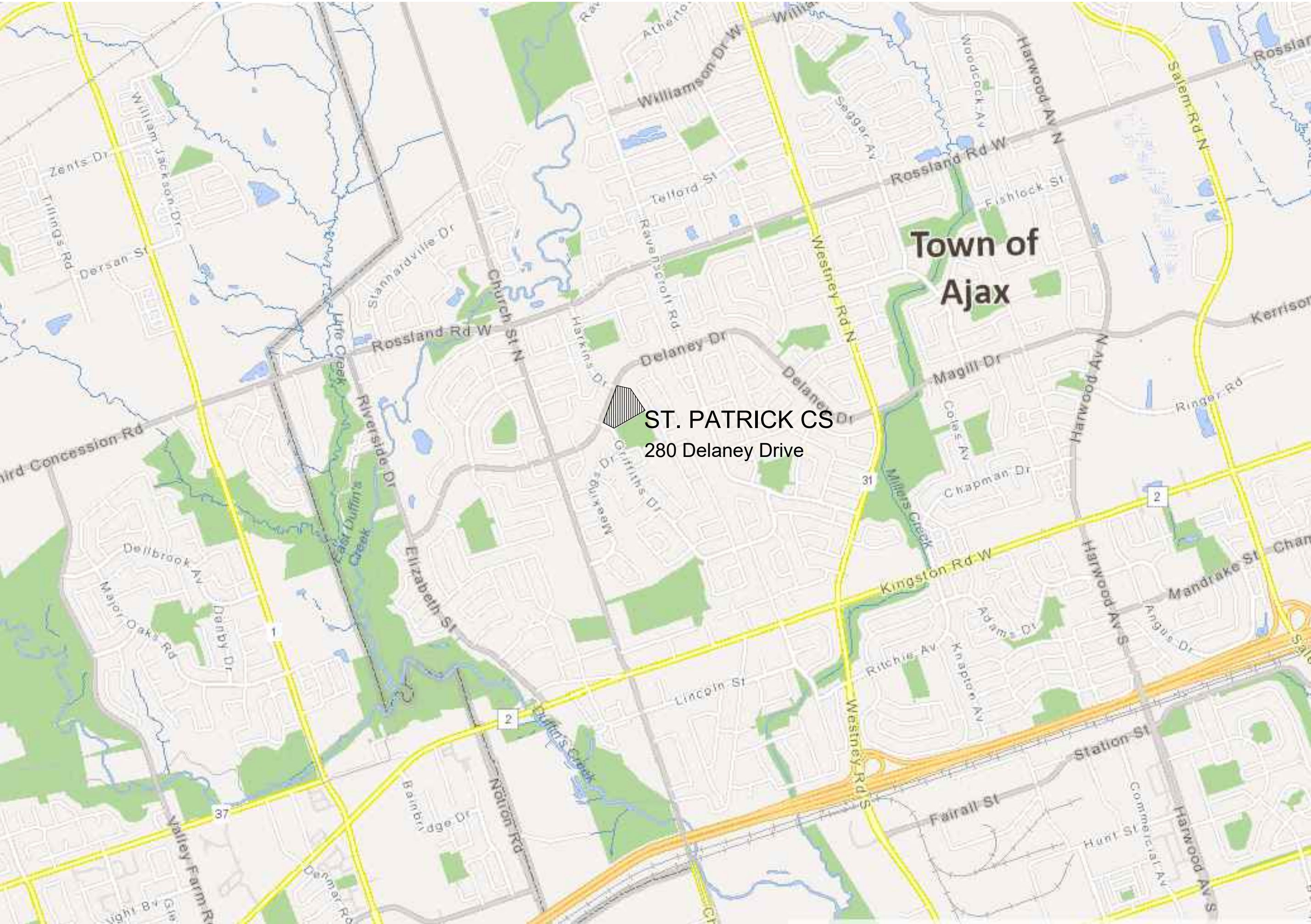


ST. PATRICK CATHOLIC SCHOOL FIELD RESTORATION



CLIENT:



DURHAM CATHOLIC SCHOOL DISTRICT SCHOOL BOARD (DCDSB)
652 Rosland Road West
Oshawa, ON L1J 8M7

PROJECT LOCATION:



ST. PATRICK CATHOLIC SCHOOL
280 Delaney Drive
Ajax, ON L1T 3N5

RE-ISSUED FOR TENDER
DATE: 2024.01.18

LANDSCAPE ARCHITECT + PROJECT LEAD



SEFERIAN DESIGN GROUP (SDG)
761 Brant Street, Suite 202
Burlington, ON L7R 2H7

DRAWING INDEX

- L1 - EXISTING CONDITIONS & REMOVALS PLAN
- L2 - LANDSCAPE & GRADING PLAN
- L3 - DETAILS AND SECTIONS







1. CONTRACTOR IS NOT TO PROCEED IN UNCERTAINTY.
2. AS AN INSTRUMENT OF SERVICE, THIS DRAWING IS THE PROPERTY OF THE LANDSCAPE ARCHITECT. THIS DRAWING MUST BE RETURNED UPON REQUEST, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.
3. ANY DISCREPANCY OR AMBIGUITY IN THE DRAWING, SPECIFICATIONS OR DETAILS IS TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
4. THIS DRAWING FORMS PART OF A SET AND MAY NOT BE SEPARATED. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE OTHER PARTS OF THE SET. THE SET INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING DOCUMENTS:
 - a. CONTRACT AGREEMENT
 - b. SPECIFICATIONS
 - c. SCHEDULE
 - d. MEASUREMENTS
 - e. MATERIALS
 - f. PLANT LIST
5. CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE FEATURES IDENTIFIED FOR REMOVAL OR DEMOLITION, INCLUDING ALL SURVEY BARS, STAKES AND MONUMENTS. CONTRACTOR IS TO REPAIR DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH LIMITS OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK ON THE SITE. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IN UNCERTAINTY.
7. CONTRACTOR IS RESPONSIBLE FOR LOCATION AND STAKING OF ALL UTILITIES PRIOR TO WORK COMMENCING ON THE SITE. CONTRACTOR IS NOT TO PLANT DIRECTLY ABOVE UNDERGROUND UTILITIES.
8. CONTRACTOR TO VISIT THE SITE PRIOR TO COMMENCEMENT OF WORK TO IDENTIFY AND REPORT ANY AMBIGUITY OR DISCREPANCY TO BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
9. DRAWINGS MAY NOT BE SCALED FOR APPROXIMATE LAYOUT. ALL MEASUREMENTS ARE METRIC. LAYOUT OF PLANT MATERIALS TO BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
10. CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THESE DRAWINGS. ANY DISCREPANCIES BETWEEN QUANTITIES SHOWN AND THE PLANT LIST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
11. ALL DEBRIS AND WORK AREA DEBRIS, GARBAGE AND SURPLUS MATERIALS ARE TO BE REMOVED FROM THE SITE. THE SITE IS TO BE KEPT CLEAN AND USEABLE AT ALL TIMES.
12. UPON FINAL COMPLETION OF THE PROJECT, ALL WORKSMANSHIP AND MATERIALS ARE TO BE GUARANTEED FOR TWO FULL YEARS.
13. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT.

1. THE INTENT OF THE DEMOLITION PLAN IS TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING THE EXISTING CONDITION PRIOR TO BID. THE GENERAL CONTRACTOR SHOULD NOTIFY THE CONTRACT ADMINISTRATOR IMMEDIATELY IF ANY DISCREPANCIES
2. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROPERLY DISPOSE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
3. DIMENSIONS SHOWN ON PLAN ARE ESTIMATED. CONTRACTOR TO CONFIRM ON SITE AND STAKE LAYOUT FOR APPROVAL PRIOR TO REMOVALS.
4. COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND SAFETY ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
5. NOISE DURING DEMOLITION AND CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
6. ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUT. EDGES OF MATERIAL TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES TO BE DONE WITH CARE AND AT NO COST TO THE OWNER.
7. EROSION AND SEDIMENT CONTROL (ESSC) MEASURES
 - 7.1. COVER ALL CATCH BASIN WITH 6MM STEEL PLATE THAT IS FIRMLY SECURED TO THE CATCH BASIN GRATING WITH CLAMPS, SCREWS OR WIRES. COVER TO REMAIN IN PLACE UNTIL ROUGH PAVING IS COMPLETED. MAINTAIN GOOD HOUSEKEEPING TO PREVENT WATERBORNE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
 - 7.2. CATCH BASINS MUST BE COVERED WITH 6MM STEEL PLATE. IF STRUCTURES ARE TO BE COVERED WITH GEOTEXT CLOTH WHICH IS HELD IN PLACE BY 150MM DEEP LAYER OF CLEAR STONE.
8. REMOVAL OF STRUCTURES SUCH AS FENCING, WALLS, SIGNS AND RAILINGS TO INCLUDE REMOVAL OF FOOTINGS. AREAS WHERE FOOTINGS ARE REMOVED ARE TO BE REPAIRED.
9. REMOVE ALL GRANULAR BASE OR PAVING AREAS THAT ARE TO BE SODDED. IN AREAS WHERE NEW PAVING IS PROPOSED, GRANULAR MATERIAL MAY BE RETAINED IF DIRECTED BY DETAIL DRAWINGS. COMPACTION OF EXISTING GRANULAR BASE REQUIRED AS INDICATED ON DETAIL DRAWINGS.
10. REMOVE DEMOLISHED MATERIALS FROM SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS.
11. CONTRACTOR TO CONTACT THE LOCAL UNDERGROUND SERVICE UPDATE FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO DEMOLITION.
12. THE GENERAL CONTRACTOR SHOULD NOTIFY THE CONTRACT ADMINISTRATOR IMMEDIATELY IF ANY CONFLICTS ARISE BETWEEN UTILITIES AND PROPOSED DESIGN BEFORE STARTING WORK.
13. CONTRACTOR TO MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. COORDINATE ALL DISRUPTIONS OR DISCONTINUATIONS OF UTILITIES AND SERVICES WITH THE BOARD REPRESENTATIVE.
14. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND. IF NECESSARY, THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE SCHOOL BOARD.
15. DETERMINE NECESSARY CONSTRUCTION OR PROVIDER OF UTILITY TO INSTALL SITE PROTECTION FENCE.
16. ALL FINISHES, FEATURES OR SURFACES DAMAGED OR AFFECTED BY DEMOLITION OR CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO MEET THE SCHOOL BOARD SATISFACTION AT NO ADDITIONAL COST.

SURFACES & SITE FURNITURE
EXISTING SOD

\emptyset DENOTES
 $R \times P$ DENOTES

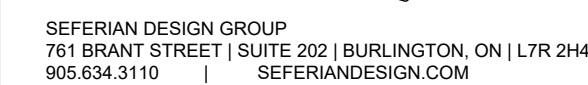
RE	DENOTES BOLLARD
BRP	DENOTES BRICK RETAINING WALL
CB	DENOTES CATCH BASIN ELEVATION AT TOP CENTRE
CH	DENOTES CHAIN LINK FENCE
CM	DENOTES CONCRETE RETAINING WALL
CLP	DENOTES CONCRETE PAD
DM	DENOTES DITCH INLET ELEVATION AT BOTTOM
DD	DENOTES DITCH INLET ELEVATION AT TOP
DS	DENOTES DOWR SILL ELEVATION
GD	DENOTES GARDEN
DS	DENOTES GAS METER
MS	DENOTES MAINTENANCE HOLE ELEVATION AT CENTRE
PI	DENOTES PILLAR
PKS	DENOTES LIGHT STANDARD
PO	DENOTES POST
PRB	DENOTES PLANTER BOX
FRB	DENOTES RETAINING WALL ELEVATION AT BOTTOM
FR	DENOTES RETAINING WALL ELEVATION AT TOP
SRW	DENOTES STONE RETAINING WALL
TS	DENOTES TERMINAL BOX
UT	DENOTES UTILITY SHED
UV	DENOTES UTILITY VAULT
WV	DENOTES WROUGHT IRON FENCE
WV	DENOTES WATER VALVE
	DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
	DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
	DENOTES DECIDUOUS SAPLING
	DENOTES SHRUB
	DENOTES SPOT ELEVATION

LANDSCAPE ARCHITECT
SEFERIAN DESIGN GROUP LTD.

TOPOGRAPHIC SURVEY
IBW SURVEYORS (DATED APRIL 24, 2023)

03	2024.01.18	RE-ISSUED FOR TENDER		VF
02	2023.06.22	ISSUED FOR TENDER		MF
01	2023.06.09	ISSUED FOR REVIEW		MF
NO.	DATE	ISSUE / REVISION		BY
MARK VOID ALL COPIES PRIOR FINAL DATE				

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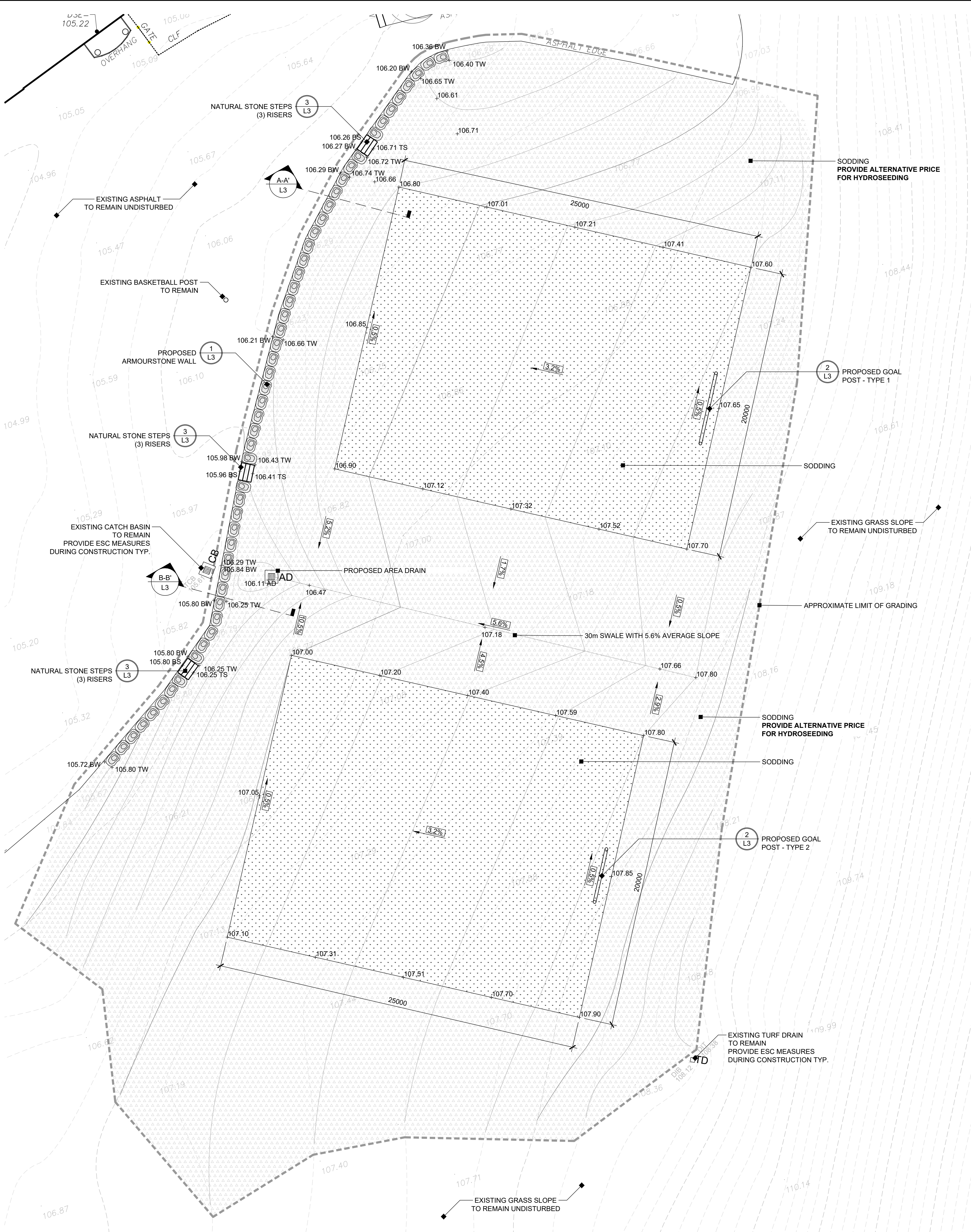
PROJECT:
ST PATRICK CATHOLIC SCHOOL
DCDSB
280 DELANEY DR
AJAX, ON L1T 3N5

SHEET TITLE:
**EXISTING CONDITIONS
& REMOVALS PLAN**

SCALE: AS SHOWN SHEET NO:
DRAWN BY: AN
CHECKED BY: HS
DATE: 2023-06-09
SDG FILE NO: 23-020

L1

File Path: W:\Projects\2023\24\02 - DCDSB - St. Patrick CS\Drawings\CA023-020 - LANDSCAPE PLANS.dwg Plotted By: Vincent Franchon Plot Date: 11/02/2024 12:58 PM



1 GRADING PLAN
INFORMAL SPORTS FIELDS

1:150

GRADING

TEMPORARY EROSION AND SEDIMENTATION CONTROL

1. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS, ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
2. INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
3. REMOVE EROSION AND SEDIMENTATION CONTROLS AND RESTORE AND STABILIZE AREAS DISTURBED DURING REMOVAL.

VERIFICATION OF CONSTRUCTED ROUGH GRADE

1. ALLOW FOR MINOR ADJUSTMENTS TO ROUGH GRADE, ELIMINATING UNEVEN AREAS AND LOW SPOTS, ENSURING POSITIVE DRAINAGE.
2. NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED DISCREPANCY BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOBILIZED ONTO SITE.
3. NEW GRADES TO MEET FLUSH AND BLEND INTO EXISTING GRADES AT PROJECT LIMIT.
4. CONTRACTOR SHALL NOT FULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN UNFORESEEN OBSTRUCTIONS AND/OR GRADE DISCREPANCIES EXIST. SUCH CONDITIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS IF FAILS TO GIVE NOTICE PRIOR TO CONSTRUCTION COMMENCEMENT.
5. CONTRACTOR TO ENSURE THERE ARE NO CONFLICTS BETWEEN INLET LOCATIONS AND UNDERGROUND FOOTINGS AND UTILITIES.
6. REMOVE DEBRIS, ROOTS, BRANCHES, STONES IN EXCESS OF 50 MM DIAMETER AND OTHER DELETERIOUS MATERIALS.
7. REMOVE SOIL CONTAMINATED WITH CALCIUM CHLORIDE, TOXIC MATERIALS AND PETROLEUM PRODUCTS IF IT WAS CONTAMINATED FROM THE TIME OF ROUGH GRADE ACCEPTANCE.
8. REMOVE DEBRIS WHICH PROTRUDES MORE THAN 50 MM ABOVE SURFACE.
9. DISPOSE OF REMOVED MATERIAL OFF SITE.
10. CULTIVATE ENTIRE AREA WHICH IS TO RECEIVE TOPSOIL TO MINIMUM DEPTH OF 100 MM.
11. CROSS CULTIVATE THOSE AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING HAS COMPACTED SOIL.

PLACING AND SPREADING OF TOPSOIL/PLANTING MIXTURE

1. PLACE TOPSOIL AFTER CONSTRUCTION MANAGER HAS ACCEPTED SUBGRADE.
2. SPREAD TOPSOIL IN UNIFORM LAYERS NOT EXCEEDING 150 MM.
3. FOR SODDED AREAS KEEP TOPSOIL 15 MM BELOW FINISHED GRADE.
4. SPREAD TOPSOIL TO FOLLOWING MINIMUM DEPTHS AFTER SETTLEMENT.
5. 150 MM FOR SEEDDED AREAS.
6. 135 MM FOR SODDED AREAS.
7. PLACE REQUIRED DEPTH OF PLANTING MIXTURE FOR CONTINUOUS PLANTING BEDS AND TREE PITS AS INDICATED ON THE DETAILS.
8. MANUALLY SPREAD TOPSOIL/PLANTING SOIL AROUND TREES, SHRUBS AND OBSTACLES.

SOIL AMENDMENTS

1. FOR SPECIALTY AREAS NOTED ON PLAN OR DESIGNATED IN THE SOIL TEST RESULTS, APPLY AND THOROUGHLY MIX SOIL AMENDMENTS INTO THE FULL SPECIFIED DEPTH OF TOPSOIL AT RECOMMENDED RATES.

FINISH GRADING

1. GRADE TO ELIMINATE ROUGH SPOTS AND LOW AREAS AND ENSURE POSITIVE DRAINAGE.
2. PREPARE LOOSE FRIABLE BED BY MEANS OF CULTIVATION AND SUBSEQUENT RAKING.
3. CONSOLIDATE TOPSOIL TO REQUIRED BULK DENSITY USING EQUIPMENT APPROVED BY CONSTRUCTION MANAGER.
4. LEAVE SURFACES SMOOTH, UNIFORM AND FIRM AGAINST DEEP FOOTPRINTING.

ACCEPTANCE

1. CONSTRUCTION MANAGER WILL DETERMINE ACCEPTANCE OF MATERIAL, DEPTH OF TOPSOIL AND FINISH GRADING.

SURPLUS MATERIAL

1. DISPOSE OF MATERIALS EXCEPT TOPSOIL NOT REQUIRED OFF SITE.

CLEANING

1. UPON COMPLETION OF INSTALLATION, REMOVE SURPLUS MATERIALS, RUBBISH, TOOLS AND EQUIPMENT BARRIERS.

WARRANTY PERIOD

1. ALL WORKMANSHIP AND PLANT MATERIAL SHALL BE UNDER WARRANTY FOR A PERIOD OF 12 MONTHS COMMENCING ON THE DATE OF ACCEPTANCE. SUBMIT A WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1ST TO JULY 15TH SHALL BE GUARANTEED UNTIL JULY 15TH OF THE FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15TH TO DECEMBER 31ST SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. THE GUARANTEE PERIODS LISTED ABOVE SHALL APPLY TO ALL NURSERY GROWN PLANTS.
2. PLANTS WHICH HAVE DIED DURING THE PERIOD OF WARRANTY SHALL BE REPLACED AT NO COST TO THE OWNER AS SOON AS POSSIBLE CONSISTENT WITH THE ALLOWABLE PLANTING SEASON. DEAD PLANT MATERIAL REPLACED UNDER WARRANTY SHALL BE REMOVED FROM THE CONTRACT SITE AT THE CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACED UNDER WARRANTY SHALL CONFORM TO ALL SPECIFICATIONS OF THE ORIGINAL CONTRACT INCLUDING THE WARRANTY FROM THE DATE OF REPLACEMENT PLANTING.
3. THE CONTRACTOR SHALL PROVIDE MAINTENANCE IMMEDIATELY AFTER THE PLANTS ARE INSTALLED AND CONTINUE THROUGHOUT THE ENTIRE WARRANTY PERIOD. MAINTENANCE REQUIREMENTS SHALL INCLUDE ALL PROCEDURES CONSISTENT WITH PROPER HORTICULTURAL PRACTICES TO ENSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF ALL MATERIAL PLANTED INCLUDING SEEDING.
4. AT THE TIME OF FINAL WARRANTY ACCEPTANCE, ALL MATERIAL MUST BE IN A HEALTHY AND VIGOROUS CONDITION. PLANTING BEDS MUST BE FRESHLY CULTIVATED AND FREE OF WEEDS, RUBBISH AND DEBRIS.

KEY PLAN:



LEGEND

LIMITS

--- LIMIT OF WORK

SURFACES & SITE FURNITURE

EXISTING SOD TO BE REMOVED & DISPOSED

PROPOSED SOD

PROPOSED SOD
PROVIDE ALTERNATIVE PRICE FOR HYDROSEEDING

PROPOSED GOAL POST

PROPOSED ARMOURSTONE

SYMBOLS

EXISTING MAJOR CONTOUR +175.??

EXISTING SPOT ELEV. 175.??

EXISTING MINOR CONTOUR 175.??

PROPOSED SPOT ELEV. 175.??

PROPOSED MAJOR CONTOUR TW / BW

PROPOSED MINOR CONTOUR TW / BW

PROPOSED AREA DRAIN

PROPOSED CATCH BASIN

PROPOSED TURF DRAIN

PROPOSED SLOPE DIRECTION/RATE

PROPOSED SLOPE DIRECTION/RATE

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PROJECT TEAM

CLIENT

DCDSB

LANDSCAPE ARCHITECT

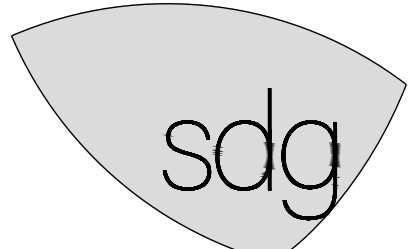
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TOPOGRAPHIC SURVEY

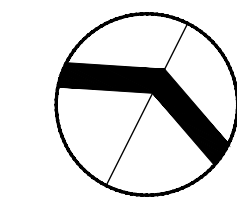
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SEFERIAN DESIGN GROUP
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905.634.3110 | SEFERIANDESIGN.COM



PROJECT:

ST PATRICK CATHOLIC SCHOOL
DCDSB
280 DELANEY DR
AJAX, ON L1T 3N5

SHEET TITLE:

LANDSCAPE AND
GRADING PLAN

SCALE: AS SHOWN SHEET NO:

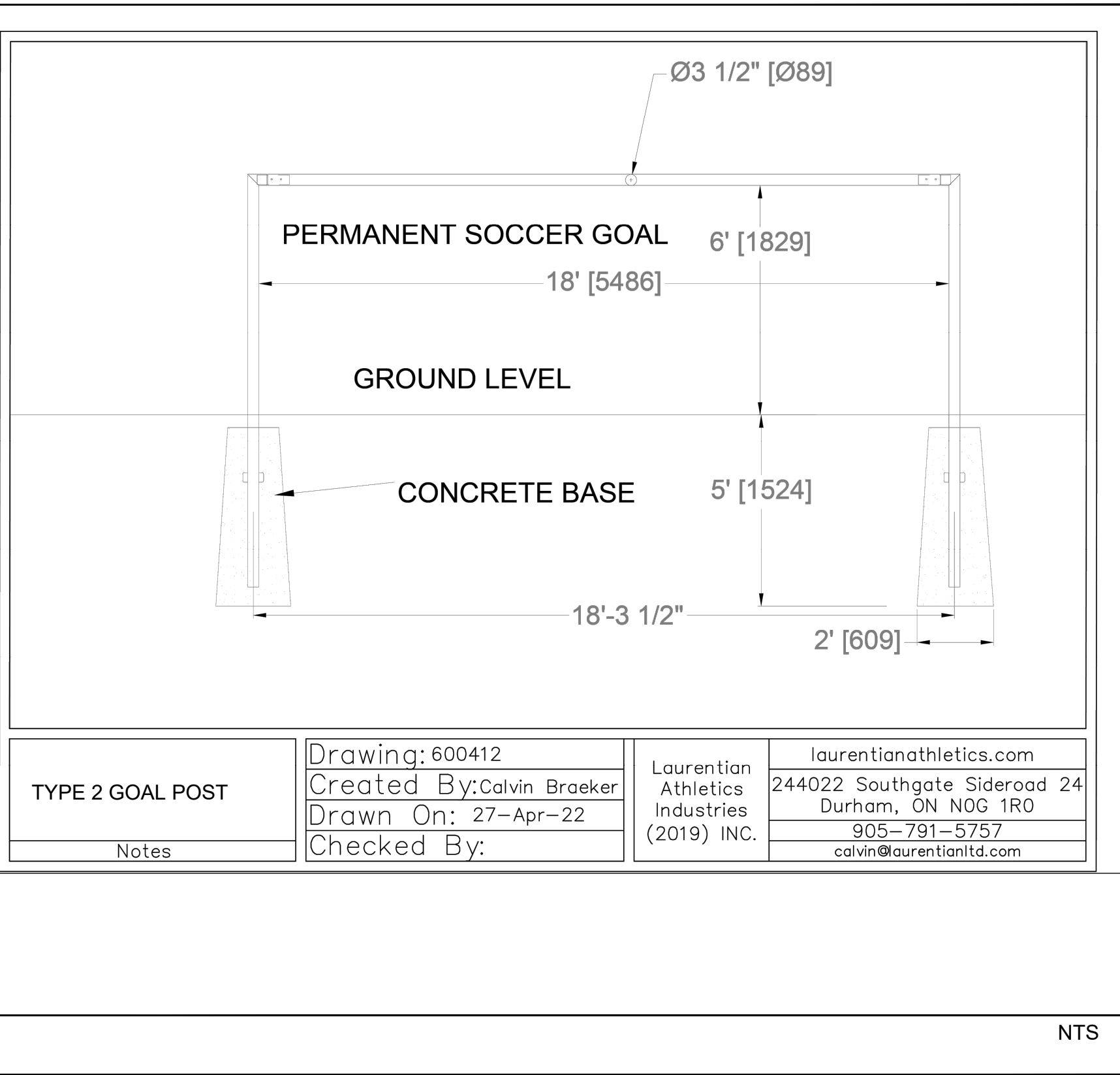
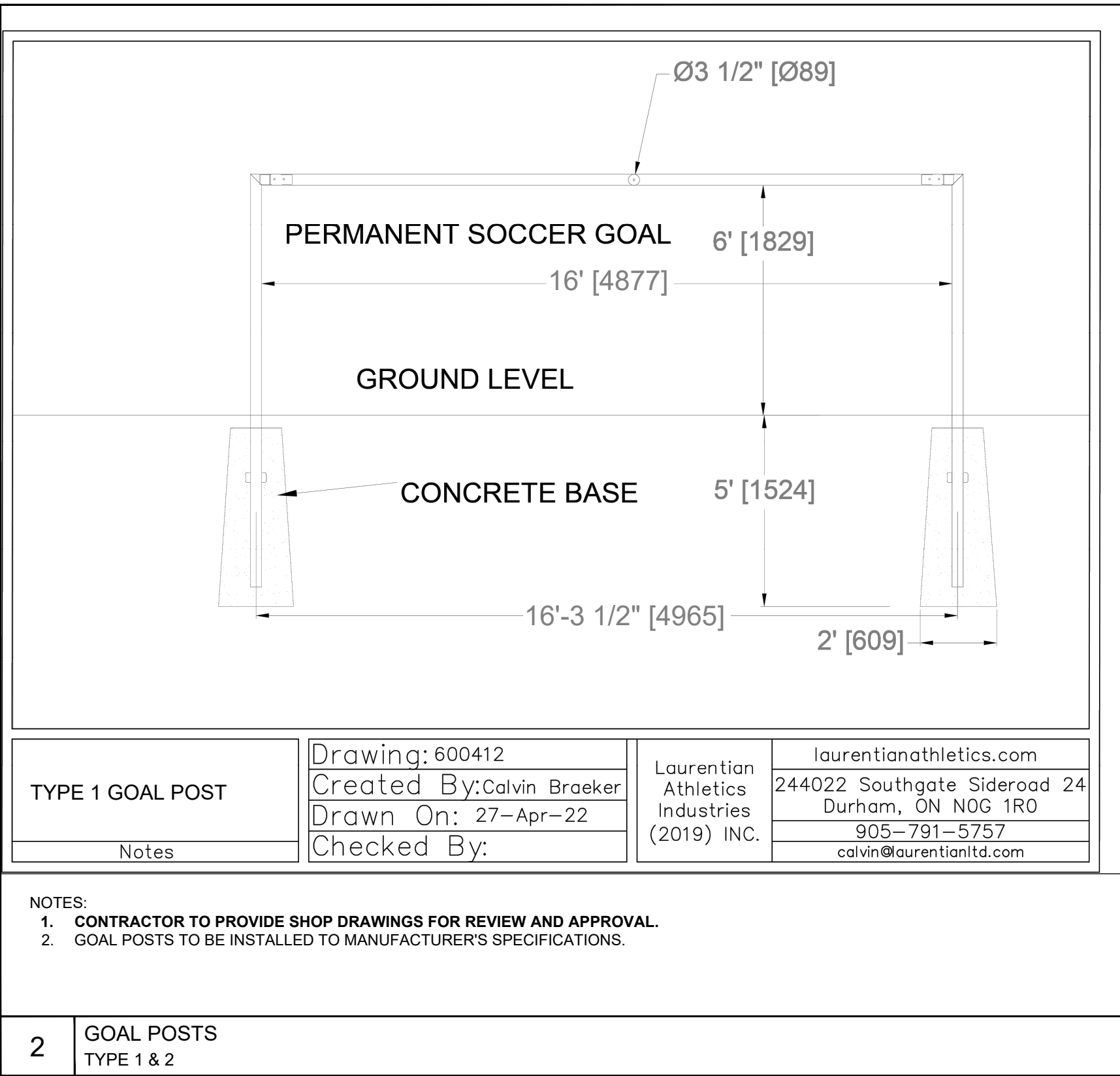
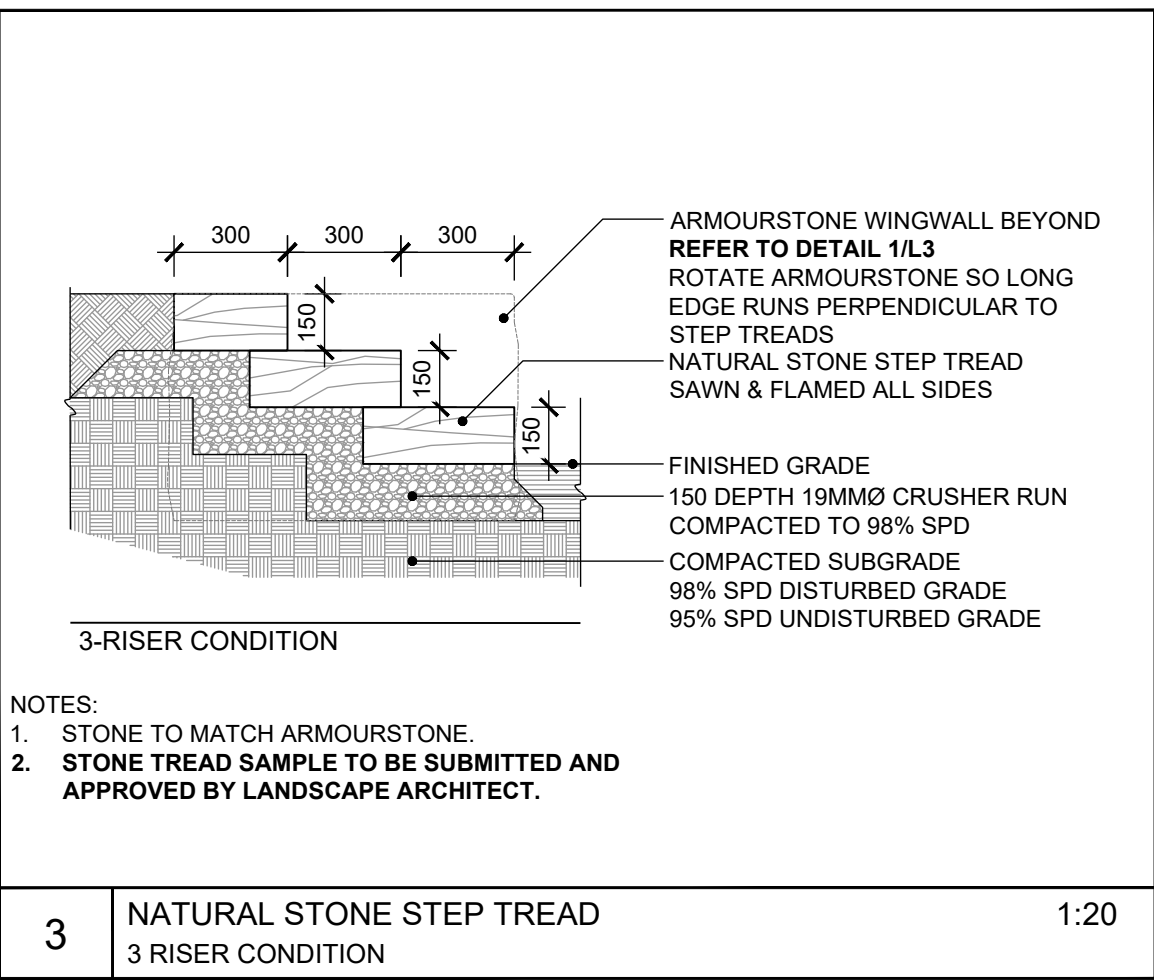
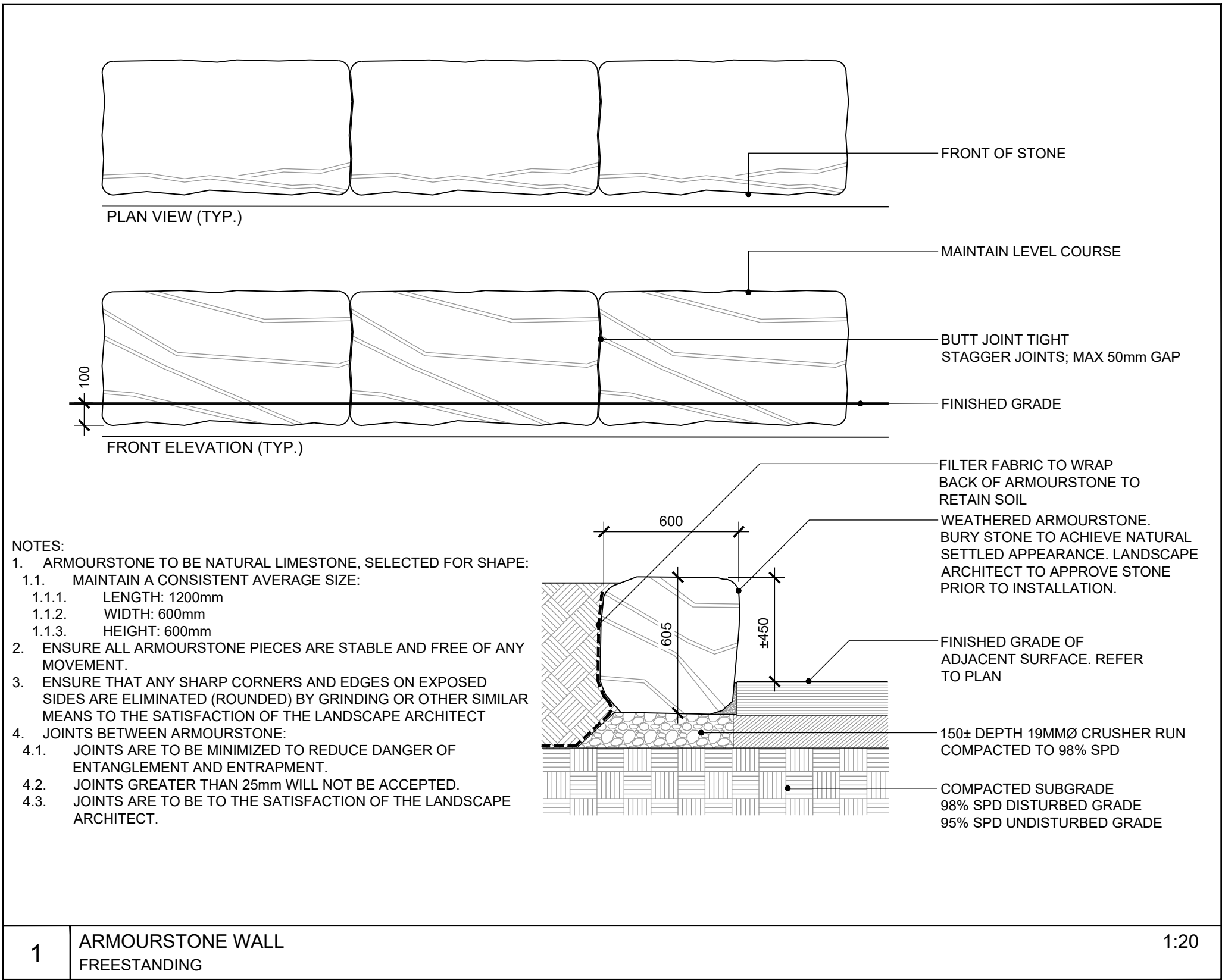
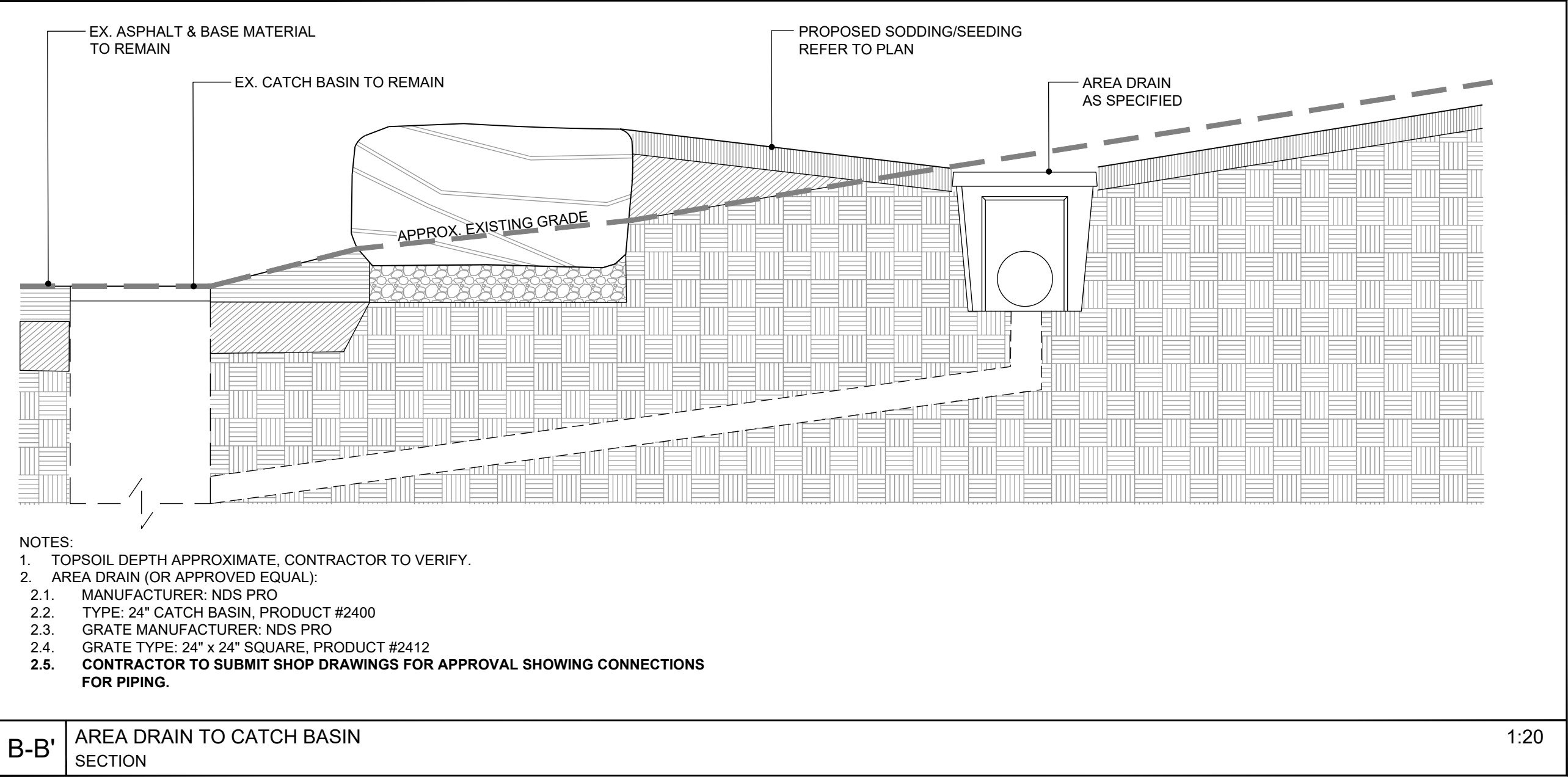
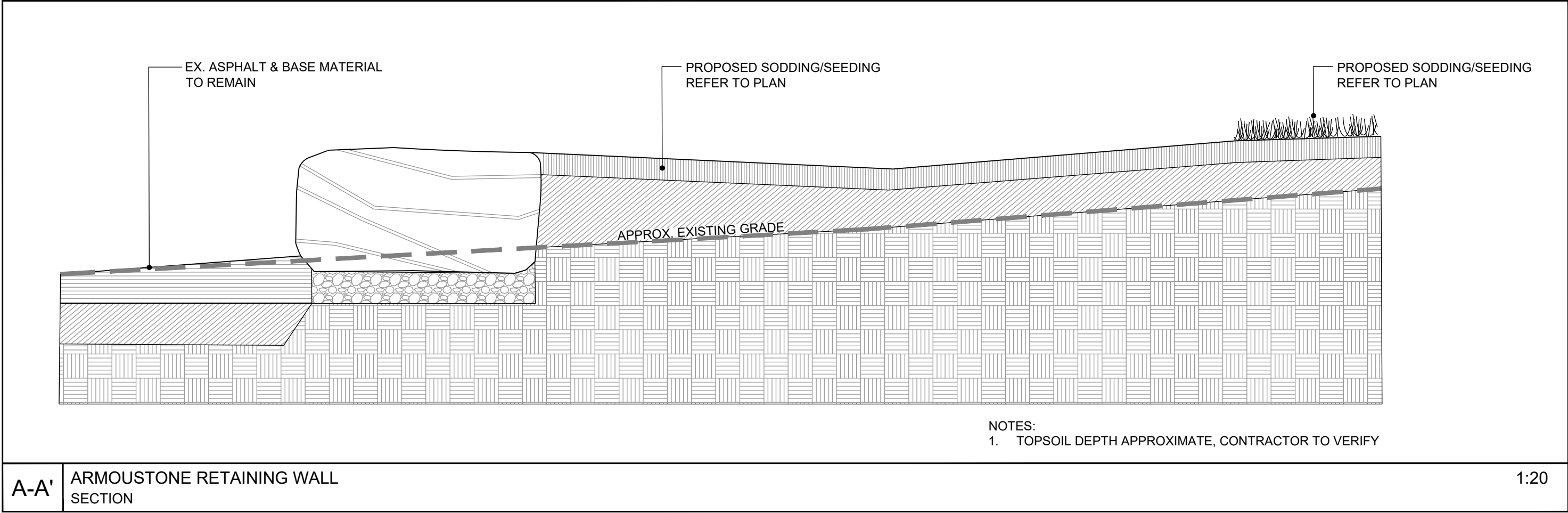
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CHECKED BY: HS

DATE: 2023-06-06

SDG FILE NO: 23-020

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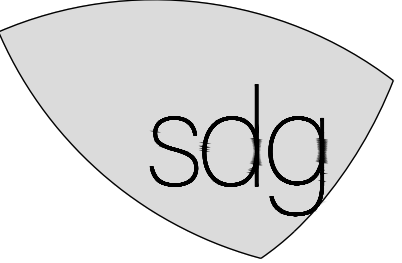
LEGEND

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LANDSCAPE ARCHITECT
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01	2023.06.09	ISSUED FOR REVIEW	MF

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PROJECT:
ST PATRICK CATHOLIC SCHOOL
DCDSB
280 DELANEY DR
AJAX, ON L1T 3N5

SHEET TITLE:
DETAILS AND SECTIONS

SCALE: AS SHOWN SHEET NO:
DRAWN BY: AN
CHECKED BY: HS
DATE: 2023-06-06
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