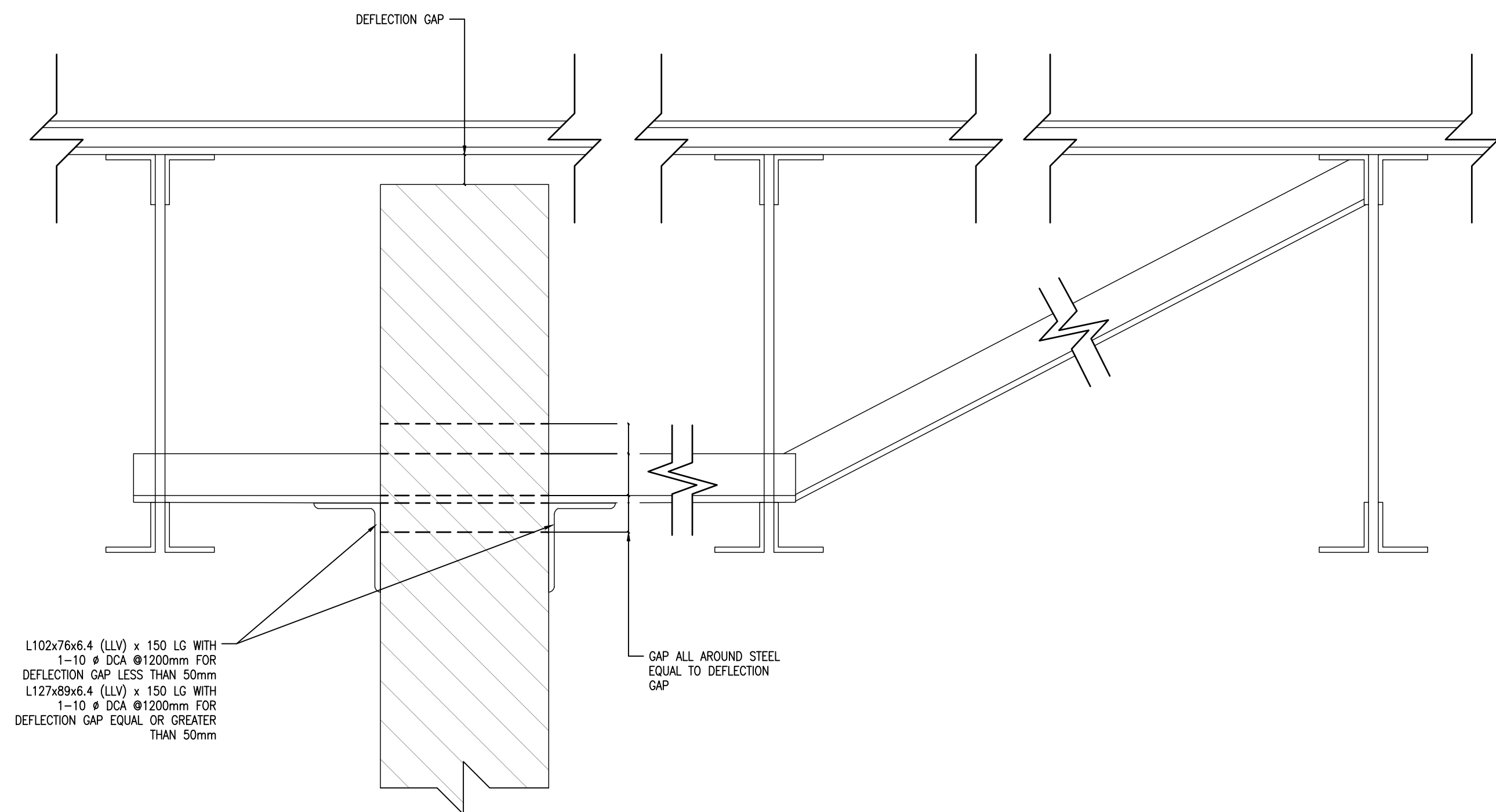
RFI B25-03 STRUCTURAL
UPGRADE AND REPAIRS -
SLAB TRENCHING,
THICKENING AND
BACKFILL DETAILS AND
MASONRY INFILL

HD	FP	FP	FP
DRAWN	DESIGNED	CHECKED	APPROVED

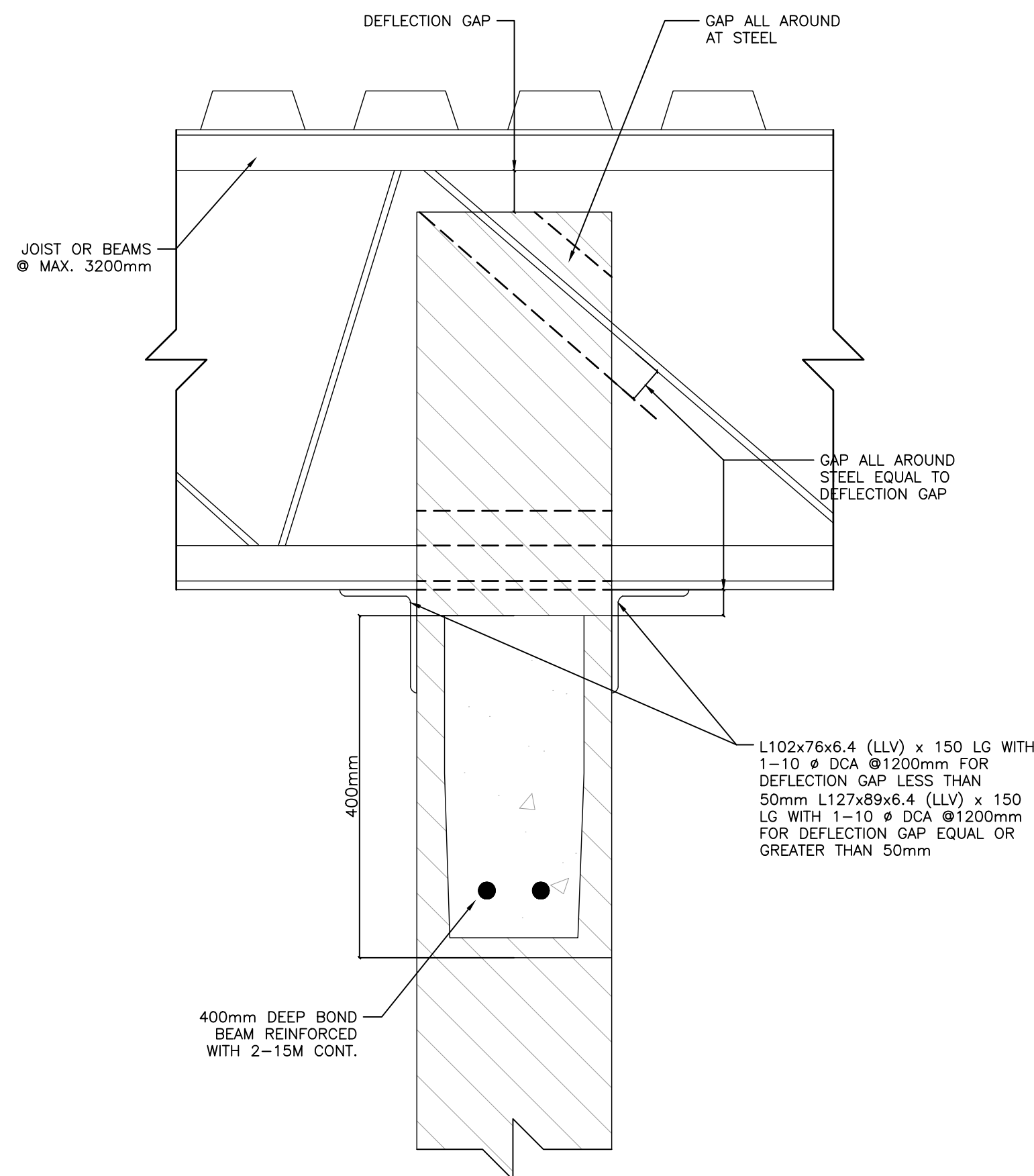
AS NOTED	2025/03/21
SCALE	DATE

25-0710	0	S2
PROJECT No.	REVISION	DRAWING

P:\2025\250710 Jason Lowe Architect - Lady Mackenzie PS\Structural\04 Drawings\04.02 Current\250710 - Lady Mackenzie Public School - 2025.02.21.dwg

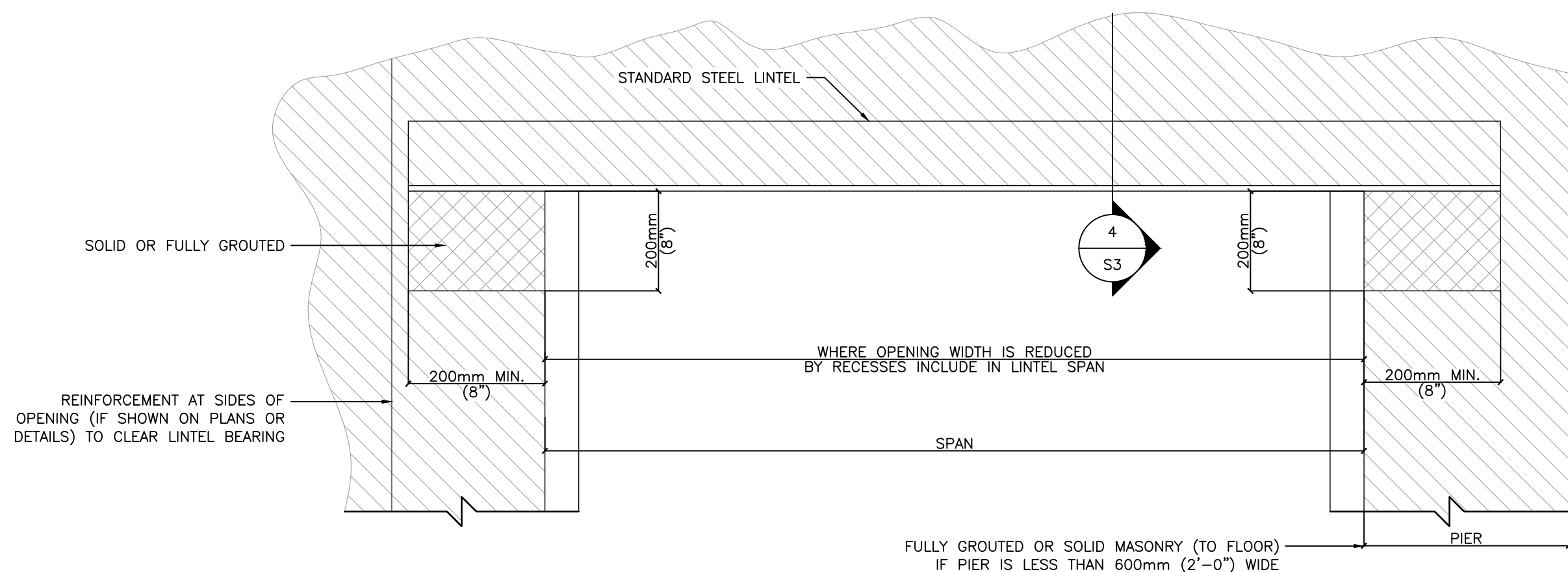


1 WALL PARALLEL TO ROOF JOISTS OR BEAM
S3 SCALE 1:5

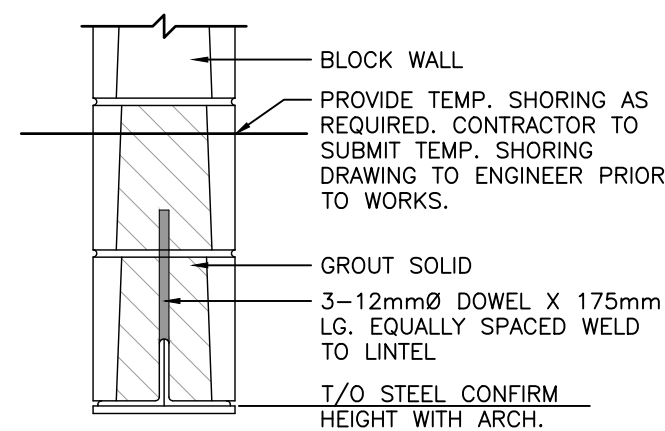


2 WALL PERPENDICULAR TO FLOOR JOISTS OR BEAMS
S3 SCALE 1:5

TABLE D: TYPICAL STEEL LINTELS - LOAD-BEARING MASONRY WALL		
WALL THICKNESS	ANGLE SPAN	DETAIL
90 (4") VENEER	L152x89x13	
140 (6")	2 - L127x76x13	
190 (8")	2 - L152x89x13	
240 (10")	2 - L178x102x13	
290 (12")	2 - L203x152x19	

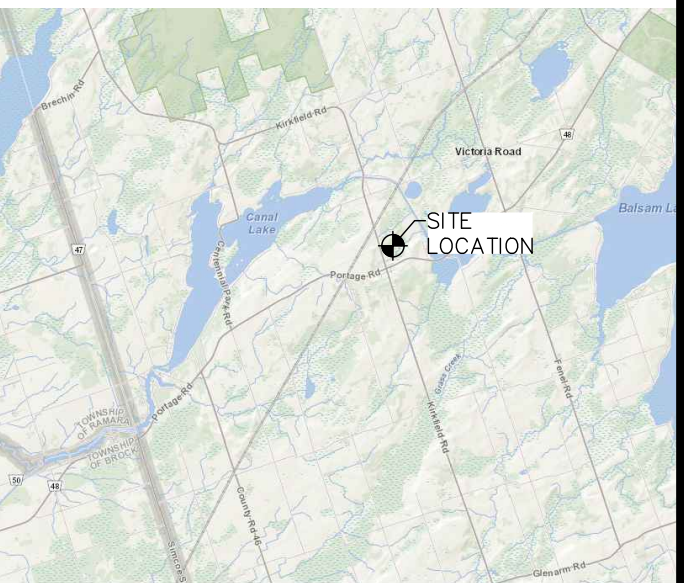


3 TYP. STEEL LINTEL IN MASONRY WALLS
S3 SCALE 1:10



4 STEEL ANGLE LINTEL DETAIL
S3 SCALE 1:10

KEY PLAN



ENGINEER'S SEAL:



2025/03/21	0	ISSUED FOR TENDER	HD	FP
DATE (DAY/MON/YR.)	REV.	REVISION	BY	APP'D

CLIENT:



CONSULTANT:



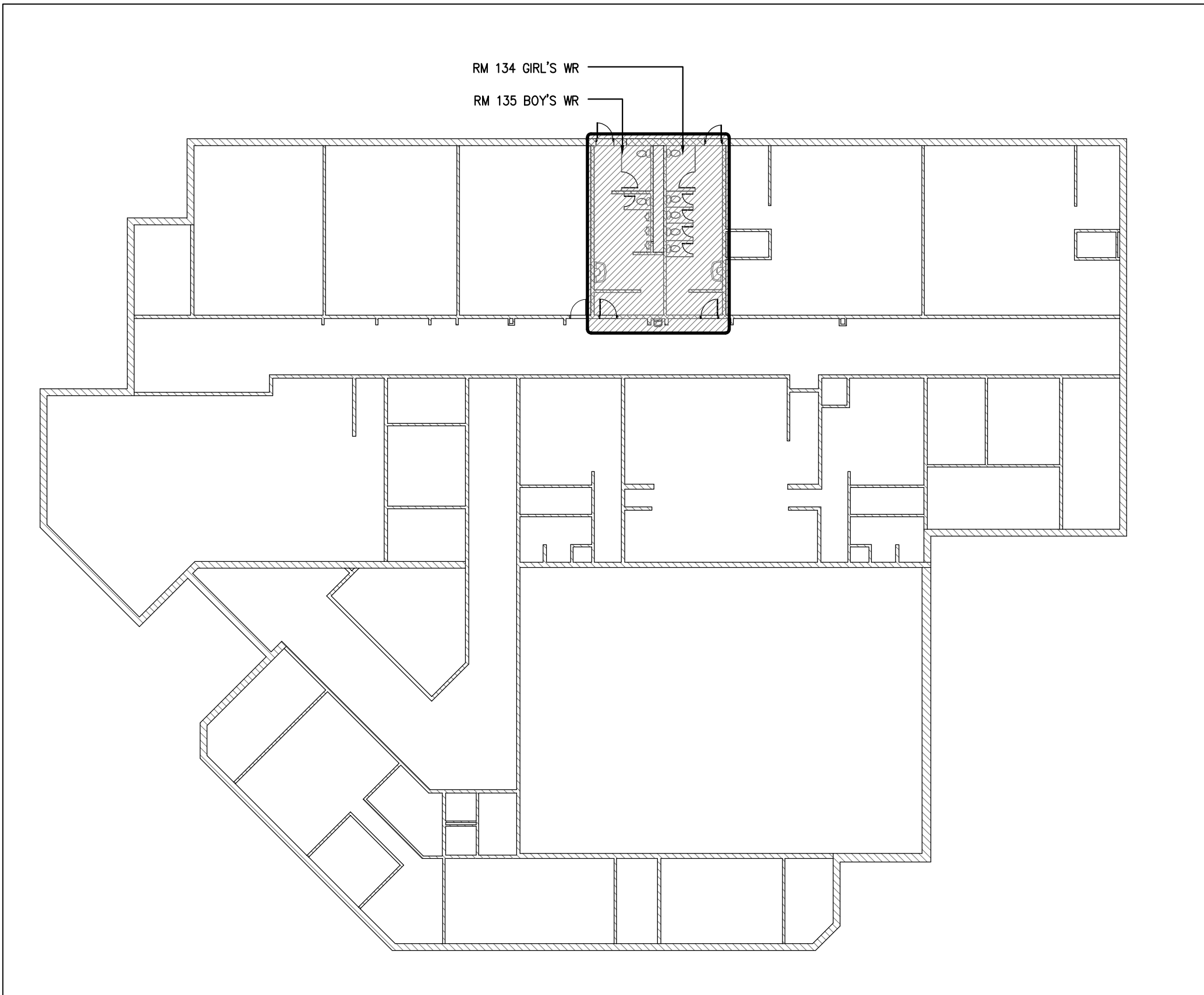
PROJECT TITLE:

LADY MACKENZIE
PUBLIC SCHOOL
KIRKFIELD, ONTARIO

DRAWING TITLE:

RFT B25-03 STRUCTURAL
UPGRADE AND REPAIRS -
LATERAL SUPPORT OF
MASONRY WALLS AND
LINTEL DETAILS

HD	FP	FP	FP
DRAWN	DESIGNED	CHECKED	APPROVED
AS NOTED		2025/03/21	
SCALE		DATE	
25-0710	0	S3	
PROJECT No.	REVISION	DRAWING	



1 KEY PLAN - MECHANICAL
M-01 SCALE: N.T.S.

GRILLE & DIFFUSER SCHEDULE					
REF. LETTER	TYPE	MAKE/MODEL	DAMPER	FINISH	REMARKS
A	DIFFUSER	PRICE SCSA	N	SHALL BE APPROVED BY THE ARCHITECT	ALUMINIUM LOUVER FACE GRILLE
B	RETURN AIR GRILLE	E.H. PRICE SERIES 600	N	SHALL BE APPROVED BY THE ARCHITECT	ALUMINIUM LOUVER FACE GRILLE

PLUMBING FIXTURE SCHEDULE						
TYPE	FIXTURE	D.H.W.	D.C.W.	VENT	SANITARY	NOTES
T-1	TOILET	–	19ø	38ø	75ø	FLOOR MOUNTED, TANK TYPE
T-2	TOILET	–	19ø	38ø	75ø	FLOOR MOUNTED, TANK TYPE, BARRIER FREE
U-1	URINAL	–	19ø	32ø	50ø	WALL MOUNTED, FLUSH VALVE
U-2	URINAL	–	19ø	32ø	50ø	WALL MOUNTED, FLUSH VALVE, BARRIER FREE
WF-1	WASHFOUNTAIN	13ø	13ø	32ø	32ø	
DF-1	DRINKING FOUNTAIN	–	13ø	32ø	32ø	

AIR FLOW TEST

- ALL EXISTING AIR FLOW RATE AND DUCT SIZE INDICATED ON THIS DRAWING BASED ON BASE BLDG. MECHANICAL SYSTEM DRAWING FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXACT LAYOUTS AND SIZES ON SITE.
- WITHIN WORKING AREA, PRIOR TO CONSTRUCTION, PERFORM AIR FLOW TEST OF ALL EXISTING HVAC SYSTEMS INCLUDING HVAC UNITS AND DUCT SYSTEMS, SUPPLY, RETURN AND EXHAUST AIR FLOW OF DUCT AND DIFFUSERS/GRILLES, OUTDOOR AIR FLOW, EXTERNAL STATIC PRESSURE OF UNITS. THE REPORT SHALL CONTAIN AIR FLOW AND EXTERNAL STATIC PRESSURE OF HVAC UNIT, ELECTRICAL POWER AND STARTER OF HVAC UNIT. THE REPORT SHALL ALSO CONTAIN AIR FLOW OF DIFFUSERS, GRILLS AND DUCT SYSTEMS. SUBMIT EXISTING AIR FLOW TEST REPORT AND EXISTING MECHANICAL DRAWINGS SHOWING AIR FLOW RATE, DUCT LAYOUT AND SIZE, DIFFUSER/GRILLE LAYOUT AND SIZE. INSPECT CONDITION OF BALANCING DAMPERS AND FIRE DAMPERS.
- PERFORM POST CONSTRUCTION AIR FLOW TEST AND SUBMIT REPORT.

DRAINAGE SYSTEM WORK NOTES:

- AFTER CONSTRUCTION, PERFORM EXISTING BURIED DRAINAGE LINE CAMERA TEST AND SUBMIT VIDEO & WRITTEN REPORT.
- PERFORM UNDERGROUND DRAINAGE LINE CLEANING.
- EXAMINE AND REPLACE ALL EXISTING DAMAGED VENTS WITHIN THE PROJECT WORKING AREA. MODIFY THE EXISTING VENTING SYSTEM TO SUIT NEW PROPOSED LAYOUT AND AS PER O.B.C. REQUIREMENT.
- WHEN UNDERGROUND FLOOR SANITARY LINE ROUGH-IN LAYOUT HAVE BEEN COMPLETE, AND PRIOR TO POURING CONCRETE FLOOR, CONTRACTOR SHALL INFORM MECHANICAL CONSULTANT FOR INSPECTION OF ROUGH-IN AND ELEVATION OF PIPE LAYOUT.
- EXAMINE AND REPLACE ALL EXISTING ABOVE GROUND DAMAGED DCW & DHW LINES AND VALVES WITHIN THE PROJECT WORKING AREA.

DUCT WORK CLEANING

- CLEAN ENTIRE DUCTWORK SYSTEMS SERVING SCOPE AREAS INCLUDING ALL ASSOCIATED DUCTWORK, DIFFUSERS AND GRILLES SERVING OTHER ROOMS.

MECHANICAL DRAWING LIST	
DWG. NO.	DRAWING TITLE
M-01	LEGEND, DRAWING LIST, SCHEDULES & SPECIFICATIONS - MECHANICAL
M-11	HVAC, PLUMBING & DRAINAGE LAYOUTS - MECHANICAL

HVAC LEGEND	
SYMBOL	DESCRIPTION
	DUCTWORK (DOUBLE LINE)
	DUCTWORK (SINGLE LINE)
	THERMOSTAT
	BALANCING DAMPER
	FIRE DAMPER
	MOTORIZED DAMPER
	SQUARE SUPPLY AIR DIFFUSER
	RETURN OR EXHAUST AIR GRILLE
	ROUND SUPPLY AIR DIFFUSER
	MANUAL SWITCH
	DOOR GRILLE
	DIFFUSER/GRILLE TYPE X - TYPE Y - SIZE (MM) Z - AIR VOLUME (L/S)

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	DOMESTIC COLD WATER (DCW)
	DOMESTIC HOT WATER (DHW)
	DOMESTIC HOT WATER RECIRCULATION (DHW-R)
	SANITARY VENT
	BURIED SANITARY DRAIN OR IN CEILING SPACE/FLOOR BELOW
	SUSPENDED SANITARY DRAIN
	BURIED STORM DRAIN OR IN CEILING SPACE/FLOOR BELOW
	SUSPENDED STORM DRAIN
	CLEANOUT PLUG
	FLOOR CLEANOUT
	VALVE SHUT-OFF
	BACKFLOW PREVENTOR
	FLOOR DRAIN
	HUB DRAIN
	ELBOW, TURNED DOWN AND TURNED UP
	CAPPED CONNECTION
	BRANCH - TOP CONNECTION
	BRANCH - BOTTOM CONNECTION
	PIPE CUT
	PIPE DOWN
	PIPE UP
	SANITARY ROUGH-IN

ABBREVIATIONS	
ABBREV.	DESCRIPTION
CTE	CONNECT TO EXISTING
RE	DENOTES EXISTING DEVICE(S) IN RELOCATED POSITION
R	DENOTES EXISTING DEVICE(S) TO BE RELOCATED
D	DENOTES EXISTING DEVICE(S) TO BE REMOVED
EX	DENOTES EXISTING DEVICE(S) TO REMAIN
N	DENOTES PROVIDE NEW DEVICE(S)
①	DENOTES DRAWING REFERENCE NOTES # 1
	EXISTING SERVICES OR EQUIPMENTS TO BE REMOVED

PLUMBING FIXTURE SPECIFICATION

- 'T-1', FLOOR MOUNTED TOILET - TANK TYPE - ELONGATED BOWL**

AMERICAN STANDARD CADET PRO ELONGATED #215CA004 TOILET, 3517C101, 4188A004, 381 MM HIGH, FEATURES THE CADET@FLUSHING SYSTEM, VITREOUS CHINA, LOW CONSUMPTION (6.0 LPF/1.6 GPF) TOILET, TRADE EXCLUSIVE TANK, POWERWASH®RIM SCRUBS BOWL WITH EACH FLUSH, ROBUST METAL TRIP LEVER & METAL SHANK FILL VALVE, INCLUDES EZ-INSTALL TOOLS W/COLOR MATCH BOWL CAPS, EVERCLEAN®SURFACE INCLUDED, 3" FLUSH VALVE, FULLY-GLAZED 2-1/8" TRAPWAY -12" (305MM) ROUGH-IN, GENEROUS 9" X 8" WATER SURFACE AREA - CHROME FINISH TRIP LEVER IS SUPPLIED, 1,000G MAP SCORE** AT 1.6 GPF.

NOMINAL DIMENSIONS: 767 X 441 X 733MM (30-1/8" X 17-3/8" X 28-7/8").

CENTOCO #820STS.001 TOILET SEAT, EXTRA HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC, STAINLESS STEEL CHECK HINGES, METAL FLAT WASHERS, STAINLESS STEEL POSTS AND NUTS, MCGUIRE #FH172BV TOILET SUPPLY, CHROME PLATED FINISH POLISHED BRASS, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOPS, 13 MM (1/2") I.D. INLET X 127 MM (5") LONG RIGD HORIZONTAL INTEGRAL COPPER SWEAT TUBE NIPPLES, COMBINATION V.P. LOOSE KEY HANDLES, ESCUTCHEON AND FLEXIBLE COPPER RISERS, PROVIDE FLOOR FLANGE, (SAME MATERIAL AS THE CONNECTING PIPE DRAIN), WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.
- 'T-2', FLOOR MOUNTED TOILET - BARRIER FREE -TANK TYPE - ELONGATED BOWL**

AMERICAN STANDARD CADET PRO COMPACT RIGHT HEIGHT ELONGATED #215FA104 TOILET, 3517F101, 4188B104, 419 MM HIGH, FEATURES THE CADET@FLUSHING SYSTEM, VITREOUS CHINA, SPACE SAVING ELONGATED BOWL, FITS IN SPACE OF A ROUND FRONT, HIGH EFFICIENCY TOILET (HET), ULTRA-LOW CONSUMPTION (4.8 LPF/1.28 GPF), UTILIZES 20% LESS WATER, MEETS EPA WATERSENSE®CRITERIA, TRADE EXCLUSIVE TANK, POWERWASH®RIM SCRUBS BOWL WITH EACH FLUSH, ROBUST METAL TRIP LEVER & METAL SHANK FILL VALVE, INCLUDES EZ-INSTALL TOOLS W/COLOR MATCH BOWL CAPS, EVERCLEAN®SURFACE INCLUDED, 76MM FLUSH VALVE, FULLY-GLAZED 54MM TRAPWAY, 420MM RIM HEIGHT FOR ACCESSIBLE APPLICATIONS, 305MM ROUGH-IN, GENEROUS 229MM X 203MM WATER SURFACE AREA, CHROME FINISH TRIP LEVER IS SUPPLIED, 1,000G MAP SCORE** AT 1.28 GPF.

NOMINAL DIMENSIONS: 719 X 460 X 771MM (28-5/16" X 18-1/8" X 30-3/8").

CENTOCO #820STS.001 TOILET SEAT, EXTRA HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC, STAINLESS STEEL CHECK HINGES, METAL FLAT WASHERS, STAINLESS STEEL POSTS AND NUTS, MCGUIRE #FH172BV TOILET SUPPLY, CHROME PLATED FINISH POLISHED BRASS, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOPS, 13 MM (1/2") I.D. INLET X 127 MM (5") LONG RIGD HORIZONTAL INTEGRAL COPPER SWEAT TUBE NIPPLES, COMBINATION V.P. LOOSE KEY HANDLES, ESCUTCHEON AND FLEXIBLE COPPER RISERS, PROVIDE FLOOR FLANGE, (SAME MATERIAL AS THE CONNECTING PIPE DRAIN), WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.
- 'U-1', WALL HUNG URINAL - FOR FLUSHOMETER - EXPOSED - BATTERY POWERED**

AMERICAN STANDARD WASHBROOK FLOWISE #6590.001.020 URINAL, VITREOUS CHINA, OPERATES IN THE RANGE OF 0.5 L TO 3.8 L (0.125 US GAL TO 1.0 US GAL) PER FLUSH, WALL HUNG, EXTENDED SIDES FOR PRIVACY, WASHDOWN ACTION, WASHBROOK FLOWISE, FLUSHING RIM, 19 MM (3/4") DIA. TOP SPUD, ELONGATED RIM, INTEGRAL P-TRAP, OUTLET CONNECTION 51 MM (2"). 2 WALL HANGERS, #7301242-100 CHROME PLATED, NON-METALLIC STRAINER, WHITE FINISH. CONTRACTOR SHALL CONFIRM ARCH. DRAWING FOR EXACT MOUNTING HEIGHT.

MOEN COMMERCIAL MODEL 8315 CHROME PLATED, M POWER VERSION, CAST BRASS BODY, 19 TOP SPUD WITH A 19 IPS SUPPLY, PISTON FLUSHING MECHANISM WITH ADJUSTABLE SENSOR RANGE AND FLOW CONTROL, LOW BATTERY INDICATOR LIGHT, SELF-CLEANING FILTER SYSTEM, MECHANICAL MANUAL OVERRIDE BUTTON AND VANDAL RESISTANT POLYCARBONATE SENSOR LENS, 1.5L FLUSH.

WATTS #CA-321 FIXTURE CARRIER, MOUNTED ON CONCRETE FLOOR, EPOXY COATED TOP AND BOTTOM UNIVERSAL STEEL HANGER PLATES, HEAVY GAUGE EPOXY COATED STEEL OFFSET UPRIGHTS WITH WELDED FEET SUPPORTS, FOR ONE UNIT: 102 MM (4") FOR TWO TO SIX UNITS IN A ROW. 152 MM (6") FINISHED METAL STUD WALL TO BACK OF PIPE. 9" URINAL. WATTS #MU00 URINAL WALL ACCESS CLEANOUT, TWO (2) PIECE EXPANDABLE PLUG WITH 102 MM (4") DIAMETER STAINLESS STEEL ACCESS COVER, SECURED WITH VANDAL PROOF STAINLESS STEEL SCREW, CHAMPION MI-X SERIES #MI-XHUB DRAIN COUPLING, COUPLING, NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISI STAINLESS STEEL EYELET, ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564, TYPE 304 AISI STAINLESS STEEL SHIELD, PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PSI MAXIMUM LINE PRESSURE AT 80 INCH LB MIN TO 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD, PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN, SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE.
- 'U-2', WALL HUNG URINAL - FOR FLUSHOMETER - EXPOSED - BATTERY POWERED - BARRIER FREE**

AMERICAN STANDARD WASHBROOK FLOWISE #6590.001.020 URINAL, VITREOUS CHINA, OPERATES IN THE RANGE OF 0.5 L TO 3.8 L (0.125 US GAL TO 1.0 US GAL) PER FLUSH, WALL HUNG, EXTENDED SIDES FOR PRIVACY, WASHDOWN ACTION, WASHBROOK FLOWISE, FLUSHING RIM, 19 MM (3/4") DIA. TOP SPUD, ELONGATED RIM, INTEGRAL P-TRAP, OUTLET CONNECTION 51 MM (2"). 2 WALL HANGERS, #7301242-100 CHROME PLATED, NON-METALLIC STRAINER, WHITE FINISH. CONTRACTOR SHALL CONFIRM ARCH. DRAWING FOR EXACT MOUNTING HEIGHT.

MOEN COMMERCIAL MODEL 8315 CHROME PLATED, M POWER VERSION, CAST BRASS BODY, 19MM TOP SPUD WITH A 19MM IPS SUPPLY, PISTON FLUSHING MECHANISM WITH ADJUSTABLE SENSOR RANGE AND FLOW CONTROL, LOW BATTERY INDICATOR LIGHT, SELF-CLEANING FILTER SYSTEM, MECHANICAL MANUAL OVERRIDE BUTTON AND VANDAL RESISTANT POLYCARBONATE SENSOR LENS, 1.5L FLUSH.

WATTS #CA-321 FIXTURE CARRIER, MOUNTED ON CONCRETE FLOOR, EPOXY COATED TOP AND BOTTOM UNIVERSAL STEEL HANGER PLATES, HEAVY GAUGE EPOXY COATED STEEL OFFSET UPRIGHTS WITH WELDED FEET SUPPORTS, FOR ONE UNIT: 102 MM (4") FOR TWO TO SIX UNITS IN A ROW. 152 MM (6") FINISHED METAL STUD WALL TO BACK OF PIPE. 9" URINAL. WATTS #MU00 URINAL WALL ACCESS CLEANOUT, TWO (2) PIECE EXPANDABLE PLUG WITH 102 MM (4") DIAMETER STAINLESS STEEL ACCESS COVER, SECURED WITH VANDAL PROOF STAINLESS STEEL SCREW, CHAMPION MI-X SERIES #MI-XHUB DRAIN COUPLING, COUPLING, NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISI STAINLESS STEEL EYELET, ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564, TYPE 304 AISI STAINLESS STEEL SHIELD, PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 0.1MPA MAXIMUM LINE PRESSURE AT 9.04 NM MIN TO 11.3NM MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 254MM). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD, PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN, SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE.
- 'WF-1', TRI-FOUNT FLOOR MOUNTED WASHFOUNTAIN - 15A PLUG**

FLOOR MOUNTED, ACCESSIBLE, 3 USER WASHFOUNTAIN: CONSTRUCTED WITH INTEGRAL CONTINUOUS BOWL, COMPACT DECK, AND BACKSLASH LEDGE CONTAINING CONCEALED, VANDAL-RESISTANT SPRAY HEAD WITHOUT INTEGRATED LIQUID SOAP DISPENSER. UNIT INCLUDES WASTE AND SUPPLY CONNECTIONS TO WALL WITH STOP STRAINER, AND CHECK VALVES, AND STEEL SUPPORT FRAME, CONCEALED BY TAMPER-RESISTANT STAINLESS STEEL ACCESS PANEL. ADA/ABA, AND ANSI A117.1 COMPLIANT. IPC/CUPC-CERTIFIED BY IAPMO.

1. BASIS OF DESIGN MANUFACTURER/MODEL: BRADLEY, MULTI-FOUNT WASHFOUNTAIN SYSTEM, MF2933.

2. UNIT SIZE: 914 BY 660 MM

3. MOUNTING HEIGHT: 600

4. SPRAY HEAD: INDEPENDENT WATER STREAM FORMER WITH FLOW RATE OF 0.5 GPM (0.032 L/S) AT OPERATING RANGE OF 138 TO 552KPA.

5. SHUT-OFF: WITH 120VAC/12VDC PLUG-IN ADAPTER, RECEPTACLES TO BE CONCEALED BEHIND WASHBINK.

6. SOAP DISPENSER: LSD (TWO INTEGRAL LIQUID SOAP DISPENSERS)

7. WATER SUPPLY: TMA (NAVIGATOR THERMOSTATIC MIXING ASSEMBLY (HOT & COLD SUPPLIES)

8. COLOR: SUBMIT COLOUR SAMPLE FOR ARCHITECT REVIEW AND APPROVAL.

9. 6 SETS OF SOAP DISPENSER MAINTENANCE WRENCHES.
- 'FD', FLOOR DRAIN**

WATTS #FD-100-C-15-1-6-7 FLOOR DRAIN - EPOXY COATED, CAST IRON BODY, REVERSIBLE FLASHING CLAMP WITH PRIMARY AND SECONDARY WEEPHOLES, SEDIMENT BUCKET,VANDAL PROOF, TRAP PRIMER CONNECTION WITH PLUG, NO HUB OUTLET. WATTS -L5-1 127 MM X 127 MM NICKEL BRONZE, HEAVY DUTY, SQUARE STRAINER.
- 'CO', CLEANOUT**

WATTS #CO-200-S CLEANOUT - EPOXY COATED, CAST IRON BODY, 130 MM SQUARE ADJUSTABLE GASKETED HEAVY DUTY NICKEL BRONZE TOP, ABS PLUG WITH NEOPRENE GASKET, VANDAL PROOF, NO HUB OUTLET.
- 'DF-1', DRINKING FOUNTAIN**

EZH20® BOTTLE FILLING STATION WITH SINGLE ADA COOLER HANDS FREE ACTIVATION REFRIGERATED STAINLESS, MODEL: LZ08WSK.

CHILLING CAPACITY OF 30.3LPH (LITRES PER HOUR) OF 10°C DRINKING WATER, BASED ON 26.7°C INLET WATER AND 32.2°C AMBIENT, PER ASHRAE 18 TESTING. FEATURES SHALL INCLUDE ANTIMICROBIAL*, FILTERED, GREEN TICKER™, HANDS FREE, LAMINAR FLOW, REAL DRAIN, VISUAL FILTER MONITOR.

FURNISHED WITH FLEXI-GUARD® SAFETY BUBBLER, ELECTRONIC BOTTLE FILLER SENSOR & SENSOR BUBBLER ACTIVATION. PRODUCT SHALL BE WALL MOUNT (ON WALL), FOR INDOOR APPLICATIONS, SERVING 1 STATION(S). UNIT SHALL BE CERTIFIED TO UL 399 AND CAN/CSA C22.2 NO. 120.

SPECIAL FEATURES	ANTIMICROBIAL, FILTERED, GREEN TICKER™, HANDS FREE, LAMINAR FLOW, REAL DRAIN, VISUAL FILTER MONITOR
FINISH	STAINLESS STEEL
POWER	115V/60HZ
BUBBLER STYLE	FLEXI-GUARD® SAFETY BUBBLER
ACTIVATION BY	ELECTRONIC BOTTLE FILLER SENSOR & SENSOR BUBBLER
MOUNTING TYPE	WALL MOUNT (ON WALL)
CHILLING CAPACITY *	30.3 LPH
FULL LOAD AMPS	6
RATED WATTS	370
DIMENSIONS (LxWxH)	467MM X 483MM X 992MM
APPROX. SHIPPING WEIGHT	38.6 KG
INSTALLATION LOCATION	INDOOR
NO. OF STATIONS SERVED	1

* BASED ON 26.7°C INLET WATER & 32.2°C AMBIENT AIR TEMP FOR 10°C CHILLED DRINKING WATER.

VISUAL FILTER MONITOR: LED FILTER STATUS INDICATOR FOR WHEN FILTER CHANGE IS NECESSARY.

FILTER IS CERTIFIED TO NSF 42 AND 53 FOR LEAD, CYST, PARTICULATE, CHLORINE, TASTE AND ODOR REDUCTION. 11356L CAPACITY.

GREEN TICKER: INFORMS USER OF NUMBER OF 567G PLASTIC WATER BOTTLES SAVED FROM WASTE.

LAMINAR FLOW PROVIDES CLEAN FILL WITH MINIMAL SPLASH.

KEY PLASTIC COMPONENTS ARE MANUFACTURED WITH SILVER ION ANTIMICROBIAL AGENT HELPING TO PROVIDE CLEAN, STAIN- AND ODOR-FREE SURFACES.

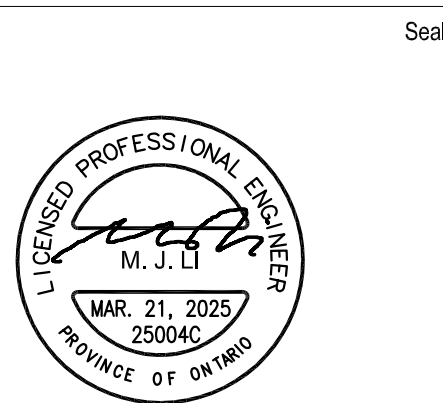
REAL DRAIN SYSTEM ELIMINATES STANDING WATER

Lady Mackenzie Public School Washroom Renovations Phase 2 RFT B25-03

1746 Kirkfield Rd,
Kirkfield, ON,
K0M 2B0

TENDER and BUILDING PERMIT

FEBRUARY 2025



HL ENGINEERING LTD
7725 BIRCHMOUNT RD, UNIT 46, MARKHAM,
ON L3R 9X3 905-713-0003 www.hlengineering.ca

DATE: FEB. 2025
PROJECT NO: 25004C
SCALE: N.T.S.
DRAWN: RC
CHECKED: MY

Revisions
1. ISSUED FOR REVIEW 2025-03-07
2. ISSUED FOR TENDER 2025-03-21

LEGEND, DRAWING LIST, SCHEDULES & SPECIFICATIONS - MECHANICAL

Sheet

M-01

**Lady Mackenzie
Public School
Washroom
Renovations
Phase 2
RFT B25-03**

1746 Kirkfield Rd,
Kirkfield, ON,
K0M 2B0

**TENDER and
BUILDING PERMIT**

FEBRUARY 2025

Seal



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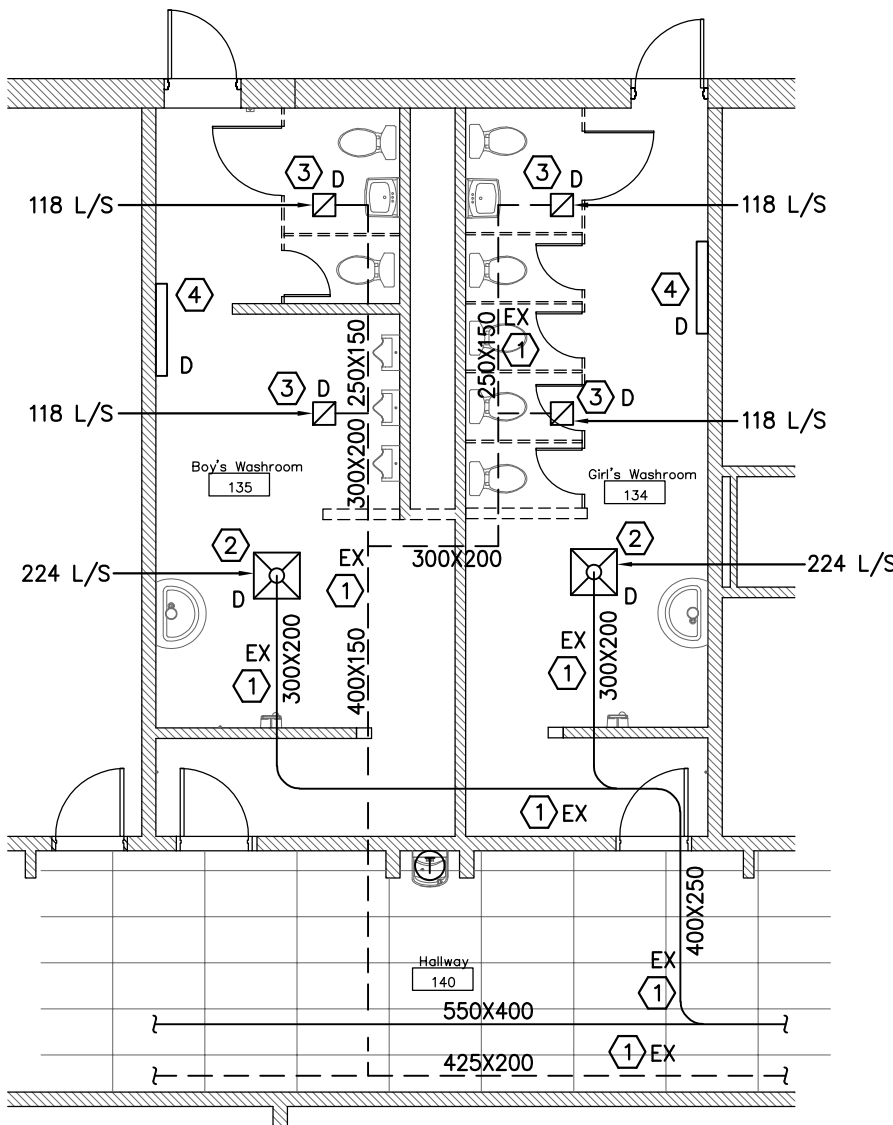
1. ISSUED FOR REVIEW 2025-03-07
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Title

**HVAC,
PLUMBING &
DRAINAGE
LAYOUTS -
MECHANICAL**

Sheet

M-11

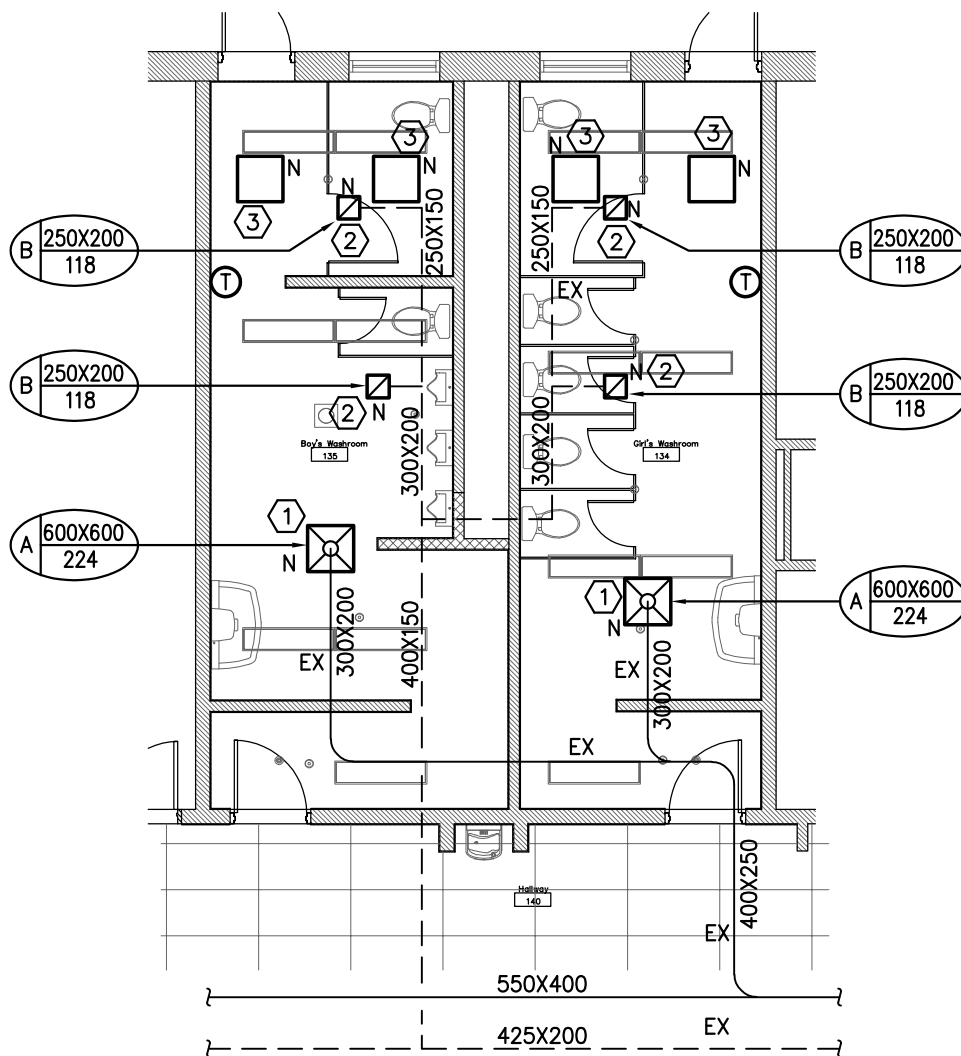


GENERAL NOTES:

1. ALL MECHANICAL SERVICE/EQUIPMENT SHOWN ON THIS DRAWING SHALL BE EXISTING UNLESS OTHERWISE NOTED.
2. ALL EXISTING MECHANICAL SERVICE/EQUIPMENT TO REMAIN UNLESS INDICATED OTHERWISE.
3. ALL EXISTING AIR FLOW RATE AND DUCT SIZE INDICATED ON THIS DRAWING BASED ON BASE BLDG. EXISTING MECHANICAL SYSTEM DRAWING FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXACT LAYOUTS AND SIZES ON SITE.
4. CONTRACTOR TO EXAMINE AND VERIFY EXISTING MECHANICAL SYSTEM CONDITIONS AND LOCATIONS ON SITE.

DRAWING NOTES:

- ① EXISTING DUCT TO REMAIN.
- ② EXISTING DIFFUSER TO BE REMOVED.
- ③ EXISTING GRILLE TO BE REMOVED.
- ④ EXISTING ELECTRICAL BASEBOARD HEATER TO BE REMOVED.

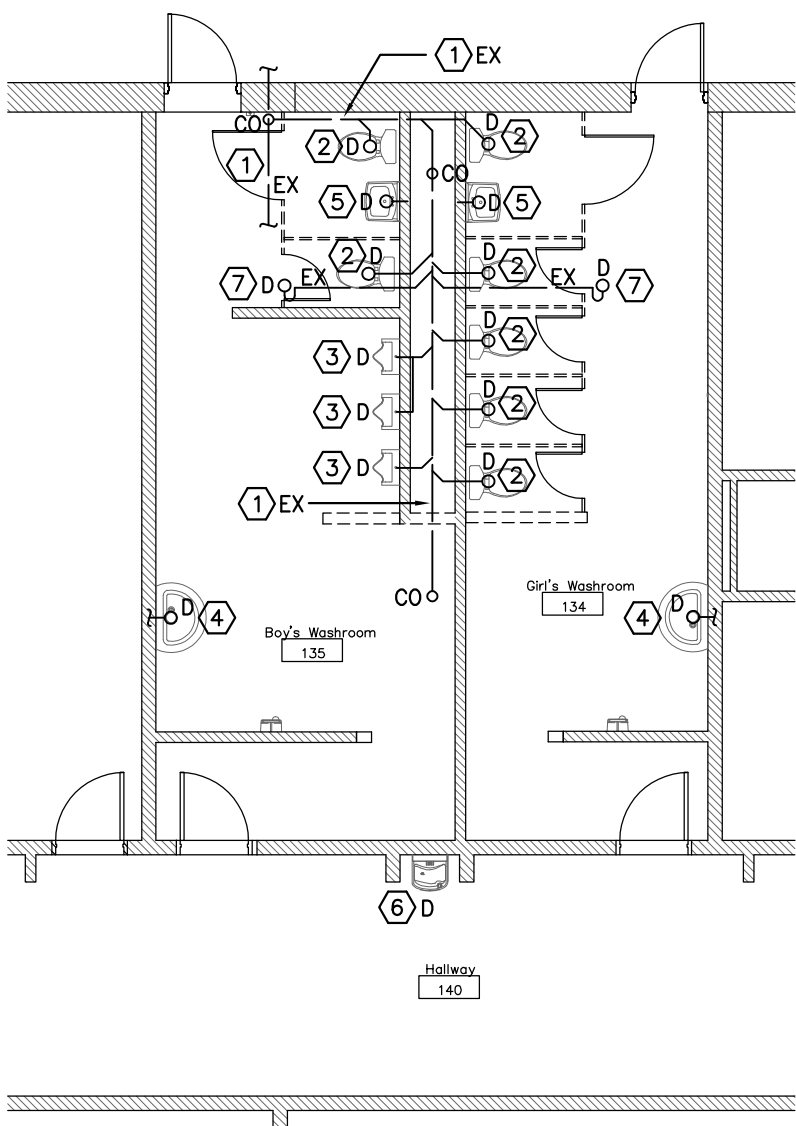


GENERAL NOTES:

1. ALL MECHANICAL SERVICE/EQUIPMENT SHOWN ON THIS DRAWING SHALL BE NEW UNLESS OTHERWISE NOTED.
2. TEMPERATURE SENSORS SHALL BE NOMINALLY 1200MM (48 IN.) ABOVE THE FINISHED FLOOR UNLESS INDICATED OTHERWISE.
3. DIFFUSER DUCT RUN-OUTS SHALL BE THE SAME SIZE AS THE DIFFUSER INLETS UNLESS INDICATED OTHERWISE.
4. RE-BALANCE AIR FLOW AS SHOWN ON DRAWING.
5. COORDINATE ARCHITECTURAL REFLECTED CEILING PLAN FOR LOCATIONS OF GRILLES AND DIFFUSERS.
6. CONTRACTOR TO VERIFY EXISTING FIRE DAMPER LOCATIONS WITHIN SCOPE AREA. PROVIDE FIRE DAMPERS ON EXISTING DUCTS WHERE DUCTS PENETRATE FIRE SEPARATIONS WHEN REQUIRED.

DRAWING NOTES:

- ① PROVIDE NEW DIFFUSER. MODIFY EXISTING DUCT TO SUIT NEW DIFFUSER.
- ② PROVIDE NEW GRILLE. MODIFY EXISTING DUCT TO SUIT NEW GRILLE.
- ③ PROVIDE ELEC. CEILING HEATING PANEL. 375W, BY ELEC. DIV.

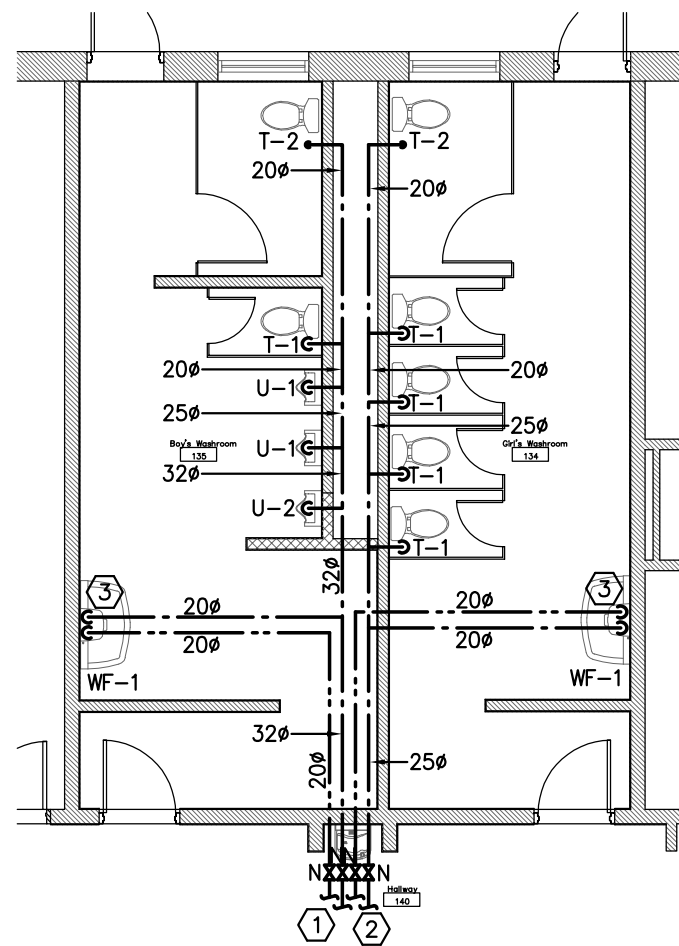


GENERAL NOTES:

1. ALL MECHANICAL SERVICE/EQUIPMENT SHOWN ON THIS DRAWING SHALL BE EXISTING UNLESS OTHERWISE NOTED.
2. ALL EXISTING MECHANICAL SERVICE/EQUIPMENT TO REMAIN UNLESS INDICATED OTHERWISE.
3. LAYOUT AND SIZE OF EXISTING PIPING SHOWN ON DRAWING ARE BASED ON BASE BUILDING DRAWING FOR REFERENCE ONLY. CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING MECHANICAL SYSTEM CONDITIONS AND LOCATIONS, INVERTS ON SITE.
4. RELOCATE ALL EXISTING ACCESS PANELS WHERE AFFECTED BY THE WORK.
5. ALL REMOVED FLUSH VALVES AND WASHFOUNTAINS SHALL BE RETURNED TO OWNER.
6. CONTRACTOR SHALL VERIFY ON SITE EXACT LOCATION AND INVERT TO ENSURE THAT SAN. LINE MEETS SLOPE AND INVERT PRIOR TO CONSTRUCTION. SCAN SLAB TO VERIFY EXISTING SAN. PIPE UNDERGROUND CUT, PATCH AND REPAIR FLOOR SLAB TO MATCH EXISTING CONDITION.

DRAWING NOTES:

- ① EXISTING SAN. LINE TO REMAIN.
- ② EXISTING TOILET AND ASSOCIATED FITTINGS, PIPE TO BE REMOVED.
- ③ EXISTING URINAL AND ASSOCIATED FITTINGS, PIPE TO BE REMOVED. EXISTING TANK IN CHASE FOR URINALS TO BE REMOVED.
- ④ EXISTING WASH FOUNTAIN AND ASSOCIATED FITTINGS, PIPE TO BE REMOVED.
- ⑤ EXISTING LAVATORY AND ASSOCIATED FITTINGS, PIPE TO BE REMOVED.
- ⑥ EXISTING DRINKING FOUNTAIN AND ASSOCIATED FITTINGS, PIPE TO BE REMOVED.
- ⑦ EXISTING FLOOR DRAIN AND ASSOCIATED FITTINGS TO BE REMOVED.



GENERAL NOTES:

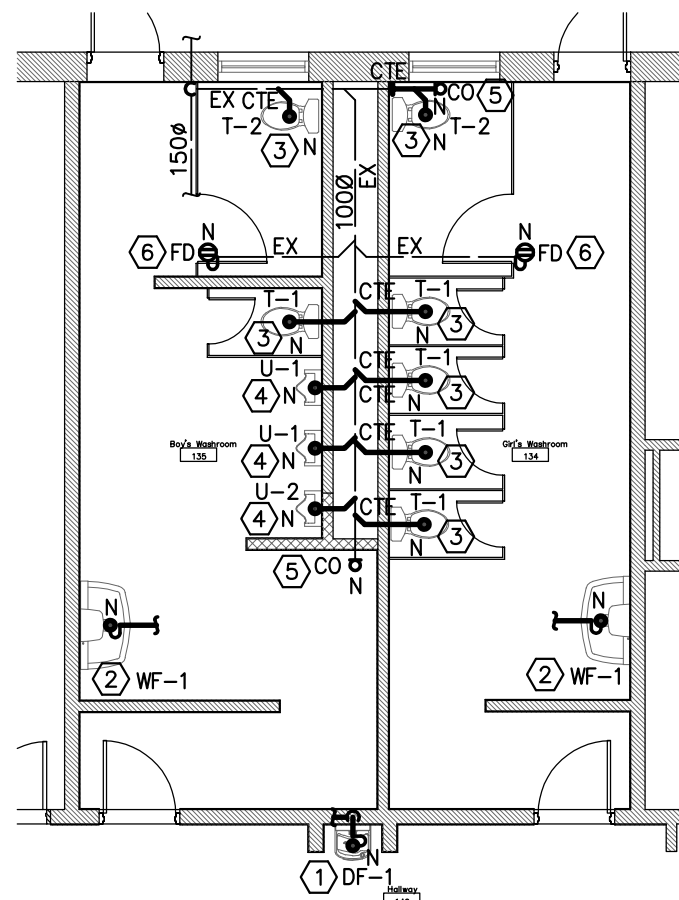
1. ALL MECHANICAL SERVICE/EQUIPMENT SHOWN ON THIS DRAWING SHALL BE NEW UNLESS OTHERWISE NOTED.
2. ALL DOMESTIC COLD WATER AND DOMESTIC HOT WATER PIPES SHALL BE MINIMUM 20# UNLESS INDICATED OTHERWISE.
3. PROVIDE ISOLATING BALL VALVES ON MAIN AND/OR BRANCH LINES AND FOR ALL EQUIPMENT SERVED WITH HOT AND COLD WATER LINES. ALL VALVES SHALL BE SUITABLE FOR THE OPERATING PRESSURE OF THE SYSTEM IN WHICH THEY ARE INSTALLED.
4. PROVIDE INSULATION FOR ALL COLD & HOT WATER PIPING C/W PVC JACKET.
5. PROVIDE COMPLETE SANITARY VENT CONNECTION TO EXISTING VENT PIPES COMPLY WITH OBC REQUIREMENT.
6. ALL SANITARY DRAINAGE BELOW GRADE SHALL BE MINIMUM 75# UNLESS INDICATED OTHERWISE.
7. ALL NEW FLOOR DRAINS SHALL BE COMPLETE WITH TRAPS AND TRAP PRIMERS. CONTRACTOR TO VERIFY EXISTING TRAP PRIMER WHEN FLOOR DRAIN IS REPLACED. PROVIDE NEW TRAP PRIMER WHEN REQUIRED.

DRAWING NOTES:

- ① CONNECT NEW 32# DOW & 20# DHW LINES C/W NEW BALL VALVES TO EXISTING LINES IN CORRIDOR CEILING, CONTRACTOR TO VERIFY EXACT LOCATION AND EXISTING PIPE SIZE.
- ② CONNECT NEW 25# DOW & 20# DHW LINES C/W NEW BALL VALVES TO EXISTING LINES IN CORRIDOR CEILING, CONTRACTOR TO VERIFY EXACT LOCATION AND EXISTING PIPE SIZE.
- ③ SUPPLY LINES TO WASHFOUNTAINS TO BE RUN IN TRENCHES IN THE CONCRETE BLOCK WALL. REFER TO ARCHITECTURAL FOR DETAIL.

3 EXISTING PLUMBING & DRAINAGE LAYOUT - MECHANICAL
M-11 SCALE: 1:100

4 PROPOSED PLUMBING LAYOUT - MECHANICAL
M-11 SCALE: 1:100
















GENERAL NOTES:














1. ALL MECHANICAL SERVICE/EQUIPMENT SHOWN ON THIS DRAWING SHALL BE NEW UNLESS OTHERWISE NOTED.
2. ALL DOMESTIC COLD WATER AND DOMESTIC HOT WATER PIPES SHALL BE MINIMUM 20# UNLESS INDICATED OTHERWISE.
3. PROVIDE ISOLATING BALL VALVES ON MAIN AND/OR BRANCH LINES AND FOR ALL EQUIPMENT SERVED WITH HOT AND COLD WATER LINES. ALL VALVES SHALL BE SUITABLE FOR THE OPERATING PRESSURE OF THE SYSTEM IN WHICH THEY ARE INSTALLED.
4. PROVIDE INSULATION FOR ALL COLD & HOT WATER PIPING C/W PVC JACKET.
5. PROVIDE COMPLETE SANITARY VENT CONNECTION TO EXISTING VENT PIPES COMPLY WITH OBC REQUIREMENT.
6. ALL SANITARY DRAINAGE BELOW GRADE SHALL BE MINIMUM 75# UNLESS INDICATED OTHERWISE.
7. ALL NEW FLOOR DRAINS SHALL BE COMPLETE WITH TRAPS AND TRAP PRIMERS. CONTRACTOR TO VERIFY EXISTING TRAP PRIMER WHEN FLOOR DRAIN IS REPLACED. PROVIDE NEW TRAP PRIMER WHEN REQUIRED.






DRAWING NOTES:







- ① PROVIDE NEW DRINKING FOUNTAIN "DF-1". MODIFY EXISTING DOW AND SAN. PIPES TO SUIT NEW DRINKING FOUNTAIN. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERT.
- ② PROVIDE NEW WASH FOUNTAIN "WF-1". MODIFY EXISTING SAN. PIPES TO SUIT NEW WASH FOUNTAIN. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERT. REFER TO ARCHITECTURAL AND STRUCTURAL FOR SLAB AND TRENCHING MODIFICATIONS.
- ③ PROVIDE NEW TOILET. PROVIDE NEW FITTINGS AND PIPE TO BE CONNECTED TO EXISTING 100# SAN. PIPE. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERT.
- ④ PROVIDE NEW URINAL "U-1". PROVIDE NEW FITTINGS AND PIPE TO BE CONNECTED TO EXISTING 100# SAN. PIPE. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERT.
- ⑤ PROVIDE NEW CLEAN OUT "CO". PROVIDE NEW FITTINGS AND PIPE TO BE CONNECTED TO EXISTING 100# SAN. PIPE.
- ⑥ PROVIDE NEW FLOOR DRAIN "FD". PROVIDE NEW FITTINGS TO BE CONNECTED TO EXISTING SAN. PIPE.




5 PROPOSED DRAINAGE LAYOUT - MECHANICAL
M-11 SCALE: 1:100

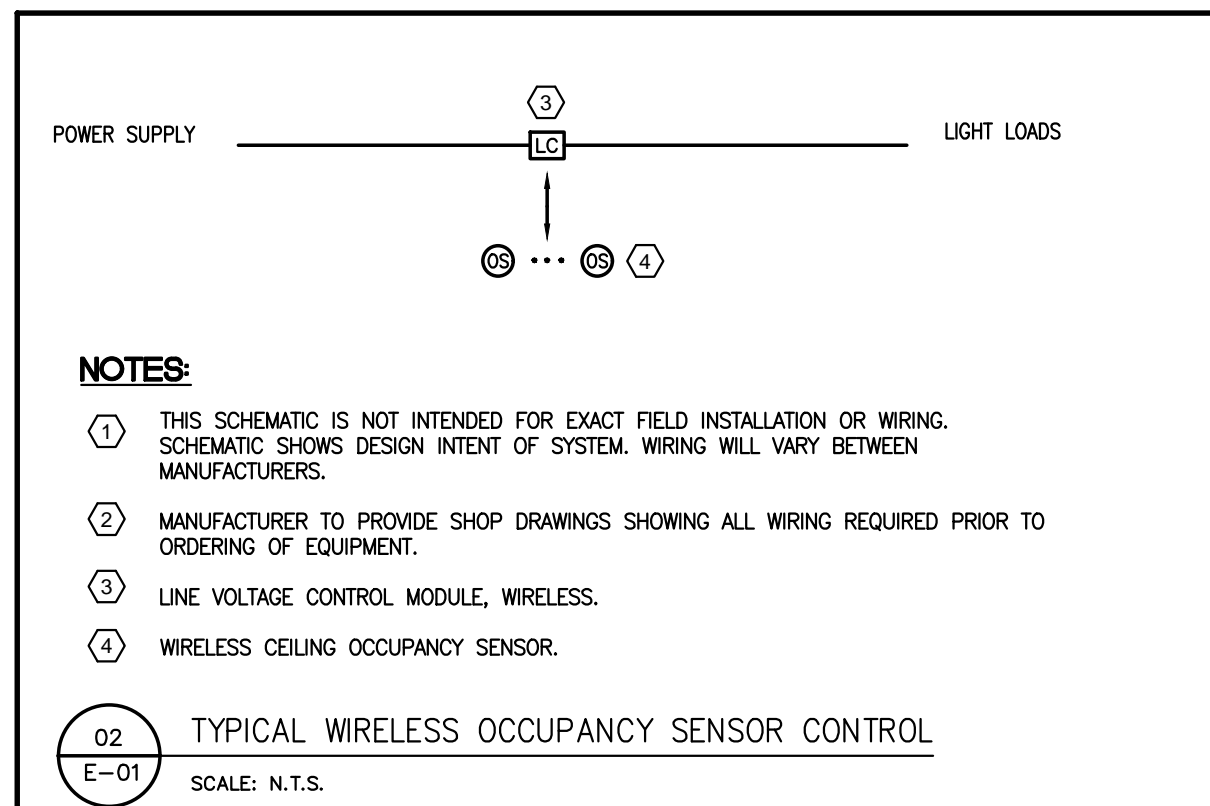
LIGHTING SYSTEM	
SYMBOL	DESCRIPTION
	FLUORESCENT OR LED LUMINAIRES, RECESSED IN CEILING, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	FLUORESCENT OR LED LUMINAIRES, SURFACE MOUNTED ON CEILING, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	FLUORESCENT OR LED LUMINAIRES, WALL MOUNTED, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	FLUORESCENT OR LED STRIP LUMINAIRES, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	120V SINGLE POLE TOGGLE SWITCHES, RESPECTIVELY WITH ONE, TWO, OR THREE GANG COVER PLATE, AMPERAGE RATING TO MATCH CIRCUIT BREAKER
	120V SINGLE POLE TOGGLE SWITCHES AS ABOVE, '3' DENOTES 3-WAY, '4' DENOTES 4-WAY, 'K' DENOTES KEY OPERATED
	CEILING MOUNTED OCCUPANCY SENSOR FOR LIGHTING CONTROL
	WALL MOUNTED OCCUPANCY SENSOR SWITCH FOR LIGHT
	EMERGENCY LIGHTING REMOTE HEADS, CEILING OR WALL MOUNTED, WITH DOUBLE OR SINGLE HEADS RESPECTIVELY
	EMERGENCY LIGHTING BATTERY UNIT
	EMERGENCY LIGHTING BATTERY UNIT C/W INTEGRAL HEADS
	EXIT SIGNS, SINGLE FACE OR DOUBLE FACES RESPECTIVELY, WITH DIRECTIONAL ARROWS AS SHOWN, CEILING MOUNTED
	EXIT SIGN, SINGLE FACE WITH DIRECTIONAL ARROWS AS SHOWN, WALL MOUNTED

POWER SYSTEM	
	DESCRIPTION
	WALL MOUNTED DUPLEX RECEPTACLE, U-GROUND, CSA 5-15R TYPE (15A, 120V) UNLESS OTHERWISE NOTED
	15A, 125V DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE (CSA 5-15R)
	RECEPTACLES AS ABOVE RESPECTIVELY, BUT MOUNTED AT 8" ABOVE COUNTER TOP, OR 42" AFF, OR AS NOTED
	20A, 125V DUPLEX RECEPTACLE (CSA 5-20R)
	20A, 125V DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE, MOUNTED 150mm ABOVE COUNTER (CSA 5-20R)
	DIRECT CONNECTION TO EQUIPMENT AS NOTED.
	DIRECT CONNECTION C/W DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH
	UNFUSED DISCONNECT SWITCH
	STARTER (SUPPLIED BY DIV. 15 & WIRED BY DIV. 16)
	SURFACE MOUNTED PANEL.
	HAND DRYER, SUPPLIED BY OTHERS AND INSTALLED BY ELECTRICAL CONTRACTOR, 1,000W, 120V 1ø; MOUNTING HEIGHT: 1,100mm AFF.
	CLOCK

FIRE ALARM SYSTEM	
SYMBOL	DESCRIPTION
	FIRE ALARM SMOKE DETECTOR, CEILING OR WALL MOUNTED
	FIRE ALARM HEAT DETECTOR, COMBINATION OF FIXED TEMPERATURE 57°C (135°F) AND RATE-OF-RISE 8°C/MIN TYPE, CEILING OR WALL MOUNTED
	FIRE ALARM HORN C/W STROBE LIGHT
	FIRE ALARM STROBE
	DOOR HOLDER

COMMUNICATION SYSTEM	
SYMBOL	DESCRIPTION
	PUSH BUTTON
	CEILING OR WALL RECESSED MOUNTED SINGLE GANG BOX FOR P.A. SPEAKER. "S" DENOTES SURFACE BOX FOR PENDENT SPEAKER.
	DATA OUTLET, WALL MOUNTED AT A STANDARD HEIGHT UNLESS NOTED OTHERWISE
	TELEPHONE OUTLET, WALL MOUNTED AT A STANDARD HEIGHT UNLESS NOTED OTHERWISE
	COMBINATION OF VOICE/DATA OUTLET, WALL MOUNTED AT A STANDARD HEIGHT UNLESS NOTED OTHERWISE
	AS ABOVE BUT MOUNTED AT A HEIGHT OF 400mm (16") AFF OR AS NOTED ON DRAWING

ABBREVIATIONS	
ABBREV.	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
GFI	GROUND FAULT INTERRUPTER
TR	DENOTES TAMPER-RESISTANT TYPE RECEPTACLE
NIC	NOT IN CONTRACT
WP	WEATHER PROOF
WG	(DEVICE C/W) WIRE GUARD
F/A	FIRE ALARM
HD	HAND DRYER
W	WALL MOUNTED
x 2	DENOTES PROVIDE TWO OF THE SAME DEVICE
LP1-1	AS APPLIED TO CIRCUITING, DENOTES "PANEL LP-1", CIRCUIT # 1"
LP	LIGHTING PANEL
PP	POWER PANEL
EX	DENOTES EXISTING DEVICE(S) TO REMAIN
R	DENOTES EXISTING DEVICE(S) TO BE RELOCATED
D	DENOTES EXISTING DEVICE(S) TO BE REMOVED
RN	DENOTES EXISTING DEVICE(S) TO BE REMOVED AND REPLACED WITH NEW
RR	DENOTES EXISTING DEVICE(S) TO BE REMOVED AND RE-INSTALLED IN SAME LOCATION
RE	DENOTES EXISTING DEVICE(S) IN RELOCATED POSITION
N	DENOTES PROVIDE NEW DEVICE(S)
	(NOTE: PROVIDE NEW DEVICE(S) IF NONE OF THE ABOVE ABBREVIATIONS ARE SHOWN WITH SYMBOL ON DWGS)
	DENOTES DRAWING REFERENCE NOTES # 2
	DENOTES REFER TO DETAIL #1 ON DRAWING #E-02.

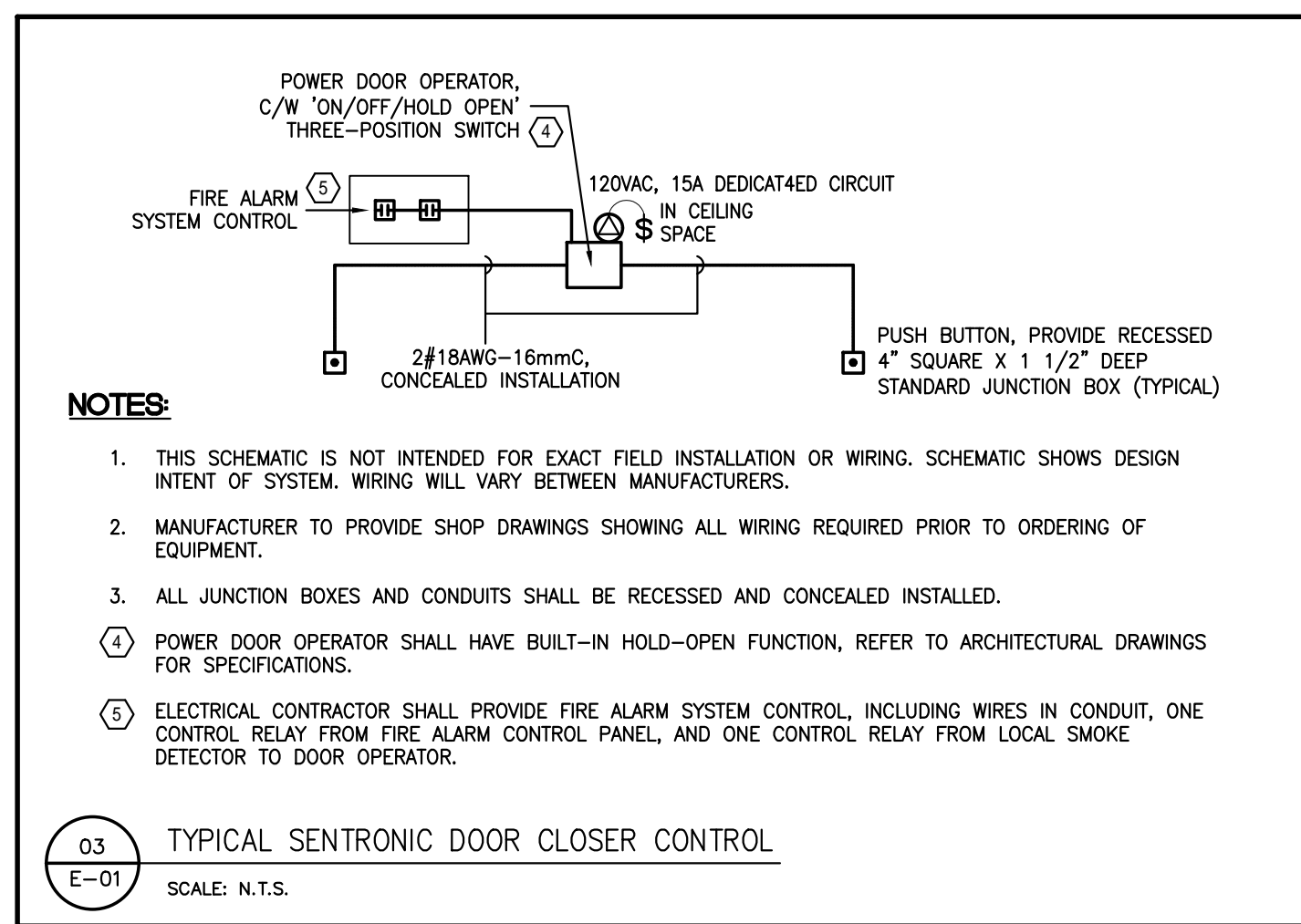
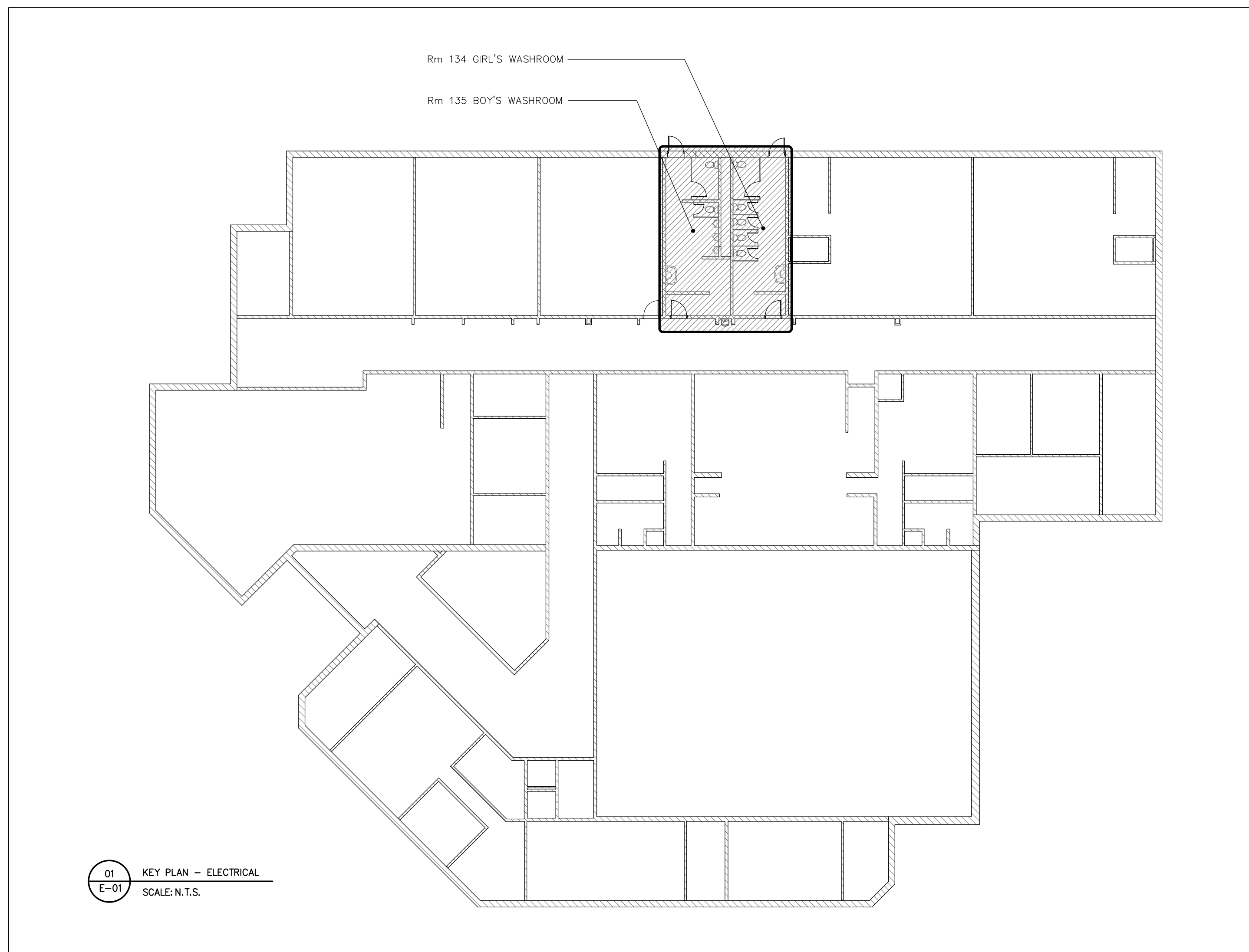


LIGHTING CONTROL RELAY/MODULE

1. CONTRACTOR SHALL MARK ON AS-BUILT DRAWINGS OF ALL LIGHTING CONTROL RELAYS/MODULES LOCATION, IN T-BAR OR DRY WALL CEILING SPACES, UNDER OPENING CEILINGS, AND/OR ON WALLS.

LUMINAIRE SCHEDULE				
TYPE	DESCRIPTION	LAMP	BALLAST	REMARKS
L1	1' x 4' CEILING SURFACE MOUNTED LED PANEL, ALUMINUM FRAME AND PMMA LENS, C/W DRYWALL SURFACE MOUNTING KIT, WHITE FINISH. APPLICATION: WASHROOM	28W, LED LAMP, 4000K 3500 LM	120V ELECTRONIC LED 0-10V DIMMING DRIVER	RAB DESIGN #CPL14-LED30 SERIES OR APPROVED EQUAL

DRAWING LIST	
DWG. NO.	DRAWING TITLE
E-01	LEGEND, LUMINAIRE SCHEDULE AND DETAILS - ELECTRICAL
E-02	ELECTRICAL LAYOUTS



**Lady Mackenzie
Public School
Washroom
Renovations
Phase 2
RFT B25-03**

1746 Kirkfield Rd,
Kirkfield, ON,
K0M 2B0

**TENDER and
BUILDING PERMIT**

FEBRUARY 2025

Seal



DATE: MAR. 2025
PROJECT NO: 25004C
SCALE: N.T.S.
DRAWN: MC
CHECKED: FRL

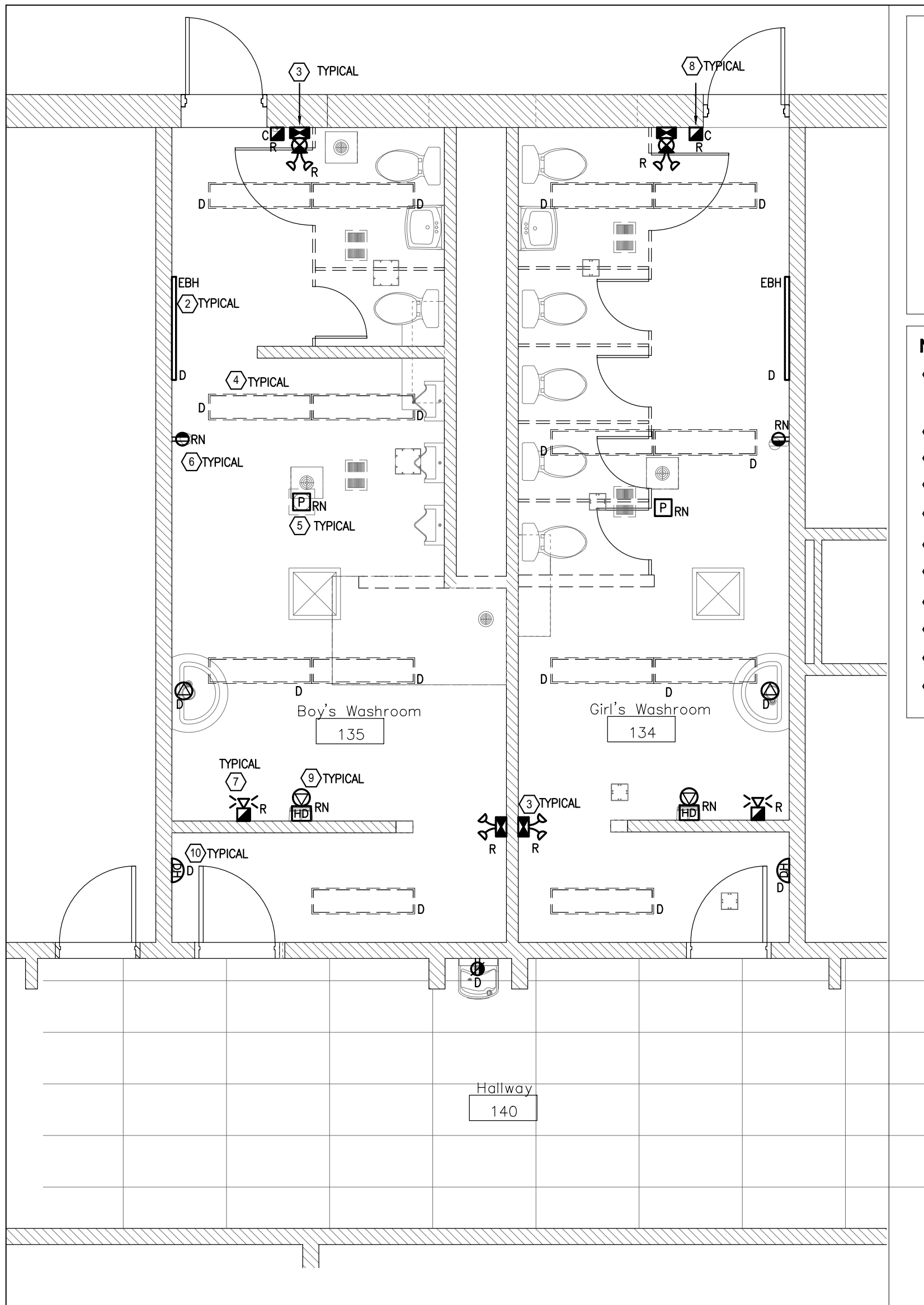
Revisions
1. ISSUED FOR REVIEW 2025-03-07
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**ELECTRICAL
LAYOUTS**

Title

Sheet

E-02



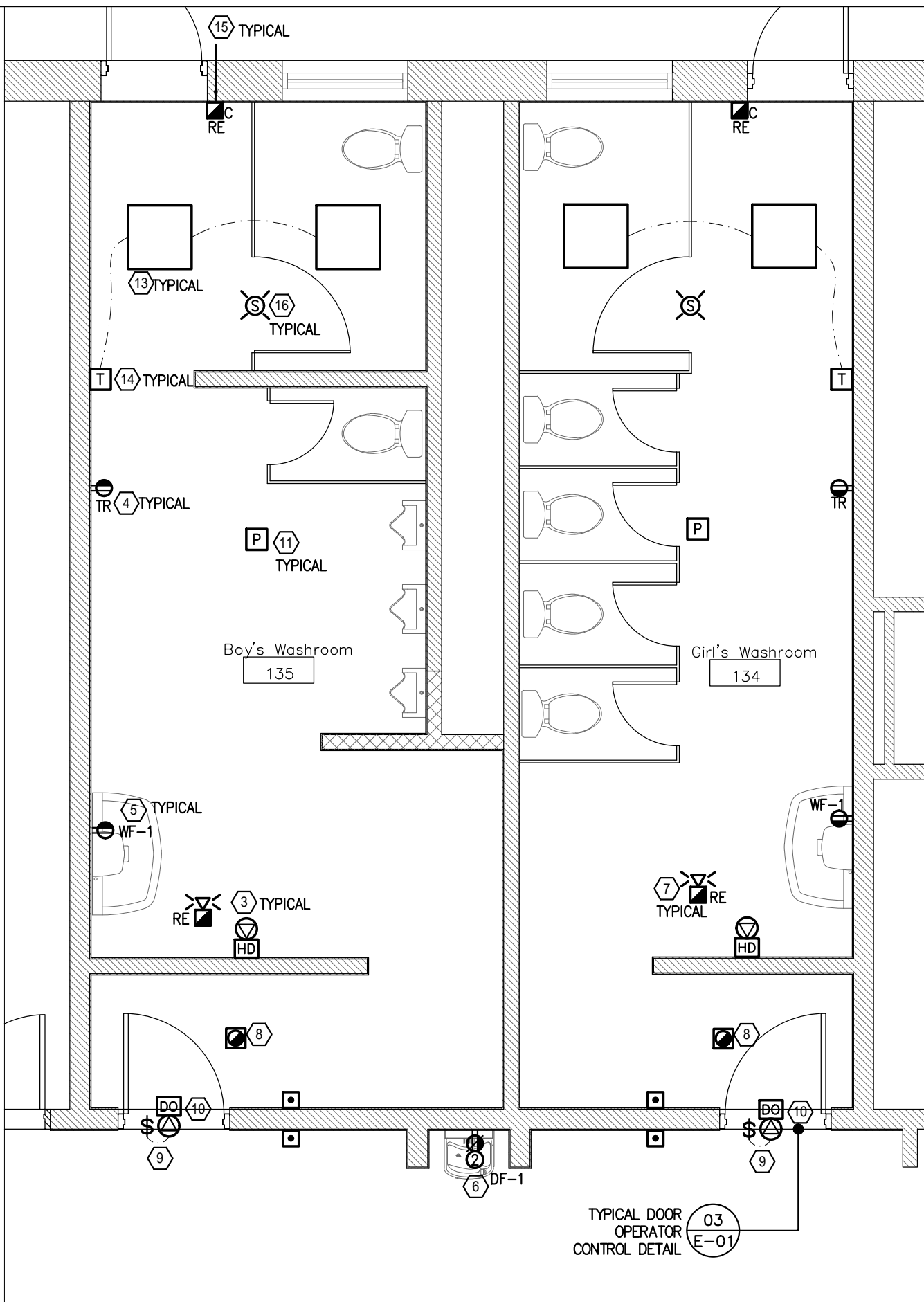
01
E-01 EXISTING ELECTRICAL LAYOUT
SCALE: 1:50

GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, ALL ELECTRICAL DEVICES/EQUIPMENT SHOWN ARE EXISTING TO BE REMAIN.
2. REGARDLESS SHOWN OR NOT, REMOVE (OR RELOCATE AS REQUIRED) ALL EXISTING ELECTRICAL DEVICES/EQUIPMENT C/W WIRES/CONDUITS AND BOXES AFFECTED BY DEMOLITION OF EXISTING PARTITIONS & MILLWORK.
3. REMOVAL SCOPE SHALL INCLUDE REMOVAL OF ALL UNUSED CIRCUITS BACK TO POWER PANEL, INCLUDING WIRES, CONDUITS AND JUNCTION BOXES. MODIFY PANEL DIRECTORY.
4. PROVIDE COVER PLATES FOR ALL HOLES TO BE LEFT EXPOSED AFTER THE REMOVAL/RELOCATION OF DEVICES.(CLOCK, LIGHT SWITCH, PA, OUTLET BOXES, ETC.)

NOTES:

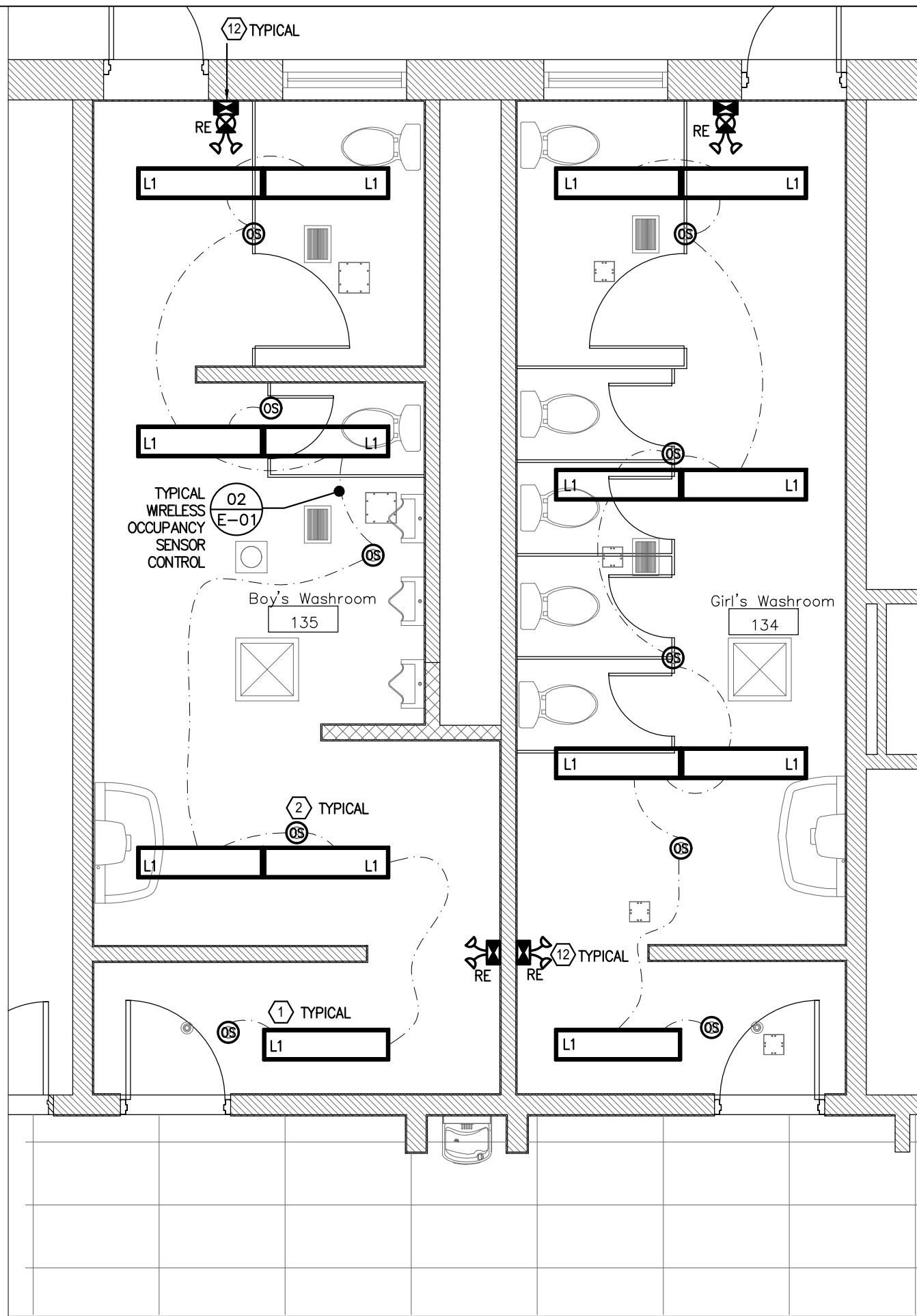
- ① UNLESS OTHERWISE NOTED, REMOVE ALL EXISTING SURFACE MOUNTED POWER/DATA OUTLET BOXES AND ALL EXISTING SURFACE EMT, BX CONDUITS TO THESE OUTLET BOXES.
- ② EXISTING ELECTRIC BASEBOARD HEATERS TO BE REMOVED.
- ③ EXISTING EMERGENCY LIGHTS TO BE RELOCATED.
- ④ ALL EXISTING LIGHTS TO BE REMOVED.
- ⑤ EXISTING PA SPEAKER TO BE REPLACED WITH NEW.
- ⑥ EXISTING RECEPTACLES TO BE REPLACED WITH NEW.
- ⑦ EXISTING FIRE ALARM HORN/STROBES TO BE RELOCATED.
- ⑧ EXISTING FIRE ALARM PULL STATIONS TO BE RELOCATED.
- ⑨ EXISTING HAND DRYER TO BE REPLACES WITH NEW.
- ⑩ EXISTING DOOR HOLDER TO BE REMOVED.
- ⑪ EXISTING SURFACE EMT TO BE RAISED UP TO UNDER CEILING SLAB.



02
E-02 PROPOSED POWER & SYSTEM LAYOUT
SCALE: 1:50

GENERAL NOTES:

1. UNLESS OTHERWISE NOTED, ALL ELECTRICAL DEVICES/EQUIPMENT SHOWN ARE NEW.
2. UNLESS OTHERWISE NOTED, ALL NEW WIRES/CONDUITS, OUTLET BOXES SHALL BE INSTALLED CONCEALED IN CEILING SPACE OR PARTITIONS, SURFACE INSTALLATION IS NOT ACCEPTABLE.
3. CONFIRM ALL EXACT MECHANICAL EQUIPMENTS LOCATION ON MECHANICAL DRAWINGS PRIOR TO ROUGH-IN.
4. ALL NEW SWITCHES, RECEPTACLES AND OUTLETS LOCATION AND MOUNTING HEIGHT SHALL BE COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH-IN.



03
E-03 PROPOSED LIGHTING & FIRE ALAEM SYSTEM LAYOUT
SCALE: 1:50

NOTES:

- ① PROVIDE NEW LIGHTS 'L1', ALL NEW LIGHTS SHALL BE CONNECT TO EXISTING LIGHTING CIRCUITS IN THIS AREA AND CONTROLLED BY LOCAL SWITCH OR OCCUPANCY SENSOR SWITCH IN THAT ROOM/SPACE.
- ② PROVIDE NEW OCCUPANCY SENSOR SWITCHES. ALL NORMAL LIGHTS IN WASHROOM SHALL BE CONTROLLED BY OCCUPANCY SENSORS IN THAT ROOM.
- ③ PROVIDE POWER CONNECTION FOR NEW HAND DRYER, NEW HAND DRYER SHALL BE FED FROM EXISTING HAND DRYER CIRCUIT IN SAME LOCATION; REPLACE EXISTING HAND DRYER BREAKERS TO NEW 15A/1P GFI BREAKERS IN EXISTING PANEL (TOTAL TWO(2)) FOR NEW HAND DRYERS; CONFIRM SPECIFICATION, EXACT LOCATION AND MOUNTING HEIGHT WITH ARCHITECTURE DRAWINGS ON SITE PRIOR TO ROUGH-IN.
- ④ PROVIDE NEW TAMPER-RESISTANT CONVENIENCE GFI RECEPTACLES. CONNECT TO EXISTING CONVENIENCE RECEPTACLES CIRCUIT IN SAME LOCATION.
- ⑤ PROVIDE NEW GFI RECEPTACLES FOR WASH FOUNTAIN SENSORS (TOTAL TWO(2)), FED FROM EXISTING WASH FOUNTAIN CIRCUITS. CONFIRM EXACT LOCATION AND MOUNTING HEIGHT ON SITE. CONTRACTOR TO MAKE SURE THE RECEPTACLE TO BE CONCEALED BEHIND WASH FOUNTAIN 'WF-1'.
- ⑥ PROVIDE ONE(1) NEW 20A GFI RECEPTACLE FOR DRINKING FOUNTAIN 'DF-1', CONFIRM EXACT LOCATION AND MOUNTING HEIGHT ON SITE. CONTRACTOR TO MAKE SURE THE RECEPTACLE TO BE CONCEALED BEHIND 'DF-1'. PROVIDE ONE(1) NEW 20A/1P BREAKER TO MATCH EXISTING IN EXISTING 120V PANEL NEARBY, PROVIDE DEDICATED FEEDER: 2#12+GRD-21mmC FROM BREAKER TO NEW GFI RECEPTACLE.
- ⑦ RELOCATE EXISTING FIRE ALARM HORN/STROBE TO NEW LOCATION, EXTEND WIRES/CABLES IN CONDUITS TO FIRE ALARM HORN/STROBE CIRCUITS IN THIS AREA.
- ⑧ PROVIDE NEW FIRE ALARM SMOKE DETECTORS C/W EXTRA RELAY CONNECTED TO WASHROOM SENTRONIC DOOR CLOSERS CONTROL CIRCUIT. CONNECT SMOKE DETECTORS TO EXISTING FIRE ALARM INITIATING CIRCUIT IN THIS AREA.
- ⑨ PROVIDE POWER SUPPLIES C/W SWITCH FOR NEW WASHROOM DOOR OPERATORS, CONFIRM EXACT POWER CONNECTION LOCATIONS ON SITE. ADD ONE(1) NEW 15A/1P BREAKER TO MATCH EXISTING IN EXISTING 120V PANEL NEARBY, PROVIDE FEEDER: 2#12+GRD-21mmC FROM NEW BREAKER TO NEW DOOR OPERATORS.
- ⑩ PROVIDE FIRE ALARM DOOR RELEASE FROM EXISTING FIRE ALARM CONTROL PANEL TO NEW WASHROOM DOOR OPERATORS; MODIFY EXISTING FIRE ALARM CONTROL PANEL TO ADD DOOR RELEASE CIRCUIT/MODULE. WASHROOM DOORS SHALL BE AUTOMATICALLY CLOSED UPON ACTIVATION OF FIRE ALARM SIGNAL FROM FIRE ALARM CONTROL PANEL OR LOCAL SMOKE DETECTOR.
- ⑪ PROVIDE NEW CEILING RECESSED MOUNTED PA SPEAKERS, CONNECT TO NEAREST EXISTING PA SPEAKER CIRCUIT IN THIS AREA.
- ⑫ RELOCATE EXISTING EMERGENCY LIGHTS TO NEW LOCATION, EXTEND WIRES/CABLES IN CONDUITS TO EMERGENCY LIGHTS CIRCUITS IN THIS AREA .
- ⑬ PROVIDE NEW ELECTRIC RADIANT CEILING PANELS C/W CEILING SURFACE MOUNTING KIT, 2'X2', 375W, 120V, QMARK MODEL CP371, WHITE FINISH. CONNECT TO EXISTING BASEBOARD HEATER CIRCUITS IN SAME AREA.
- ⑭ PROVIDE LINE VOLTAGE THERMOSTAT FOR ELECTRIC RADIANT CEILING PANELS, MOUNTED AT 6' AFF.
- ⑮ RELOCATE EXISTING FIRE ALARM PULL STATION TO NEW LOCATION, EXTEND WIRES/CABLES IN CONDUITS TO FIRE ALARM PULL STATION CIRCUITS IN THIS AREA.
- ⑯ PROVIDE NEW FIRE ALARM CEILING STROBE, CONNECT TO EXISTING FIRE ALARM STROBE CIRCUITS IN THIS AREA.