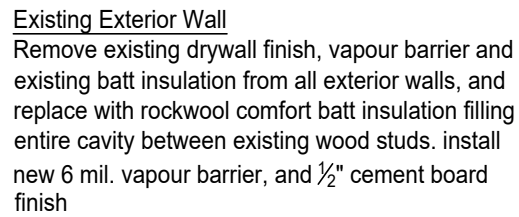



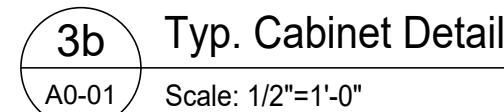
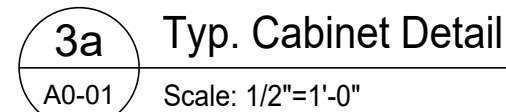
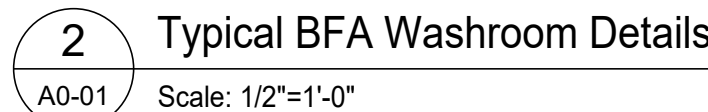
Exterior Wall Types



W13		<p><u>HVAC Unit Wall</u></p> <p>3$\frac{3}{8}$" metal studs at 16", with 3$\frac{3}{8}$" gyp board between studs, with 2 layers of $\frac{1}{2}$" x rated drywall on both sides</p> <p>FR=1.5 hr (Wall Type S6d) STC=54.</p>
-----	---------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ONTARIO BUILDING CODE CLASSIFICATION - PART 11
(Base Building Information is as represented in the original permit/ construction documents 2001/02)

Legend	
EC	Emergency Call
GB1	Grab bar 1
GB2	Grab bar 2
TD	Toilet Paper Dispenser



NOTES

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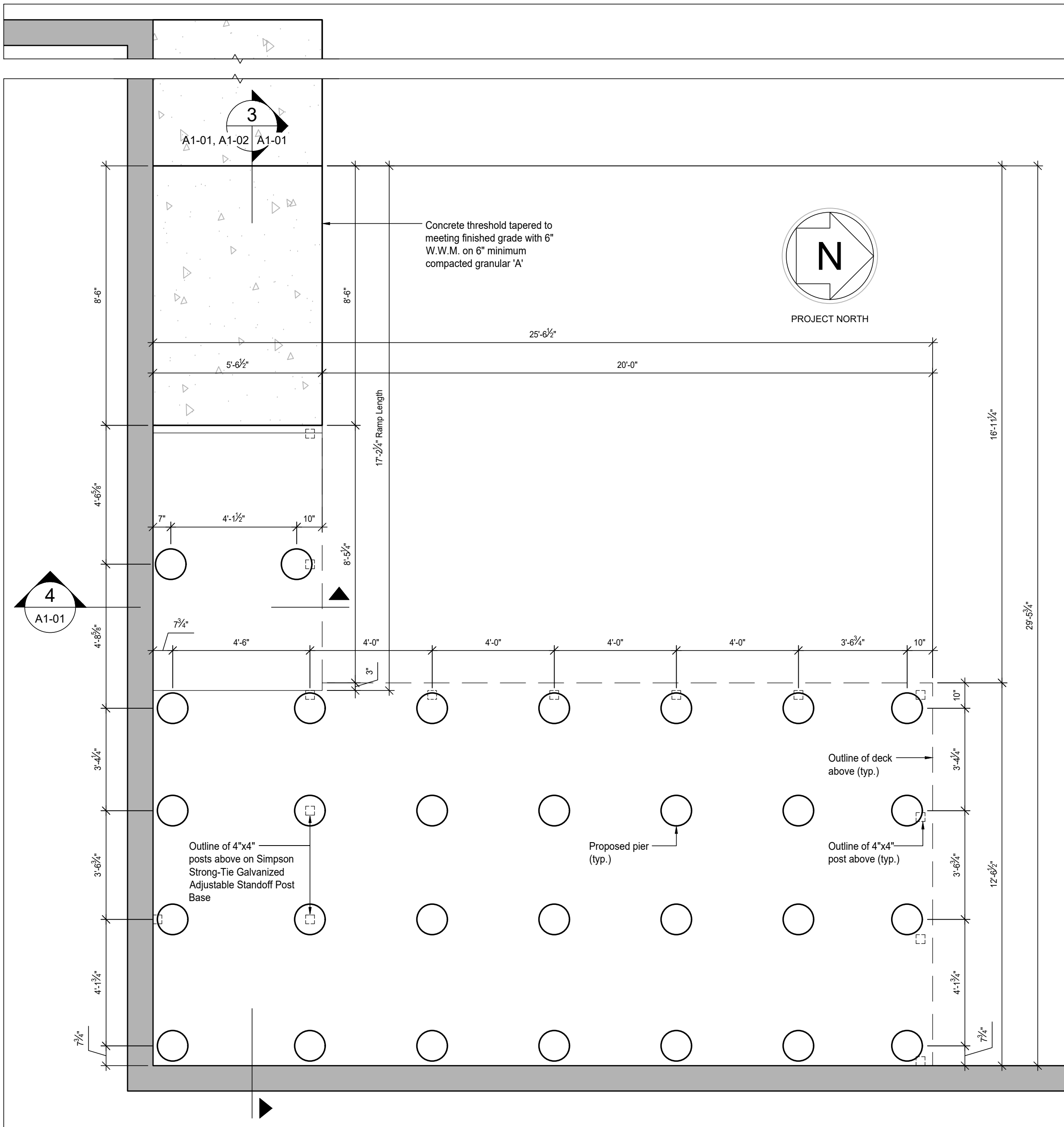
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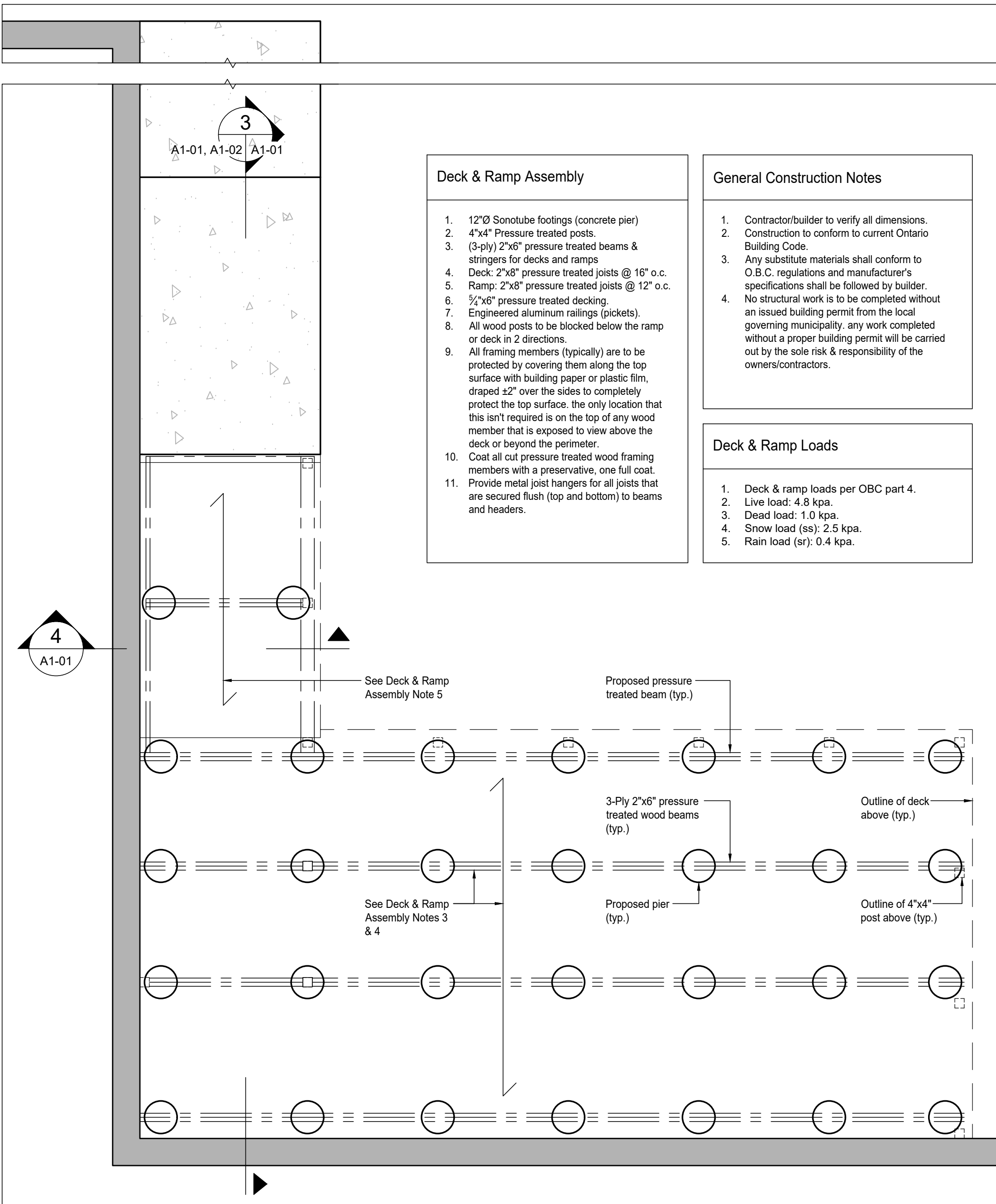
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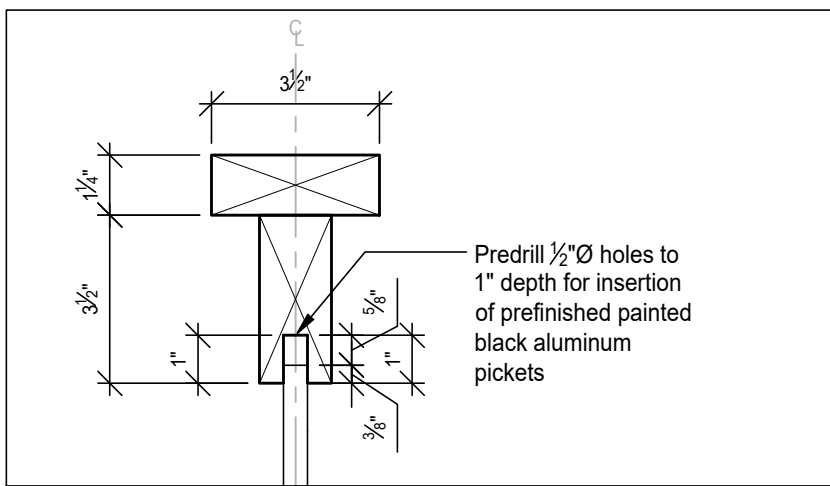
1 Deck Foundation Pier Plan
A1-01 Scale: 3/8"=1'-0"



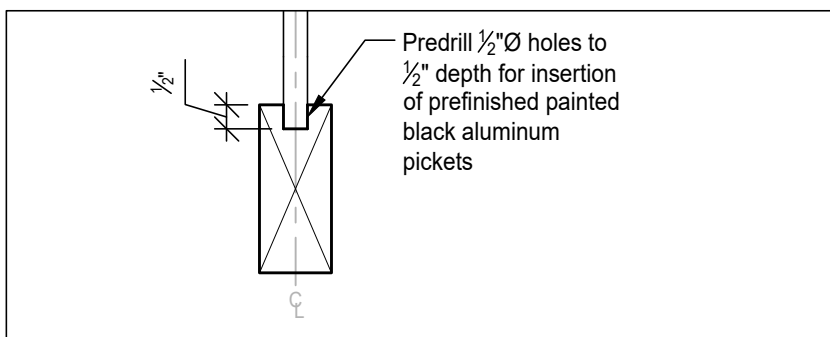
2 Deck Foundation Framing Plan
A1-01 Scale: 3/8"=1'-0"

Handrail Notes

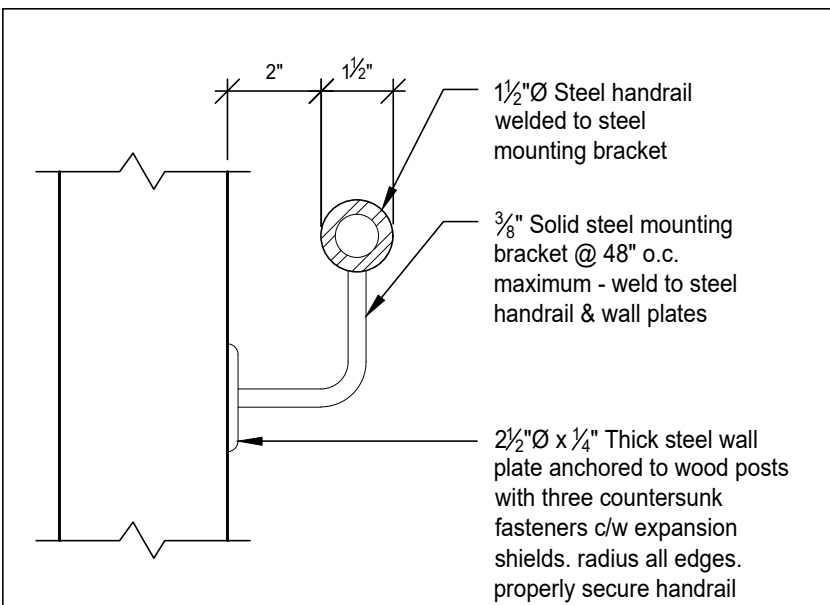
- All handrails as per obs 3.4.6.5.
- Handrails shall be continuously graspable along their entire length.
- The height handrails on ramps shall be not less than 34" (865mm) and not more than 38" (965mm).
- Handrails shall be terminated in a manner that will not obstruct pedestrian travel or create a hazard.
- The clearance between a handrail and any surface behind it shall be not less than 2" (50mm).



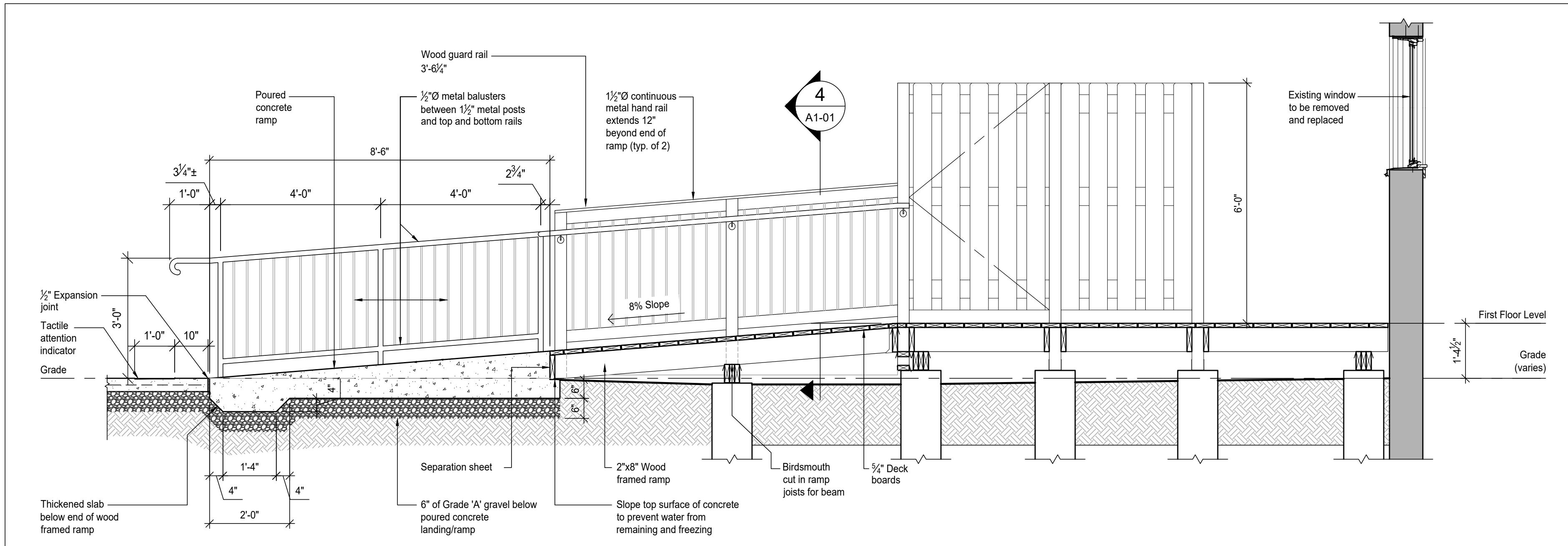
5 Ramp Guardrail Top Section Detail
A1-01 Scale: 3"=1'-0"



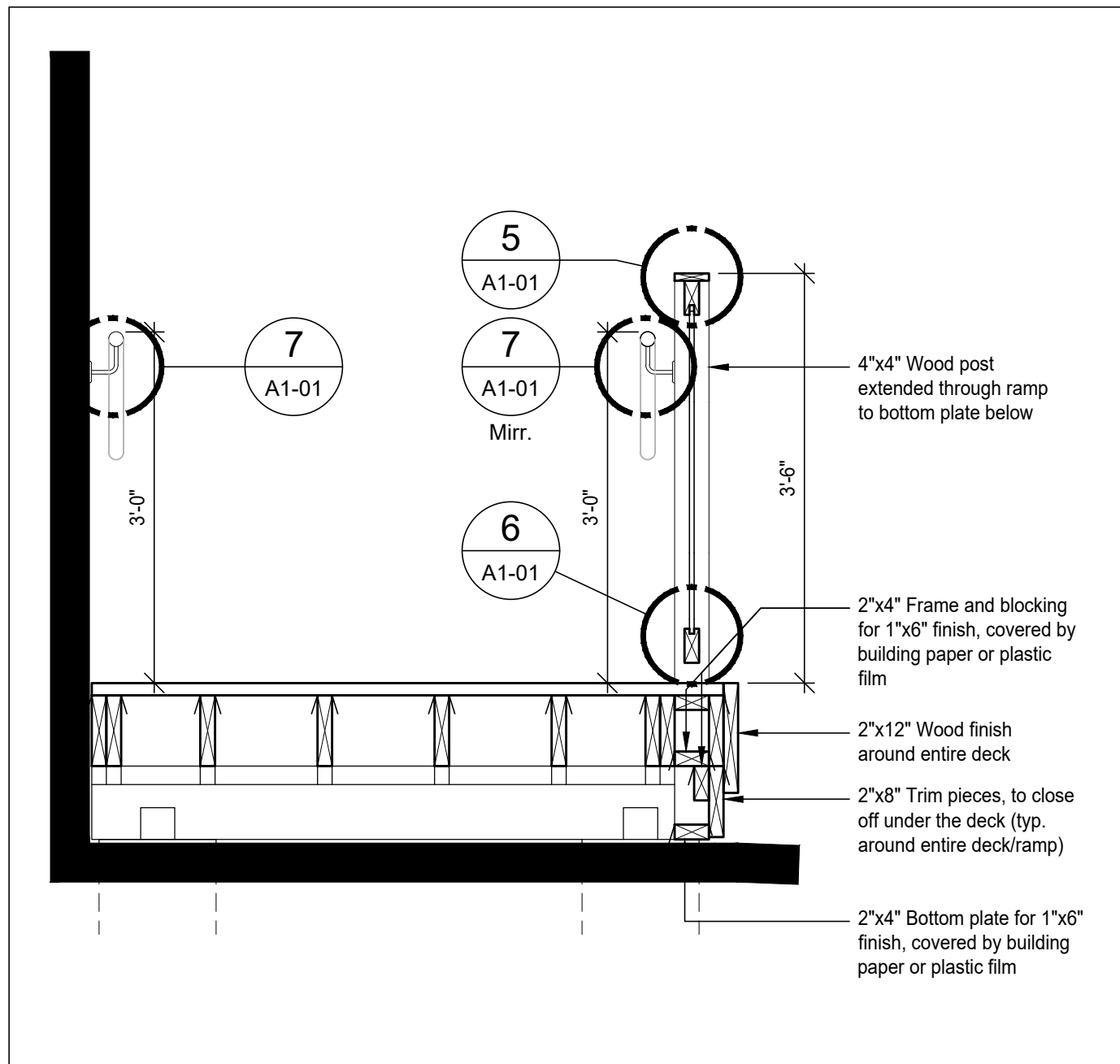
6 Ramp Guardrail Bottom Section Detail
A1-01 Scale: 3"=1'-0"



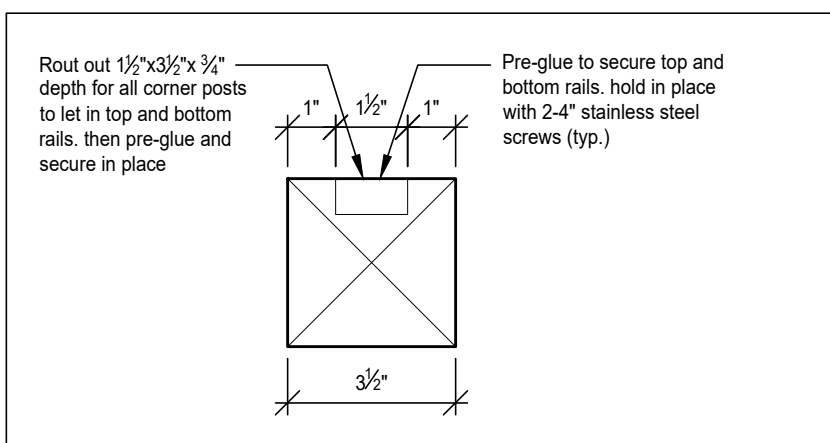
7 Typical Handrail Section Detail
A1-01 Scale: 3"=1'-0"



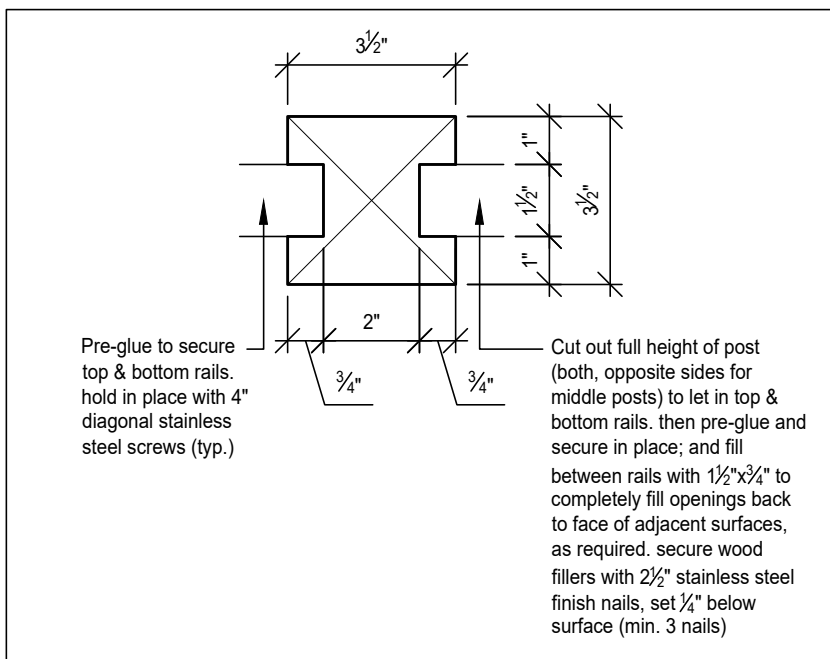
3 Deck & Ramp Section Detail
A1-01, A1-02, A1-01 Scale: 1/2"=1'-0"



4 Ramp Section Detail
A1-01 Scale: 3/4"=1'-0"



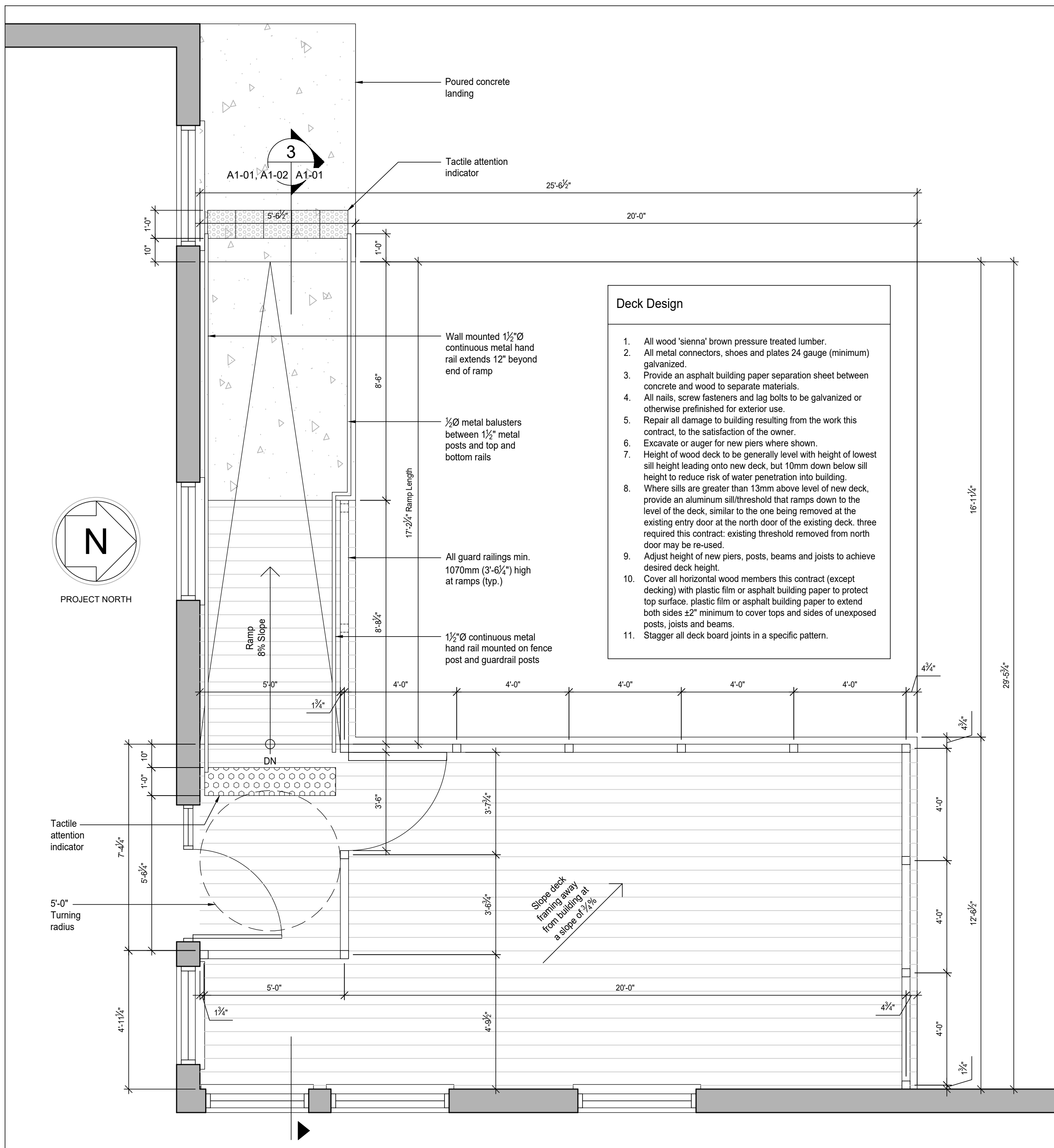
8 Ramp Guardrail Top Section Detail
A1-01 Scale: 3"=1'-0"



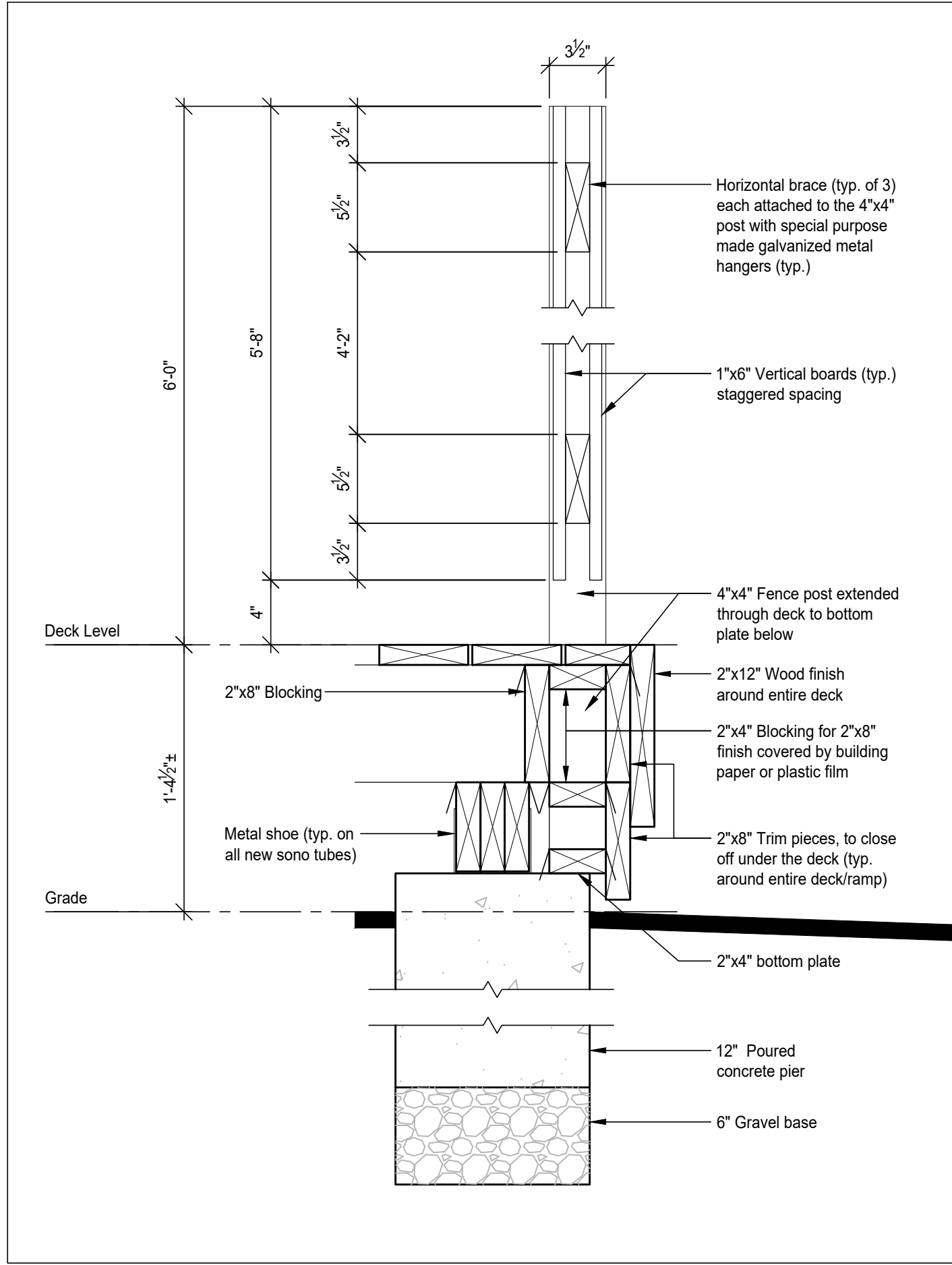
9 Ramp Guardrail Top Section Detail
A1-01 Scale: 3"=1'-0"

1.0	2025.03.26	Issued for tender
mark	date	description
PROJECT		
John Howard Society		
22 Peel Street		
Lindsay, ON; K9V 3L8		
PROJECT NO: 2024-10		
DRAWN BY: J.R.		
CHKD BY: R.A.		
SHEET TITLE		
Proposed Ramp & Deck Foundation Framing Plans & Details		
DRAWING NO.		

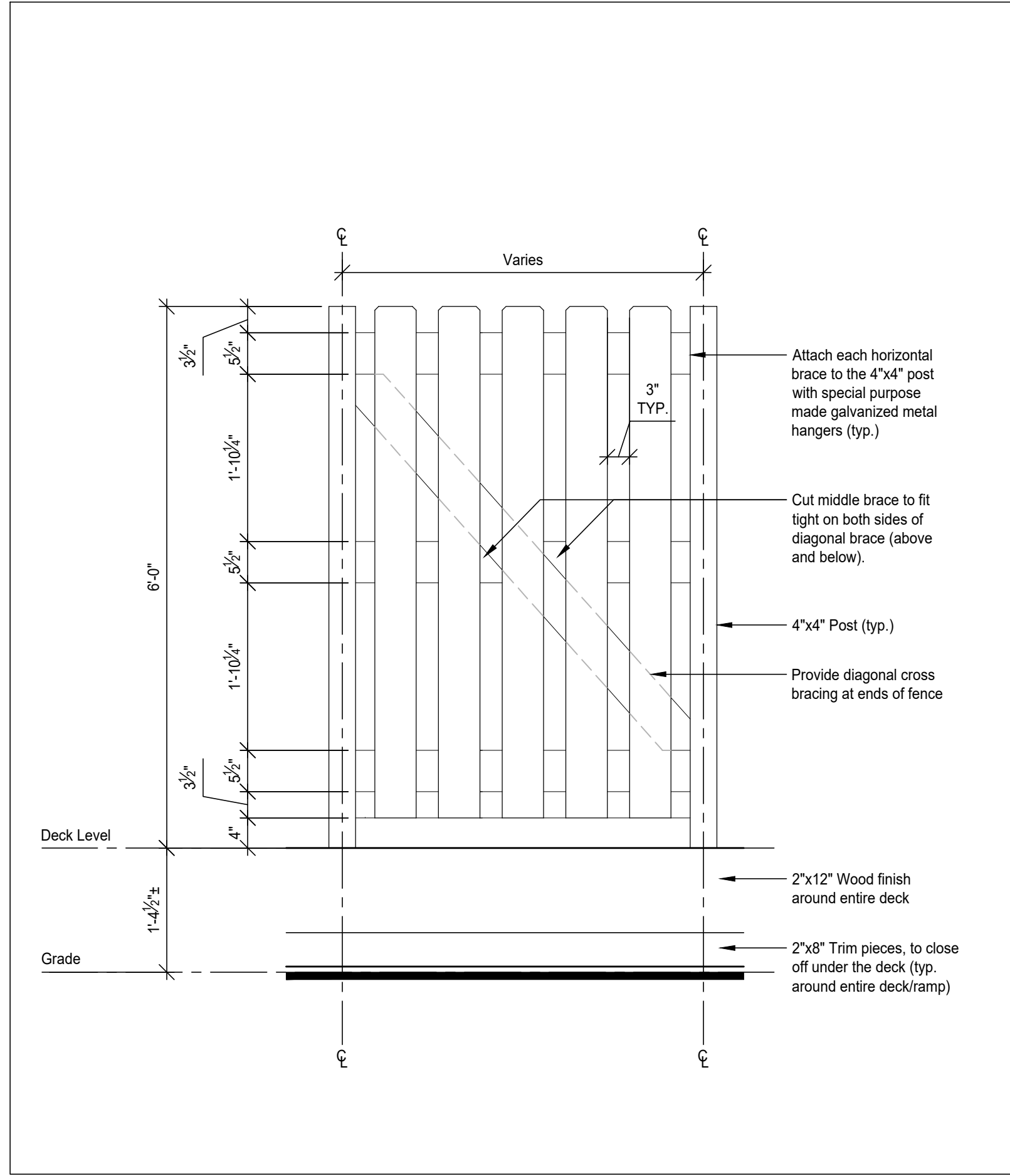
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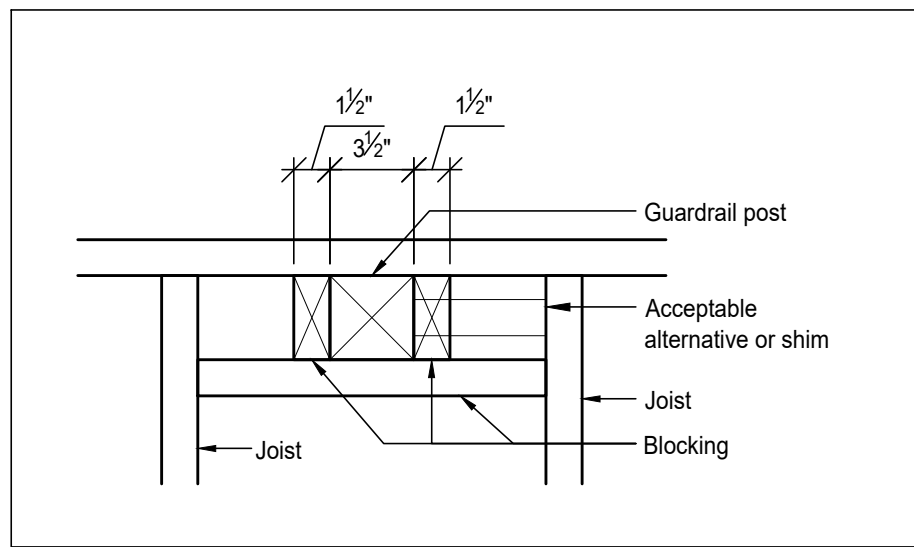
1 Proposed Deck Foundation Pier Plan
A1-02 Scale: 3/8"=1'-0"



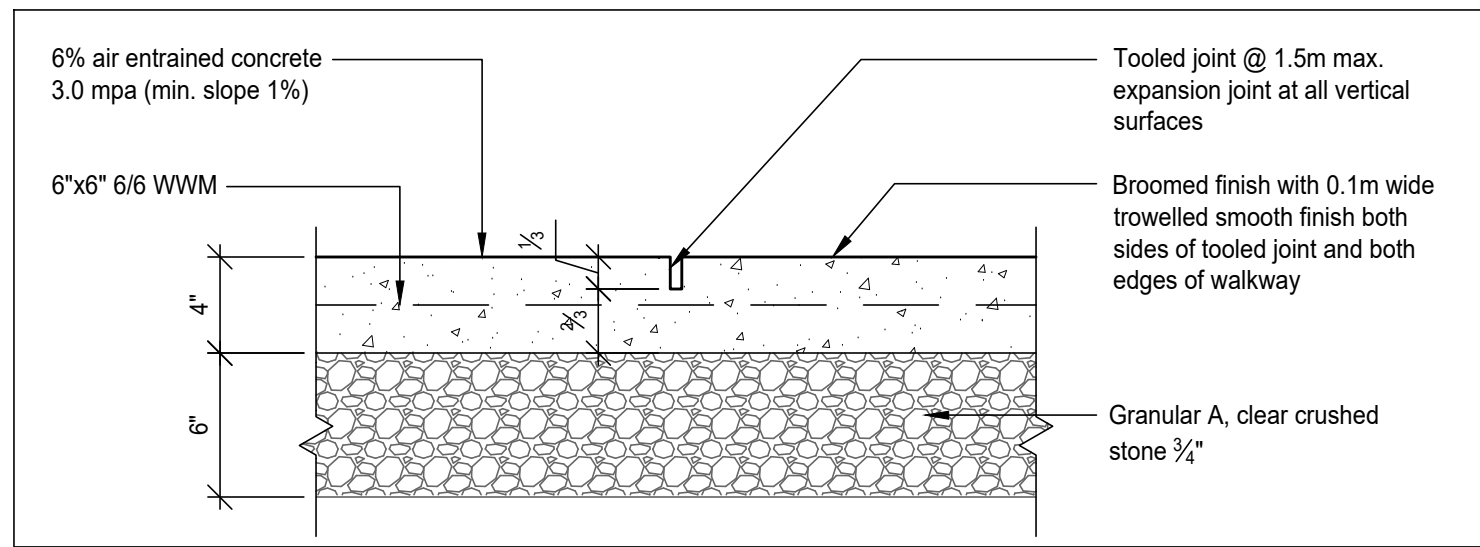
2 Deck Fence Post Section Detail
A1-02 Scale: 1-1/2"=1'-0"



3 Deck Fence Post Elevation Detail
A1-02 Scale: 3/4"=1'-0"



4 Deck Guardrail Post Framing Plan Section Detail
A1-02 Scale: 1-1/2"=1'-0"



5 Poured Concrete Walkway/Landing Section Detail
A1-02 Scale: 1-1/2"=1'-0"

1.0	2025.03.26	Issued for tender
mark	date	description

PROJECT

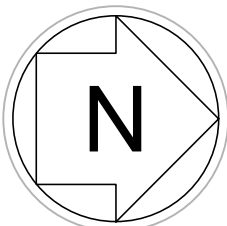
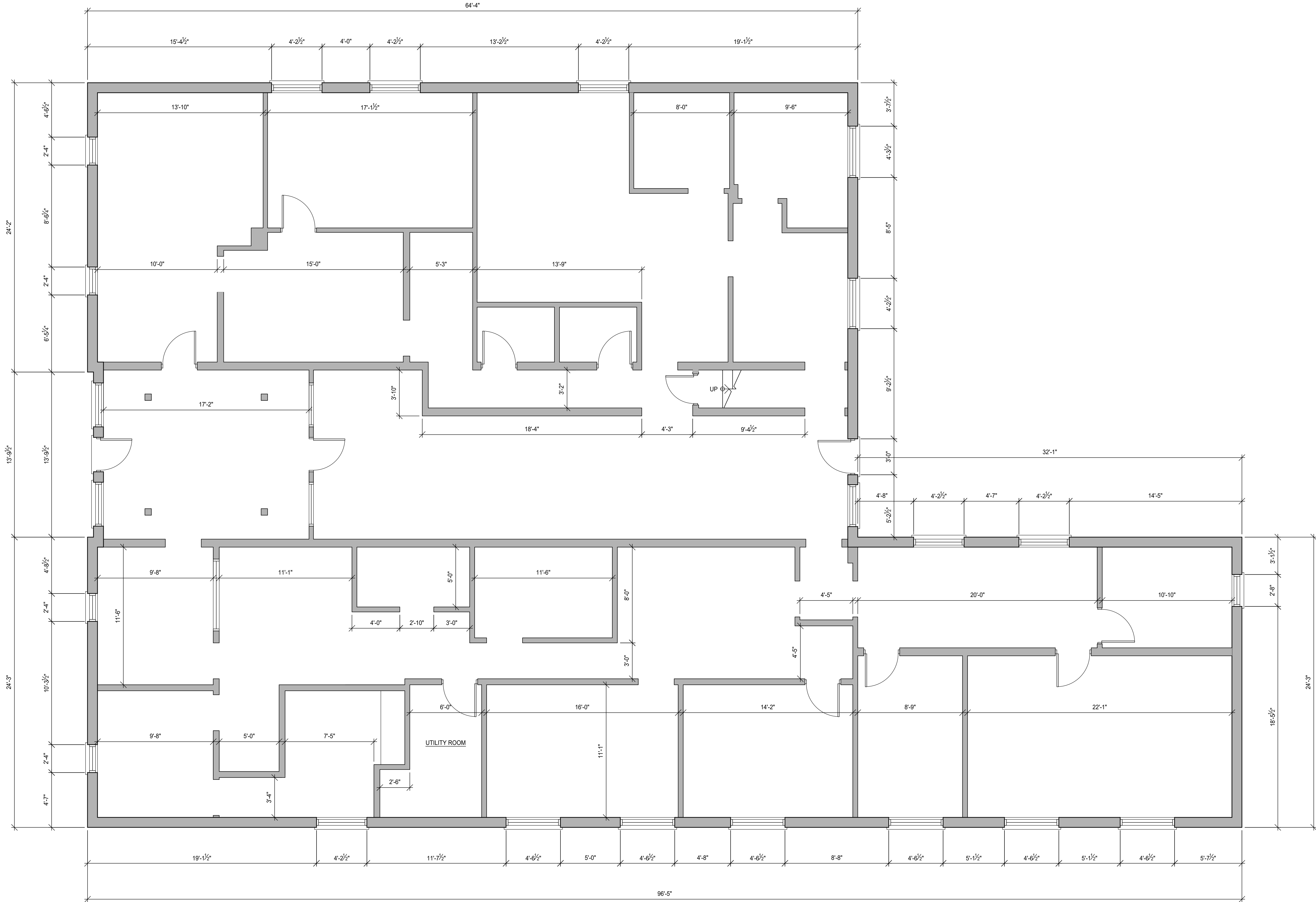
John Howard Society
22 Peel Street
Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10
DRAWN BY: J.R.
CHKD BY: R.A.
SHEET TITLE
**Proposed Ramp
Floor Plan & Details**

DRAWING NO. **A1-02**

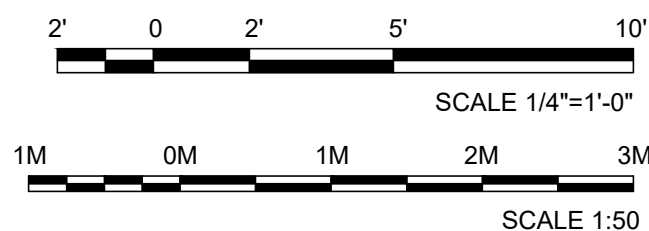
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PROJECT NORTH

1 Existing First Floor Plan
A2-01 Scale: 1/4"=1'-0"



1.0	2025.03.26	Issued for tender
mark	date	description

PROJECT
John Howard Society
22 Peel Street
Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10
DRAWN BY: J.R.
CHKD BY: R.A.

SHEET TITLE
Existing First Floor Plan

DRAWING NO. **A2-01**

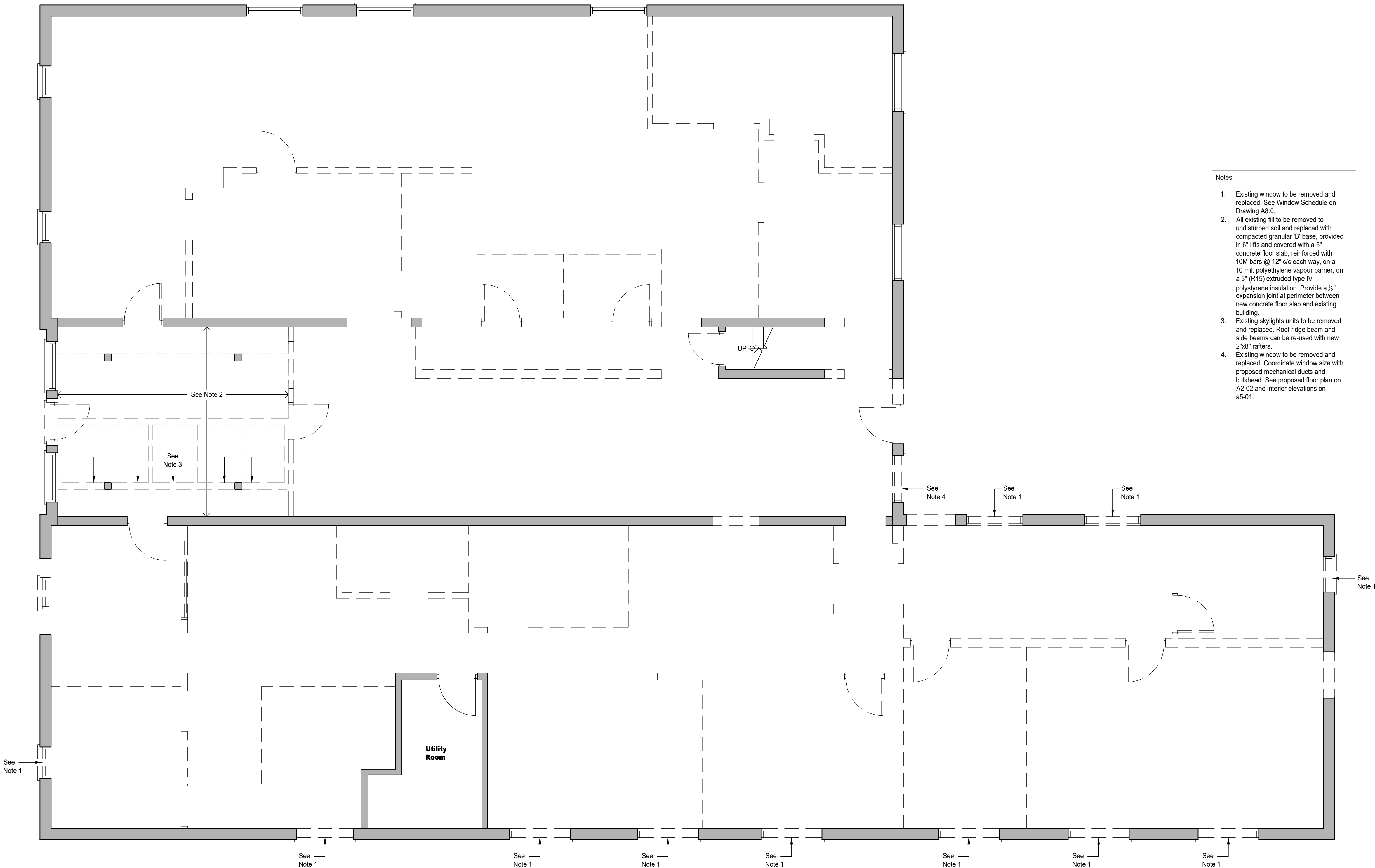
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LEGEND

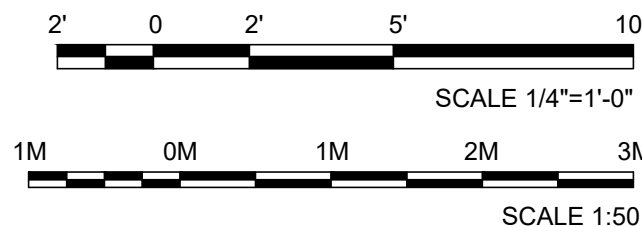
Existing wall to be removed

Notes:

- Existing window to be removed and replaced. See Window Schedule on Drawing A8.0.
- All existing fill to be removed to undisturbed soil and replaced with compacted granular "B" base, provided in 6" lifts and covered with a 5" concrete floor slab, reinforced with 10M bars @ 12" c/c each way, on a 10 mil. polyethylene vapour barrier, on a 3" (R15) extruded type IV polystyrene insulation. Provide a 1/2" expansion joint at perimeter between new concrete floor slab and existing building.
- Existing skylights units to be removed and replaced. Roof ridge beam and side beams can be re-used with new 2"x8" rafters.
- Existing window to be removed and replaced. Coordinate window size with proposed mechanical ducts and bulkhead. See proposed floor plan on A2-02 and interior elevations on a5-01.



1 First Floor Demolition Plan
A2-02 Scale: 1/4"=1'-0"



1.0	2025.03.26	Issued for tender
mark	date	description

PROJECT

John Howard Society
22 Peel Street
Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10
DRAWN BY: J.R.
CHKD BY: R.A.

SHEET TITLE
First Floor Demolition Plan

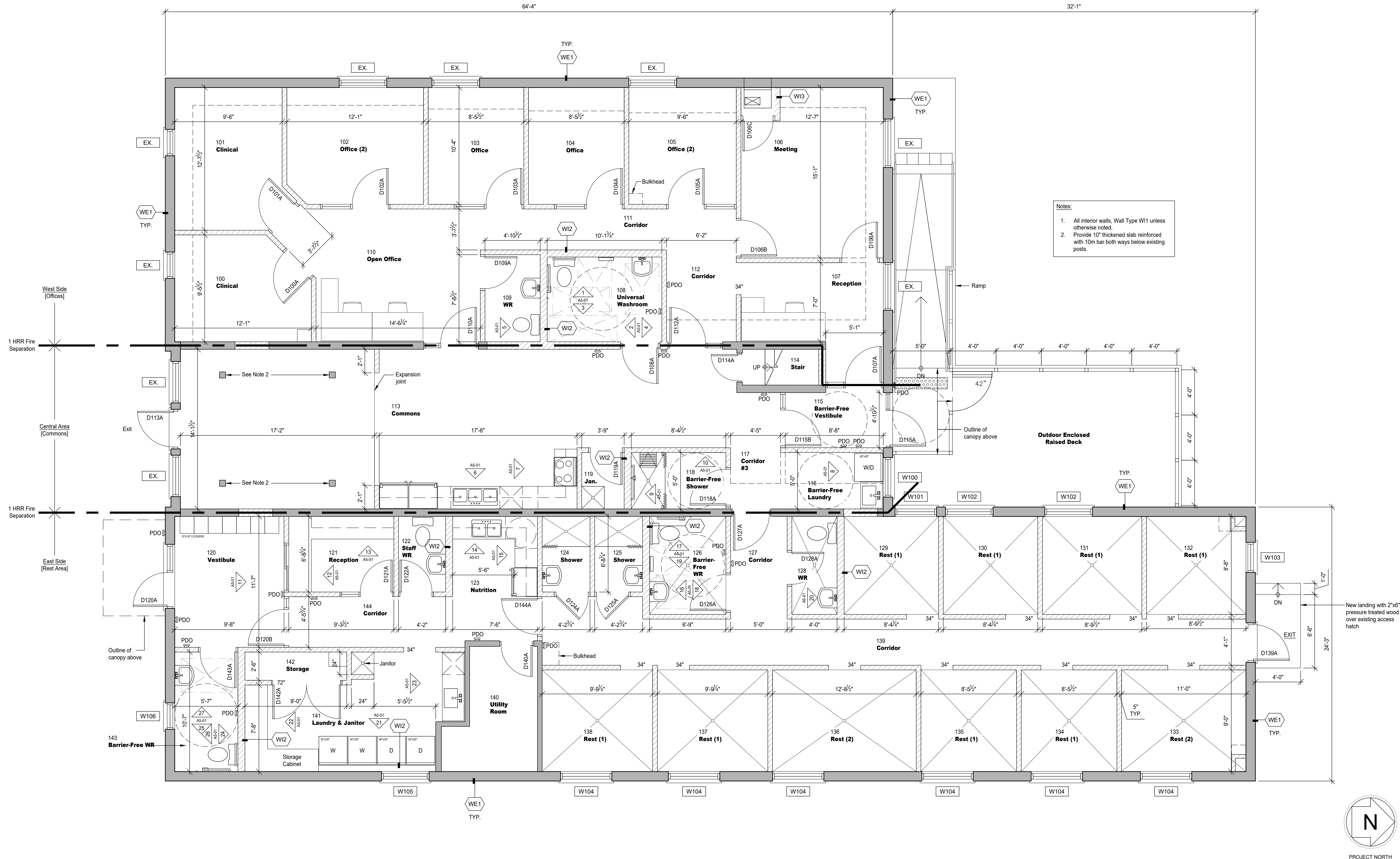
DRAWING NO.

A2-02

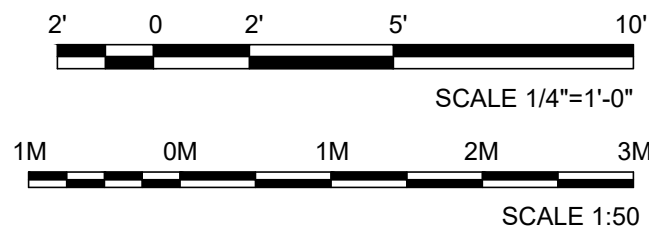
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Legend

- /// New Wall
- Existing wall to remain
- WX Wall type. See Drawing A8.0.
- WXXX Window Type. See Drawing A8.0.
- PDO [] Power door operator. Where door opens toward the control, locate not less than 24" beyond door swing.



1 Proposed First Floor Plan
A2-03 Scale: 1/4"=1'-0"



PROJECT	John Howard Society
DRAWING NO.	A2-03
PROJECT NO.	2024-10
DRAWN BY:	J.R.
CHKD BY:	R.A.
SHEET TITLE	Proposed First Floor Plan
DRAWING NO.	A2-03

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Legend

- /// New wall
- Existing wall to remain
- Proposed Ceiling Mounted Exhaust Fan
- 24"x48" Acoustic tile ceiling
- 24"x48" ACT ceiling recessed light fixture
- 24"x48" drywall ceiling recessed light fixture
- 48" drywall strip ceiling recessed light fixture
- 24"x24" ACT ceiling recessed light fixture
- 24"x24" drywall ceiling recessed light fixture
- Proposed spot light fixture
- Electrical fixture. See electrical drawings
- Dual remote head
- Single remote head
- Emergency exit sign
- Electrical fixture. See electrical drawings
- Smoke detector
- Fire alarm horn/strobe. See electrical drawings

1.0	2025.03.26	Issued for tender
mark	date	description

PROJECT

John Howard Society
22 Peel Street
Lindsay, ON; K9V 3L8

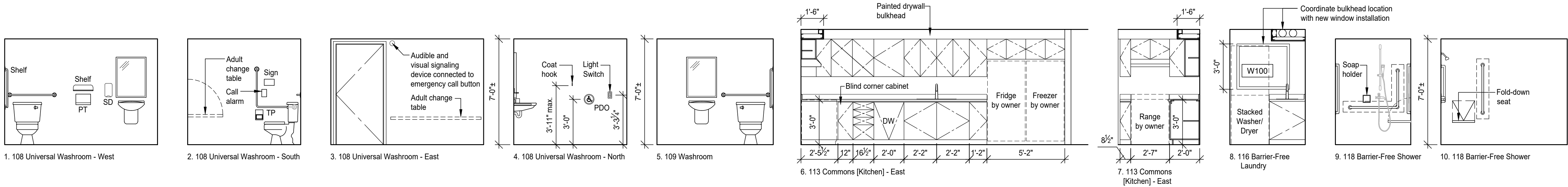
PROJECT NO: 2024-10
DRAWN BY: J.R.
CHKD BY: R.A.

SHEET TITLE
**Proposed First
Reflected Ceiling Plan**

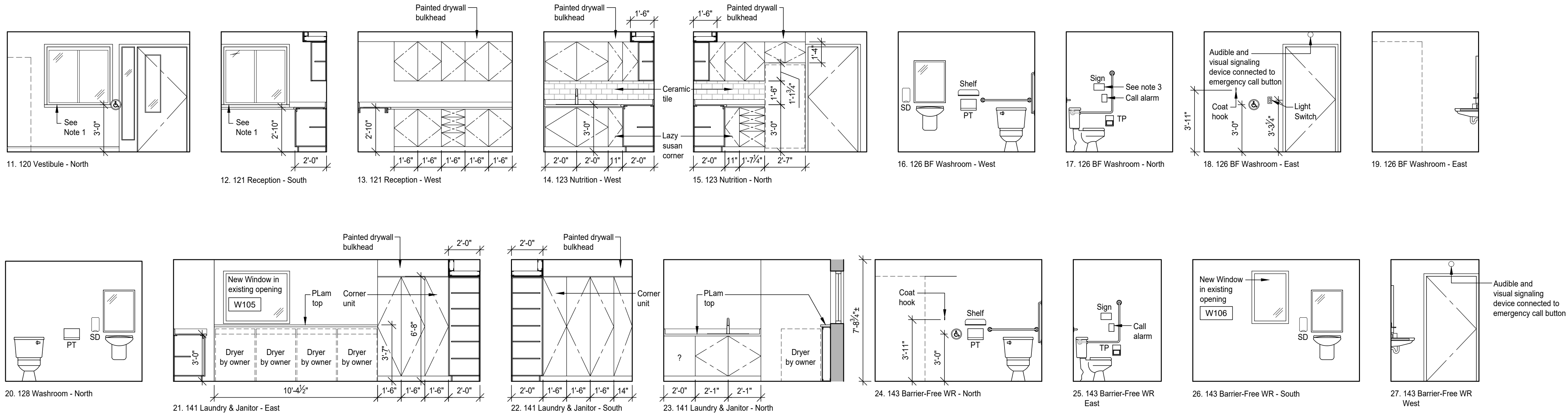
DRAWING NO.

A4-01





- Notes:
- 48"x44" CRL Duralanodic Bronze Anodized Standard Size Manual DW Deluxe Service Window, Glazed with Full Bottom Track. C.R. Laurence Company, Concord, Ontario; 905.303.7966. All base & upper cabinets to have PLam countertop (typ.).
 -



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Legend

- TP Toilet paper dispenser
PT Paper towel dispenser
GB1 Grab bar 1
GB2 Grab bar 2
SD Soap dispenser

1.0 2025.03.26 Issued for tender
mark date description

PROJECT

John Howard Society
22 Peel Street
Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10
DRAWN BY: J.R.
CHKD BY: R.A.

SHEET TITLE
Interior Elevations

DRAWING NO.

Room Finish Schedule																
ROOM		FLOOR		WALLS								CEILINGS			NOTES	
No.	Name	Mat.	Base	North		East		South		West		Mat.	Finish	Height		
				mat.	finish	mat.	finish	mat.	finish	mat.	finish					
100	Clinical	RSF	FCIB	gb.	PVC	gb.	PVC	gb.	PVC	gb.	PVC	ACT	-	7'-10½"		
101	Clinical	RSF	FCIB	gb.	PVC	gb.	PVC	gb.	PVC	gb.	PVC	ACT	-	7'-10½"		
102	Office (2)	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
103	Office	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
104	Office	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
105	Office (2)	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
106	Meeting	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
107	Reception	RSF	FCIB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
108	Universal WR	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-10½"		
109	Washroom	RSF	FCIB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
110	Open Office	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
111	Corridor #2	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
112	Corridor #1	RTF	RB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	ACT	-	7'-10½"		
113	Commons	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	ACT	-	7'-7½"		
114	Stair [Existing]	epoxy	FCIB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	-	-	-		
115	Barrier-Free Vest.	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	ACT	-	7'-7½"		
116	Barrier-Free Lndry.	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-7½"		
117	Corridor #3	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	-	-	cb.	PVC	7'-7½"		
118	Barrier-Free Shower	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-7½"		
119	Janitor	epoxy	FCIB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	cb.	PVC	7'-7½"		
120	Vestibule	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
121	Reception	epoxy	FCIB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	7'-8½"		
122	Staff Washroom	epoxy	FCIB	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	gb.	pld.	7'-8½"		
123	Nutrition	epoxy	FCIB	gb.	CT	-	-	gb.	CT	gb.	CT	gb.	PVC	7'-8½"		
124	Shower	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
125	Shower	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
126	Barrier-Free WR	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
127	Corridor #4	epoxy	FCIB	cb.	PVC	-	-	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
128	Washroom	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
129	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
130	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
131	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
132	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
133	Rest (2)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
134	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
135	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
136	Rest (2)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
137	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
138	Rest (1)	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
139	Corridor #5	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
140	Utility Room	-	-	-	-	-	-	-	-	-	-	-	-	-	Existing to remain	
141	Laundry & Janitor	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
142	Storage	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
143	Barrier-Free WR	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		
144	Corridor #6	epoxy	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8½"		

ROOM FINISH SCHEDULE ABBREVIATIONS:

CT - Ceramic Tile
FCIB - Flash Cove Integral Base
PVC - Altro Whiterock
RTF - Resilient Tile Flooring (Plank)
RSF - Resilient Sheet Flooring

gb. - gypsum board (install vert.)
pld. - painted (coats as per spec.)

ROOM FINISH SCHEDULE NOTES:

- Contractor shall prep all existing and new substrates as per the specification requirements.
- All materials to be installed as per the specifications.
- All finishes to be applied as per the specifications.
- All surfaces are top be plumb, level and true prior to installation of finishes unless referenced otherwise.

Door & Frame Schedule												
MARK	DOOR		FRAME		F.R.R.		GLAZ.	NOTES				
	width	height	type	matl	type	matl	(hrs)					
D100A	38"	6'-8"	F	SCW.1	A	WD	-	-	--			
D101A	38"	6'-8"	F	SCW.1	A	WD	-	-	--			
D102A	38"	6'-8"	NL	SCW.1	B	WD	-	TG	--			
D103A	38"	6'-8"	NL	SCW.1	B	WD	-	TG	--			
D104A	38"	6'-8"	NL	SCW.1	B	WD	-	TG	--			
D105A	38"	6'-8"	NL	SCW.1	B	WD	-	TG	--			
D106A	38"	6'-8"	FL	SCW.1	A	WD	-	TG	--			
D106B	38"	6'-8"	FL	SCW.1	A	WD	-	TG	--			
D106C	32"	6'-8"	F	HM	A	HM	60 MIN.	-	--			
D107A	38"	6'-8"	FL	HM	B	HM	45 MIN.	TP	--			
D108A	38"	6'-8"	F	HM	A	HM	45 MIN.	-	--			
D109A	34"	6'-8"	F	SCW.1	A	WD	-	-	--			
D110A	38"	6'-8"	NL	HM	B	HM	45 MIN.	TG	--			
D112A	38"	6'-8"	NL	HM	B	HM	45 MIN.	TG	--			
D113A	38"	6'-8"	F	IHM	A	TB	-	TP	--			
D114A	28½"	6'-8"	NL	HM	A	HM	-	-	Existing replaced. Site measure.			
D115A	38"	6'-8"	FL	IHM	B	TB	-	TP	--			
D115B	38"	6'-8"	FL	HM	B	HM	-	TP	--			
D118A	38"	6'-8"	F	HM	A	HM	-	-	--			
D119A	34"	6'-8"	F	HM	A	HM	-	-	--			
D120A	38"	6'-8"	FL	IHM	B	TB	-	TP	--			
D120B	38"	6'-8"	NL	HM	B	HM	-	TG	--			
D121A	34"	6'-8"	NL	HM	B	HM	-	TG	--			
D122A	34"	6'-8"	F	HM	A	HM	-	-	--			
D124A	34"	6'-8"	F	HM	A	HM	-	-	--			
D125A	34"	6'-8"	F	HM	A	HM	-	-	--			
D126A	38"	6'-8"	F	HM	A	HM	-	-	--			
D127A	38"	6'-8"	F	HM	A	HM	45 MIN.	-	--			
D128A	34"	6'-8"	F	HM	A	HM	-	-	--			
D139A	38"	6'-8"	F	IHM	A	TB	-	-	--			
D140A	32½"	6'-8"	F	HM	A	HM	45 MIN.	-	Existing replaced. Site measure.			
D142A	2x36"	6'-8"	G	HM	A	HM	-	-	--			
D143A	38"	6'-8"	F	HM	A	HM	-	-	--			
D144A	38"	6'-8"	NL	HM	A	HM	45 MIN.	TG	--			
									--			

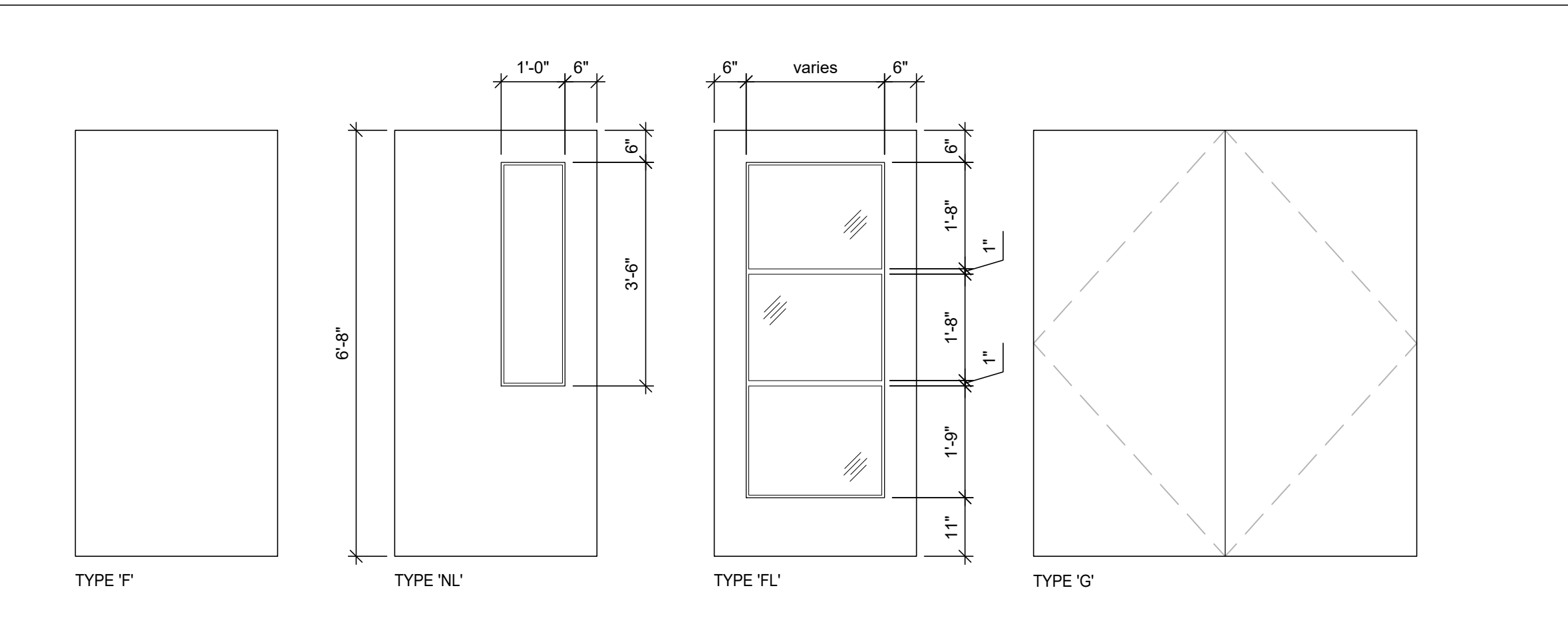
DOOR & FRAME SCHEDULE ABBREVIATIONS:

FG - Fire Rated Glazing
SG - Single Glazed
TG - Safety Glass (Tempered)
TP - Thermal Pane Glazing Unit

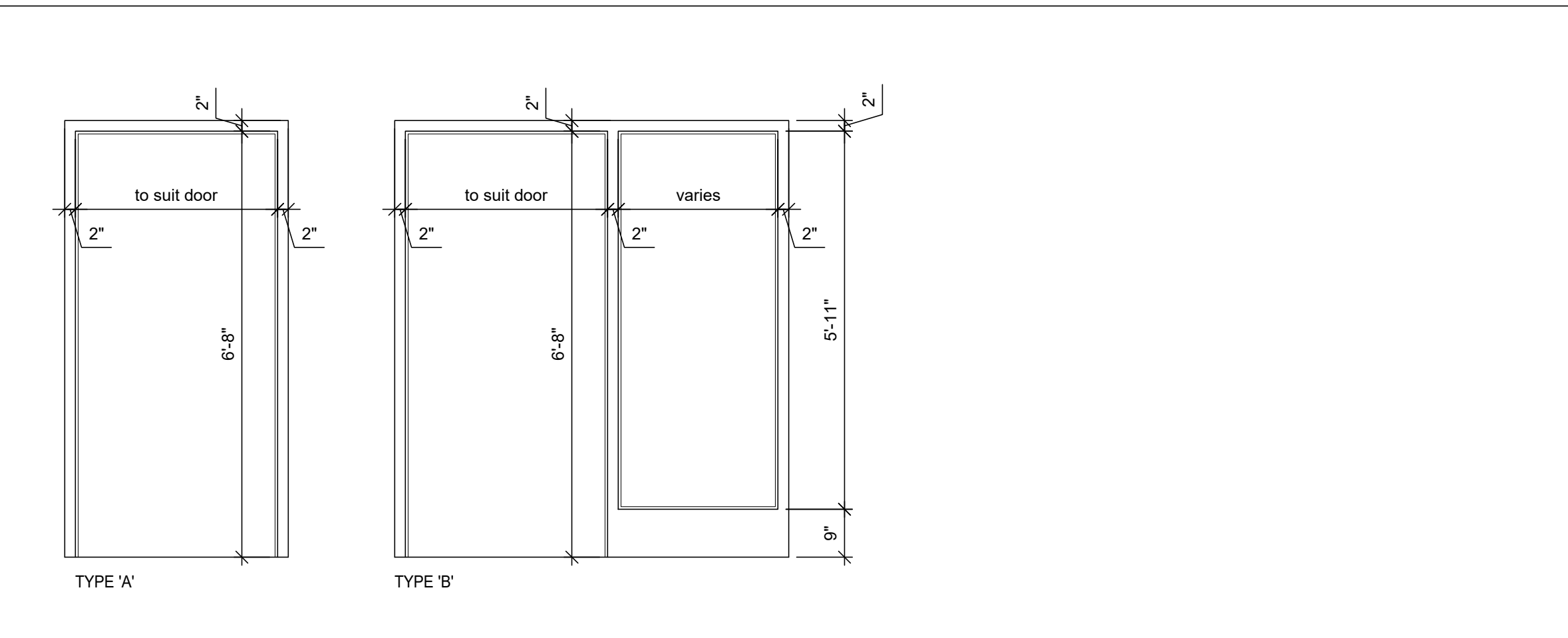
IHM - Insulated Hollow Metal
HCWD - Hollow Core Wood
HM - Hollow Metal
SCW.1 - Plastic Laminate
Solid Core Wood Door
SCW.2 - Plastic Laminate
Solid Core Wood Door (Rated)
TB - Thermally broken hollow metal frame
WD - Wood

DOOR & FRAME SCHEDULE NOTES:

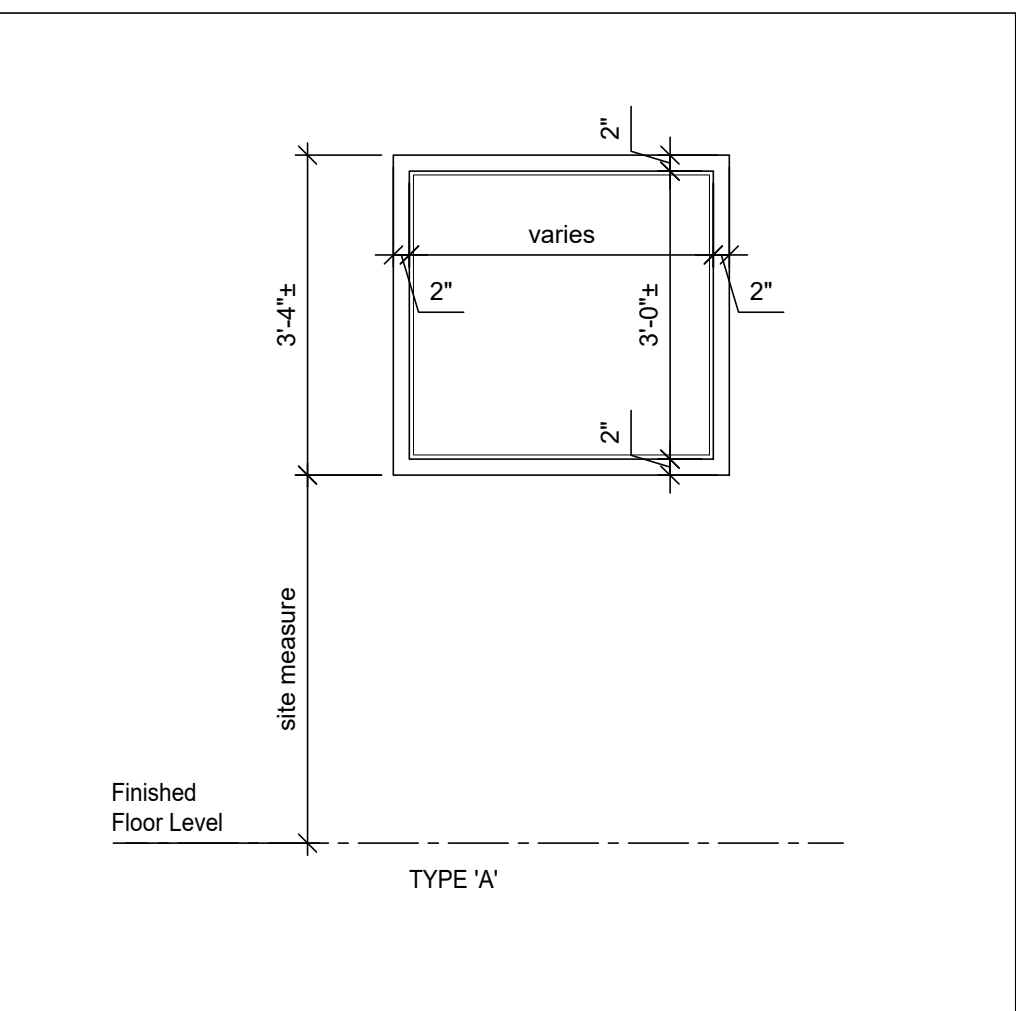
- All hollow metal doors to be 14 Gauge. All hollow metal door frames to be 16 Gauge.



1 Door Types
A6-01 Scale: 1/2"=1'-0"



2 Frame Types
A6-01 Scale: 1/2"=1'-0"



3 Window Types
A6-01 Scale: 1/2"=1'-0"

Window Schedule								
No.	LOCATION	mat.	finish	width	height	thk.	glazing	NOTES
EX.	Existing window to remain	-	-	-	-	-	-	--
W100	Barrier-Free Laundry	vinyl	pre.	3'-6"	36"	4½"	Ig	See Note 8.
W101	Rest (1)	vinyl	pre.	3'-8"	40"	4½"	Ig	--
W102	Rest (1)	vinyl	pre.	4'-2½"	40"	4½"	Ig	See Note 1.
W103	Rest (1)	vinyl	pre.	2'-8"	40"	4½"	Ig	See Note 1.
W104	Rest (2)	vinyl	pre.	4'-6½"	40"	4½"	Ig	See Note 1.
W105	Laundry & Janitor	vinyl	pre.	4'-2½"	40"	4½"	Ig	See Note 1.
W106	Barrier-Free Washroom	vinyl	pre.	2'-4"	40"	4½"	Ig	See Note 1.

WINDOW SCHEDULE ABBREVIATIONS:

Ig - laminated glass with low-E coating
pre. - prefinished

WINDOW SCHEDULE NOTES:

- Existing window to be replaced. Site measured required.
- All windows to be non-operable fixed units.
- All windows to be prefinished, thermally broken, insulated vinyl (fiberglass alternative acceptable) double paned windows with sealed insulated glass.
- All windows shown in window type elevations shown from exterior elevation view.
- Provide jamb extensions and all accessories required for a complete job.
- All windows to have a low-e coating and argon or krypton fill.
- Provide five-year warranty on seal.
- Site measure and coordinate new window size with proposed bulkhead location. See Interior elevation 8 on drawing A5-01.

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NOTES

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1.0	2025.03.26	Issued for tender
mark	date	description

PROJECT

John Howard Society
22 Peel Street
Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10
DRAWN BY: J.R.
CHKD BY: R.A.
SHEET TITLE
Schedules

DRAWING NO.

A6-01