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Addendum No. 1

Page 1 of 2

Project No.: 19152
Date: July 27, 2022
Project: **Former LAKEFIELD POST OFFICE, QUEEN STREET, LAKEFIELD, ON
Township of Selwyn**

The following information supplements and/or supersedes the bid documents issued on July 15, 2022.

This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. Acknowledge receipt of this Addendum by inserting its number and date on the Tender Form. Failure to do so may subject bidder to disqualification.

SPECIFICATIONS

1.1 Section 00 21 13- Instructions to Bidders

.1 Article 1.4 Queries During Bidding Period

Revise first sentence to read:

- .1 All communication from Bidders in respect with this Tender will cease at 12:00 noon on Thursday, August 4, 2022.

1.2 Section 10 52 00 - Construction Facilities

- .1 This project will require extensive shoring. Refer to specification Section 01 52 00, Article 1.12 and ensure the Bid Price includes all costs related to detailed engineered analysis of the existing building and the engineered design of all necessary shoring to complete the required renovations. Shoring shall be designed by a professional engineer registered in the Province of Ontario who shall review all existing conditions on site prior to completing shoring design. Original building plans provided by the Owner are attached for reference. The Owner assumes no responsibility for the accuracy of these drawings and Bidders shall be aware that numerous renovations and alterations have taken place over the life of the building. Bidders and the bidders engineer shall verify the accuracy of these drawings through site review and make their own conclusions regarding the existing conditions and the extent of shoring required.

DRAWINGS

1.3 DRAWING NO. A101 Site Plan - Existing and Demolition

- .1 Revise note on site plan "Remove and restore existing stamped concrete sidewalk as required for demolition of existing stair" to read "Remove and restore existing brick pavers as required for demolition of existing stair."

1.4 DRAWING NO. A102 Site Plan & Site Details

- .1 At location of new sidewalk where exterior concrete stair is to be removed at the police services entrance, revise note "New stamped concrete sidewalk to match existing", to read "New concrete sidewalk to match existing".

1.5 DRAWING NO. A201 Basement & Ground Floor Demolition Plans

- .1 2/A201 Ground Floor Demolition Plan
 - .1 All existing partitions between the Chamber of Commerce and the Police Services spaces are reinforced with galvanized chain link fencing. Include all costs associated with removal and disposal of this material.

GENERAL

- 1.6 Original building plans entitled Public Building, Lakefield, Ontario are attached to this Addendum, for reference.

End of Addendum No. 1

Barry Bryan Associates

Architects, Engineers, Project Managers



Chris Earle, MAATO

CE/do

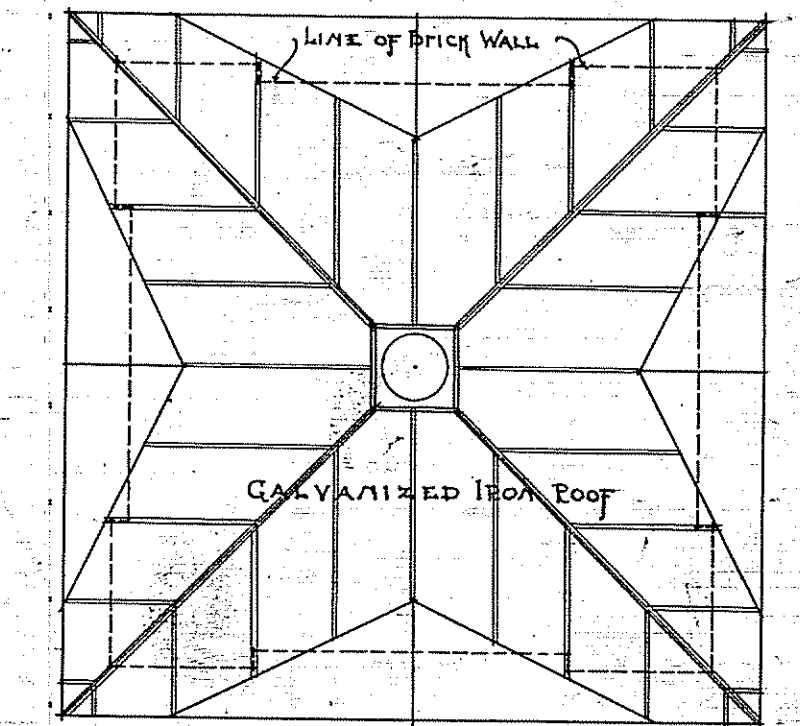
Attachments: 19142-02 Original Plans

(7 Pages)

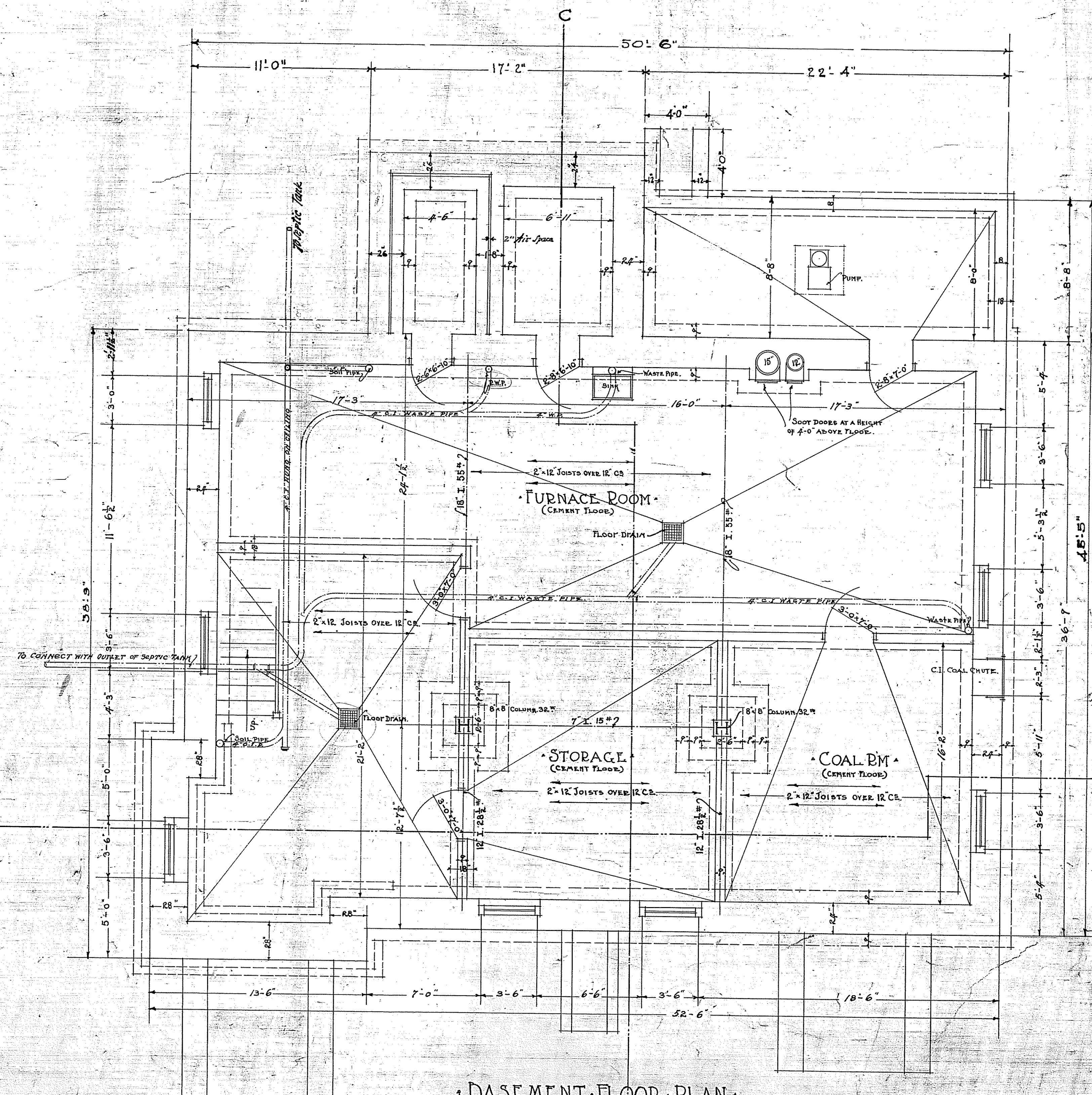
PUBLIC BUILDING, LAKEFIELD, ONT.

Nº 1

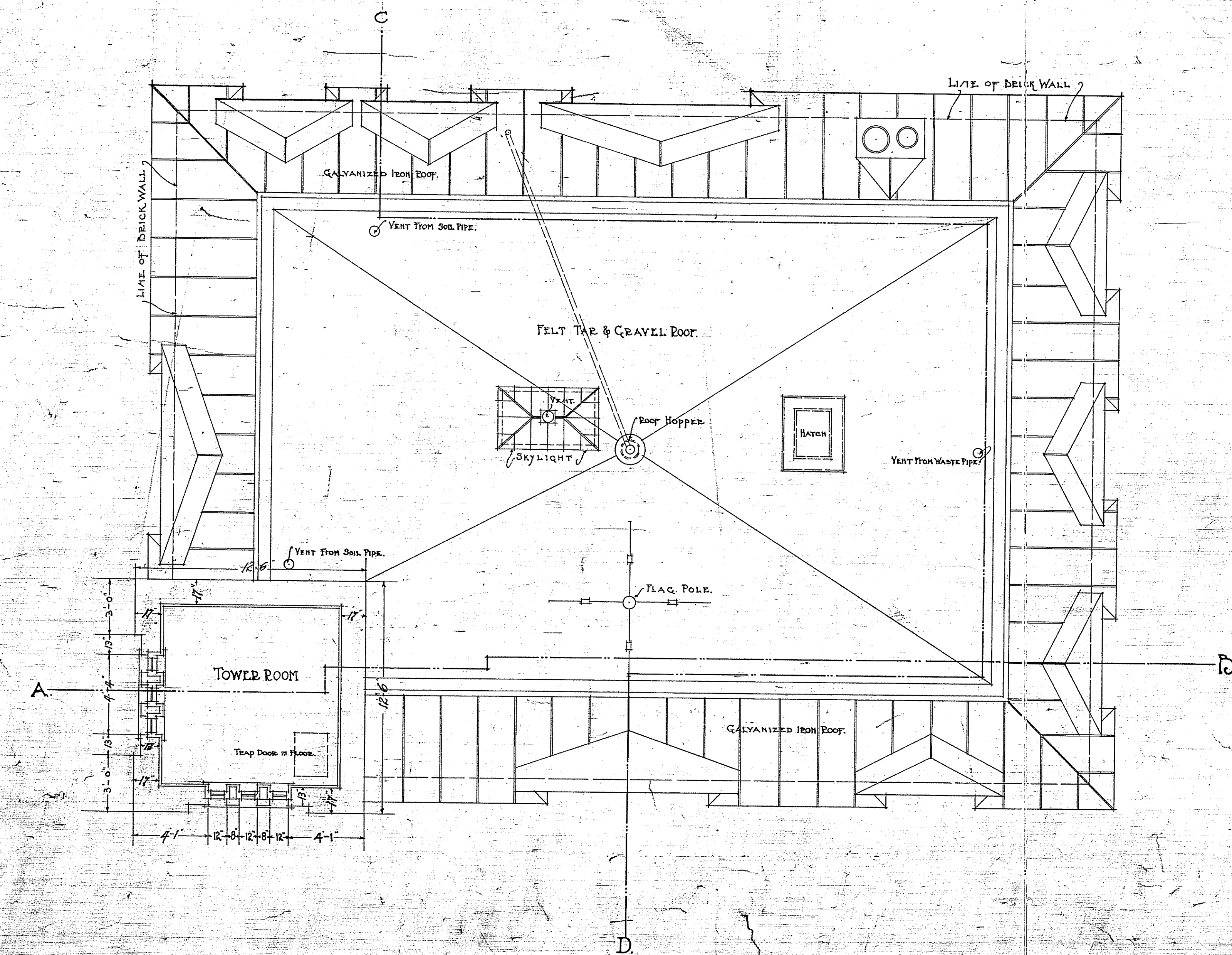
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PLAN OF TOWER ROOF



BASEMENT FLOOR PLAN



ROOF PLAN

N^o 2

[illegible]

PUBLIC BUILDING. LAKEFIELD. ONT.

N^o 3

SCALE:- ONE INCH EQUALS FOUR FEET.



FRONT ELEVATION

NORTH ELEVATION

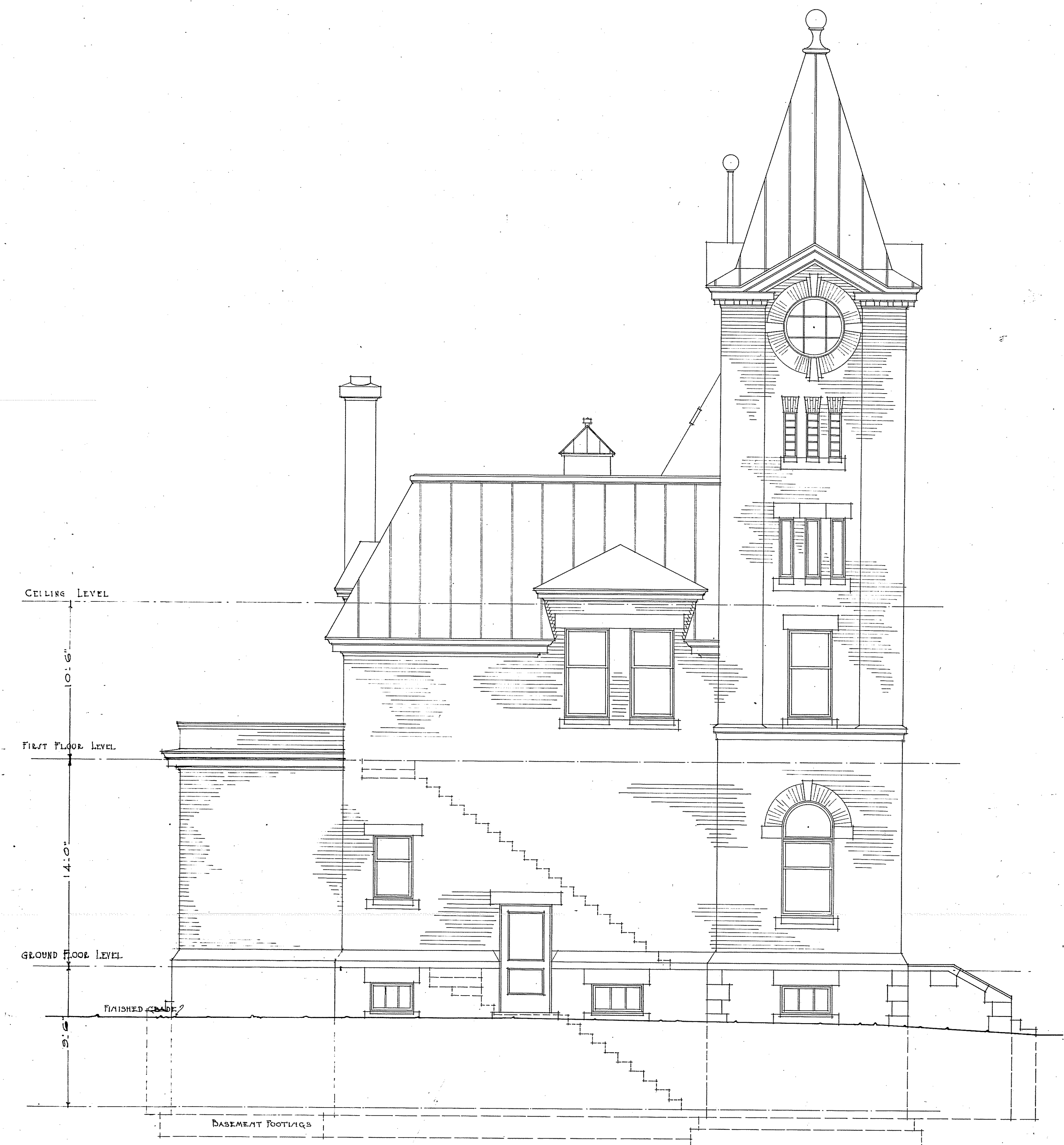
PUBLIC BUILDING LAKEFIELD, ONT.

No 4

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REAR ELEVATION



SOUTH ELEVATION

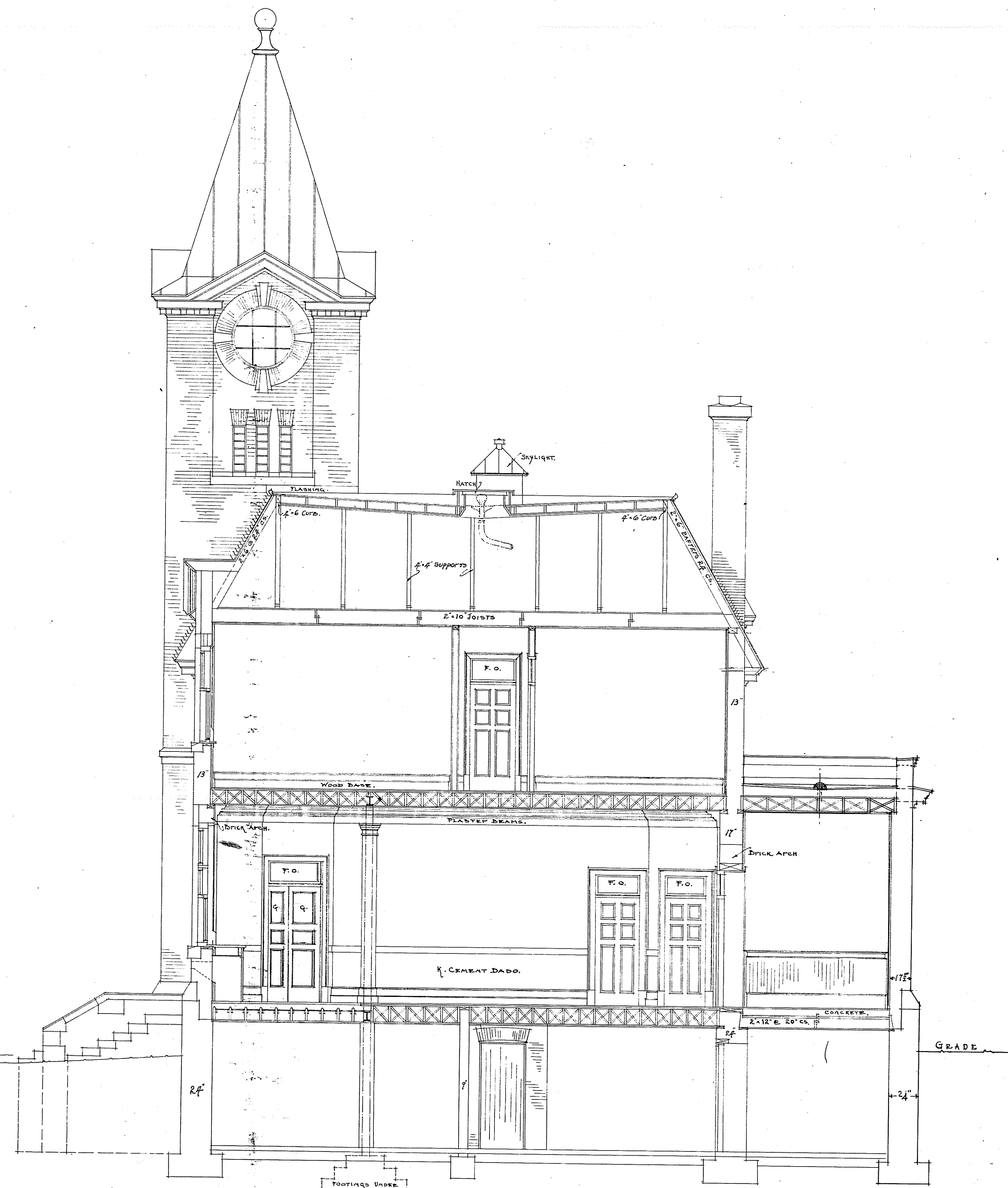
PUBLIC BUILDING. LAKEFIELD. ONT.

N^o 5

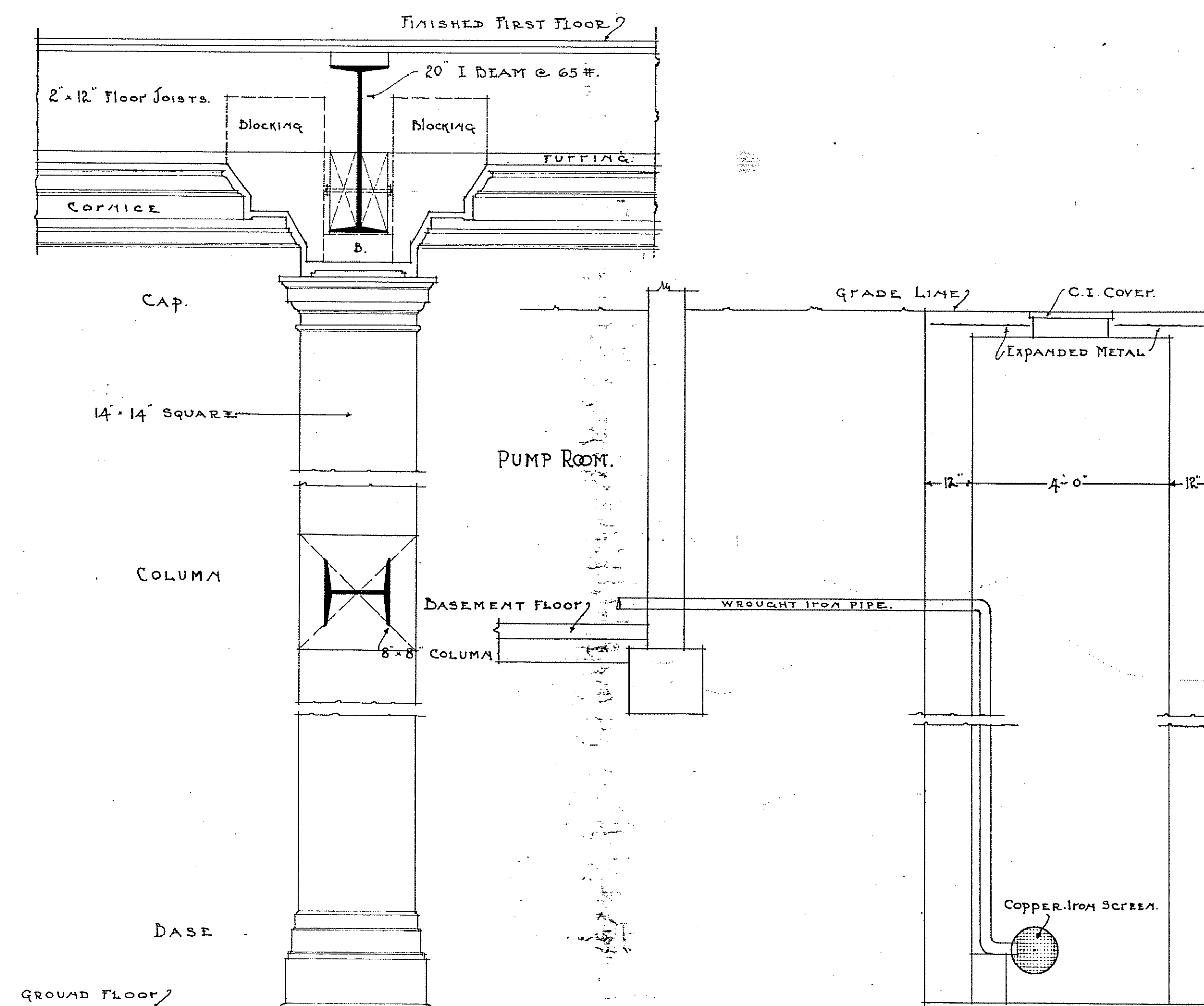
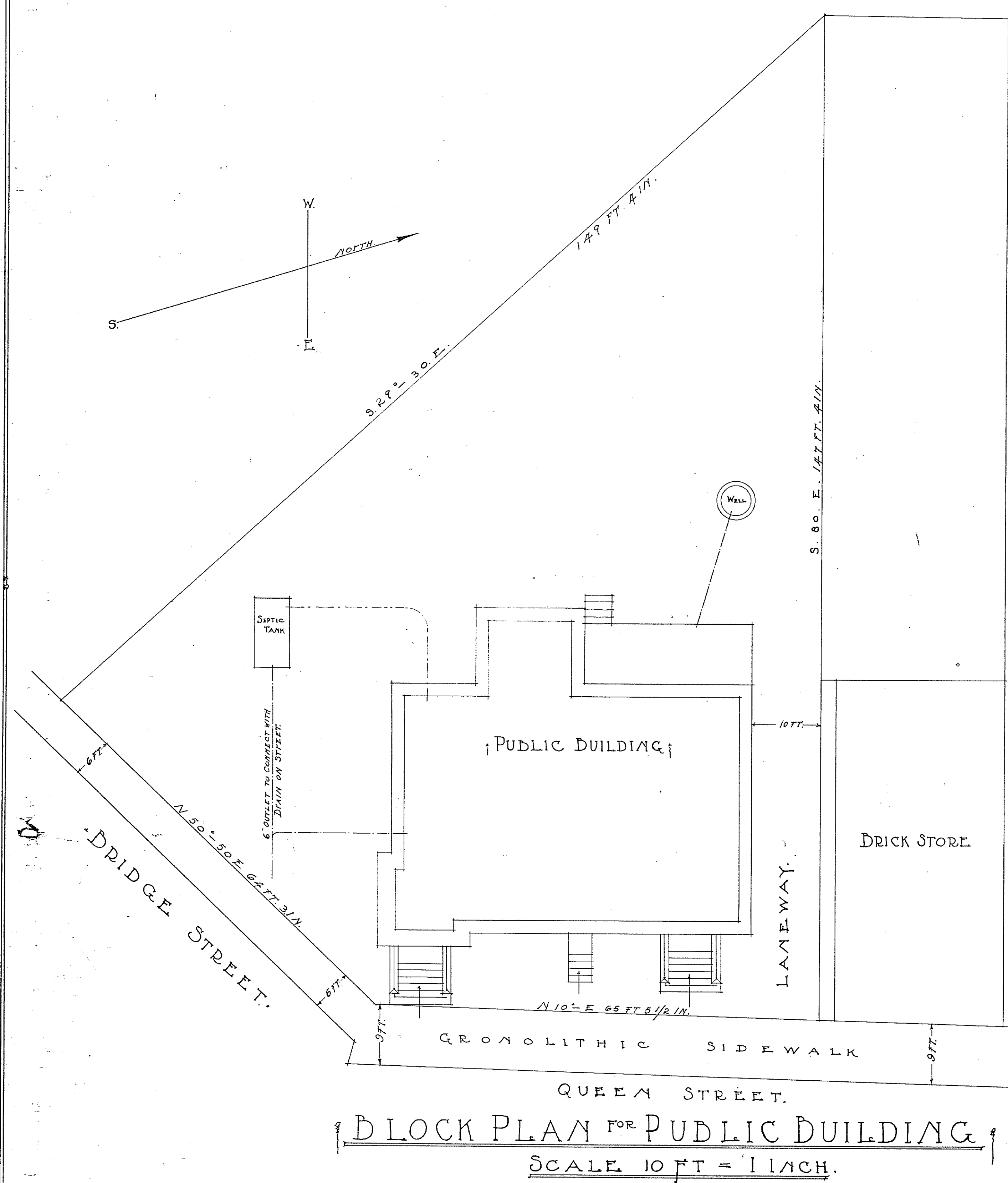
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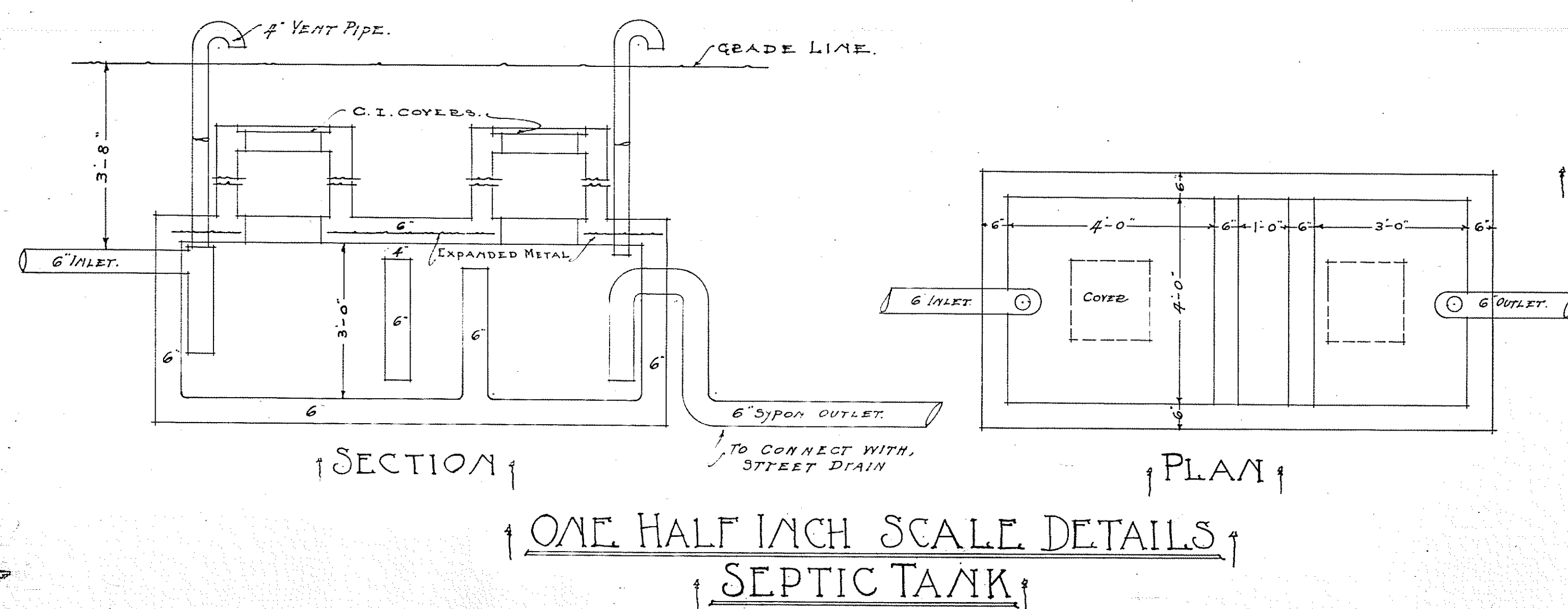
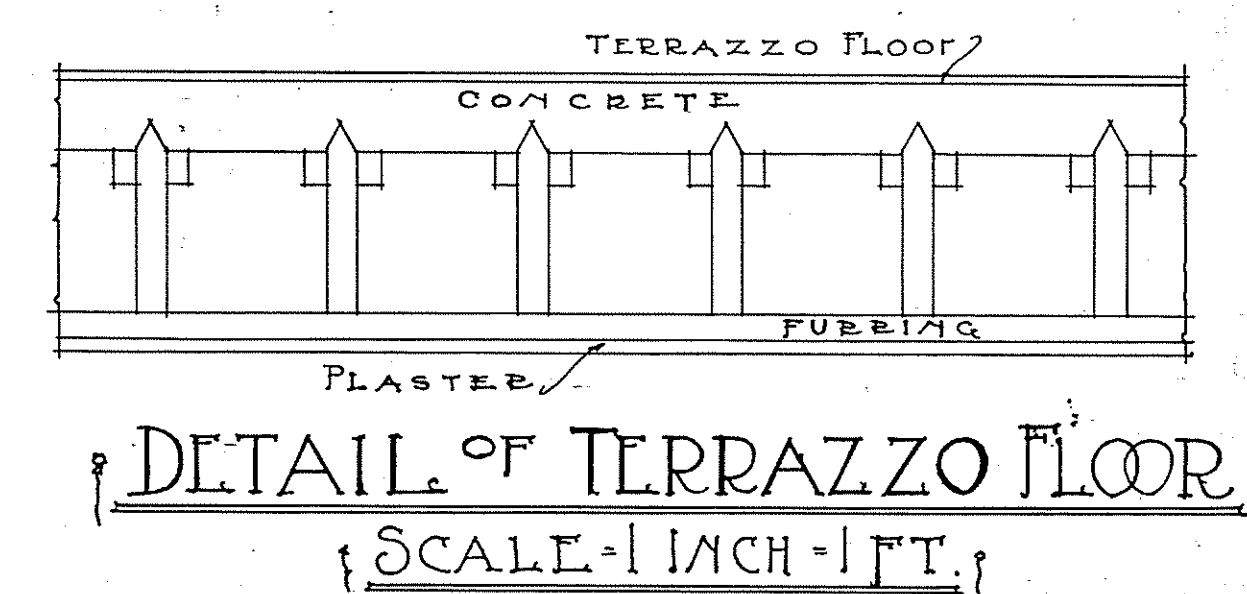
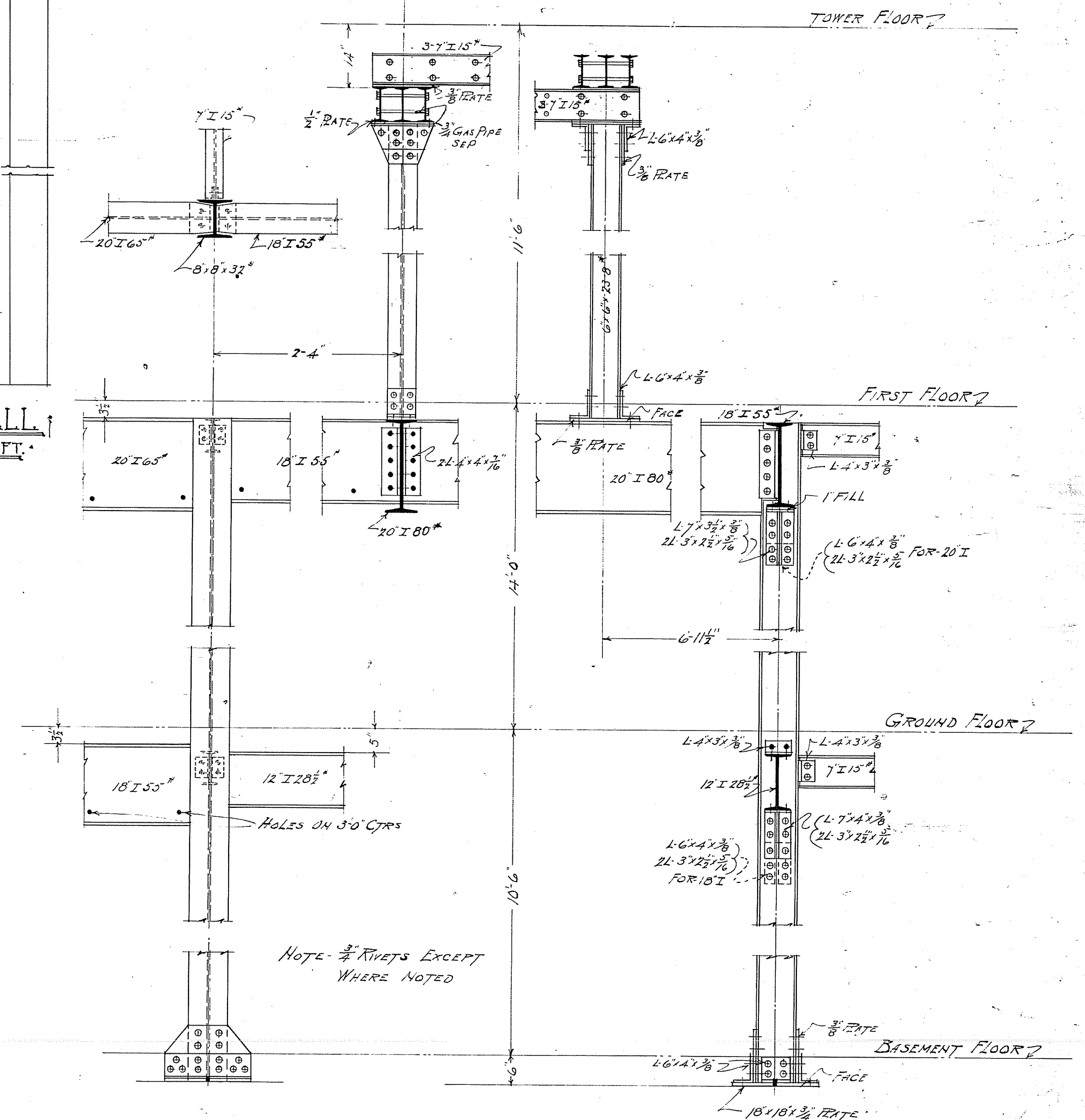
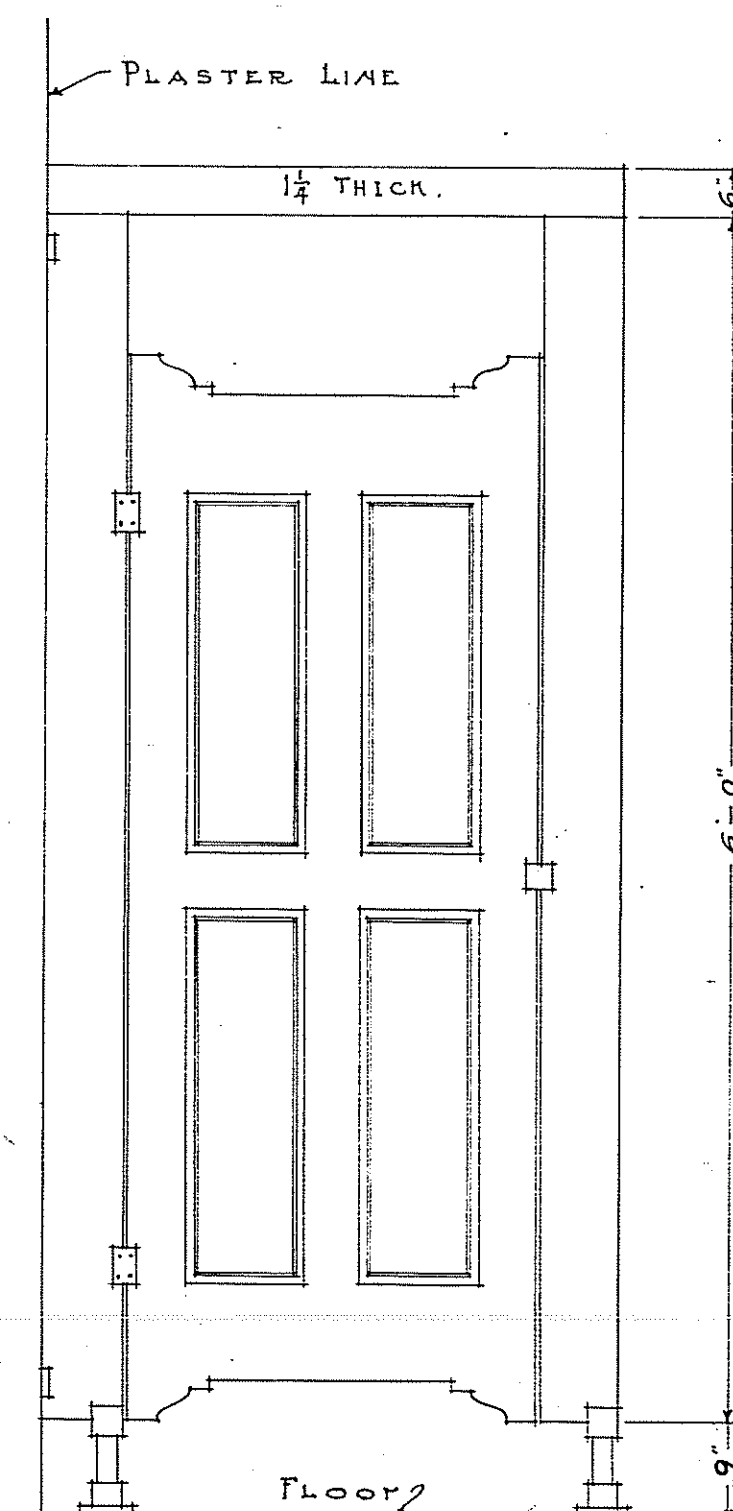
SECTION LINE A-D



SECTION LINE C-D



DETAIL OF WELL
Scale 1/2 in = 1 ft.

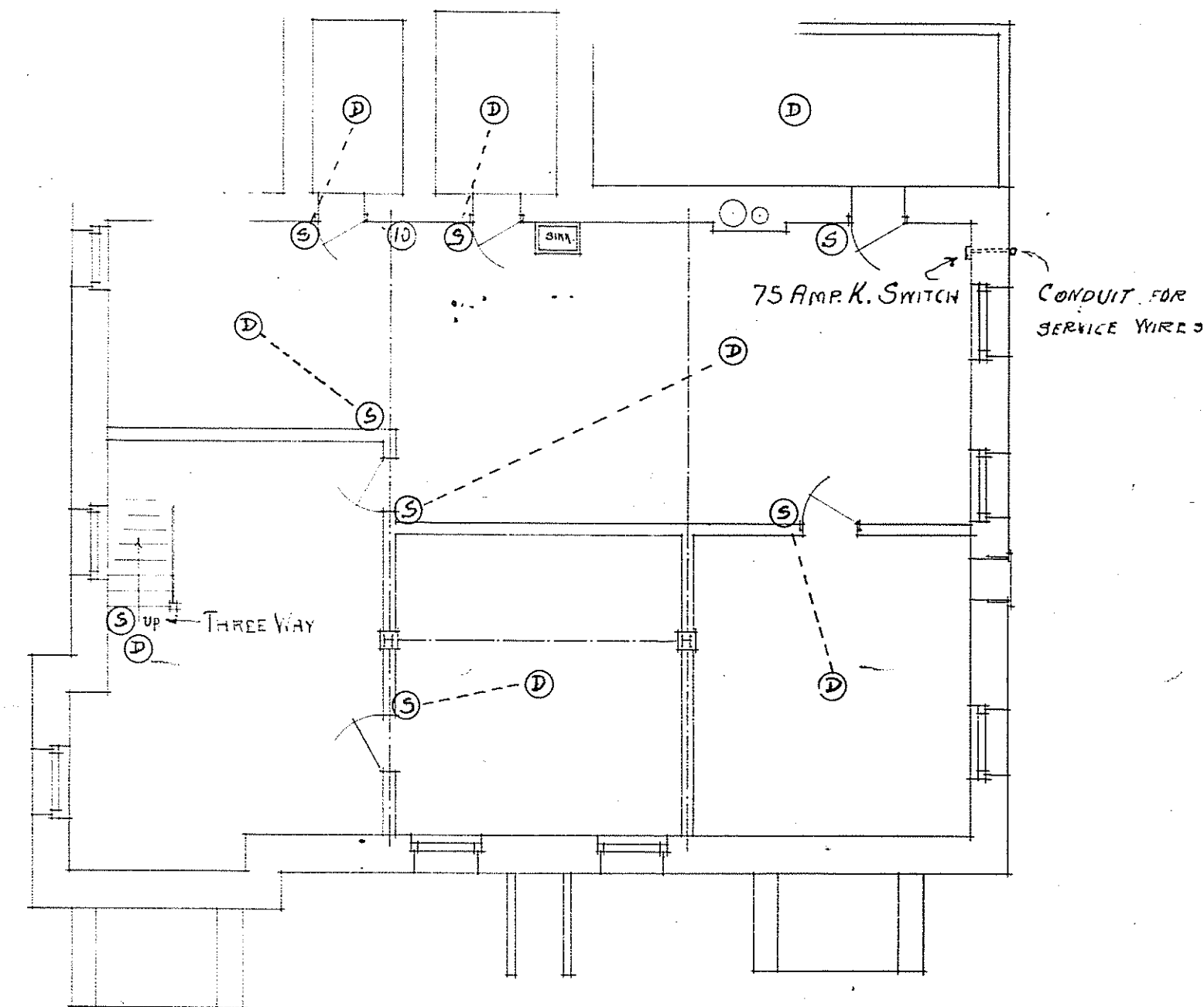


PUBLIC BUILDING. LAKEFIELD. ONT.

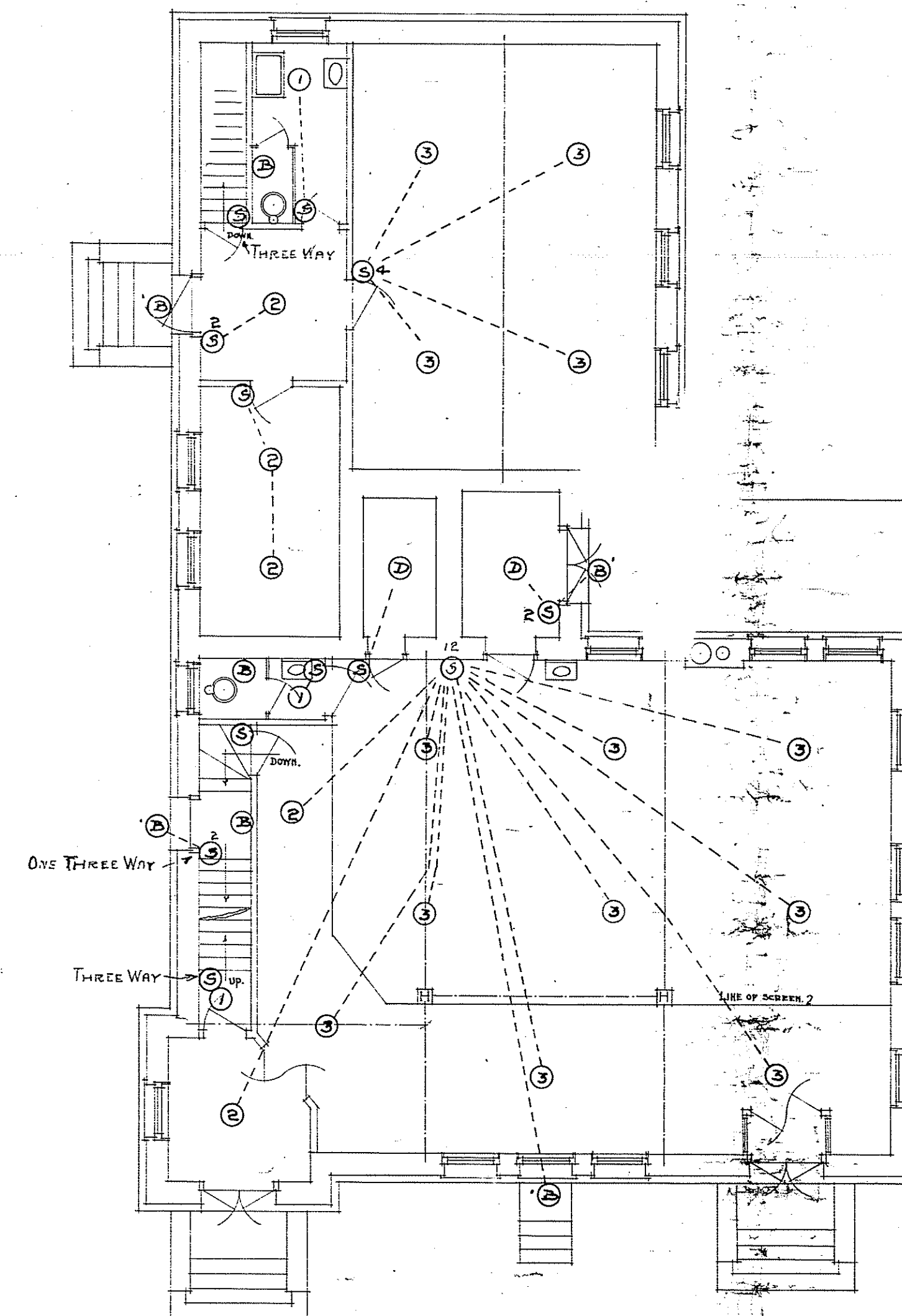
N^o 7

SCALE:- ONE INCH EQUALS EIGHT FEET.

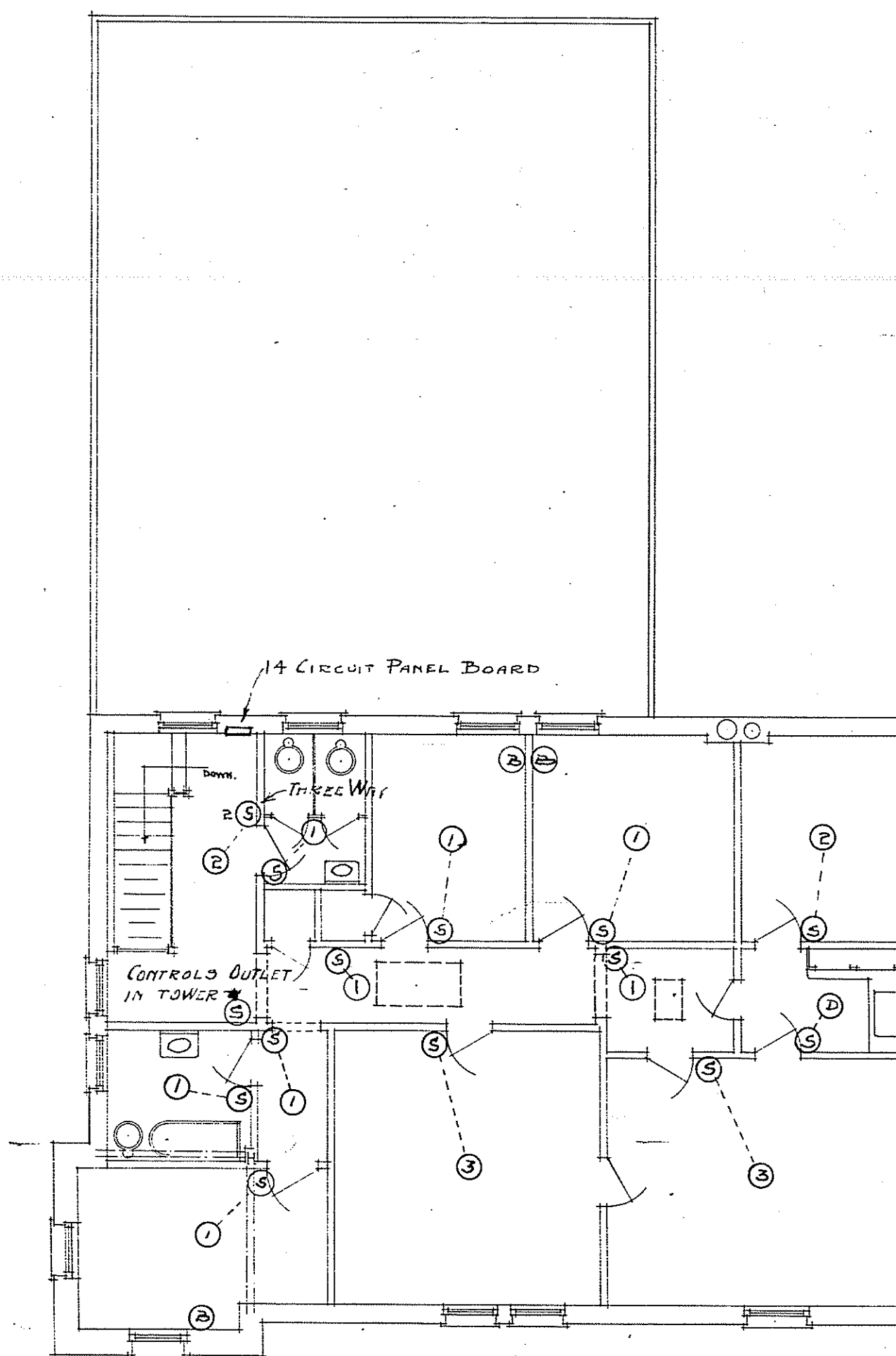
- ① DROP LIGHT
- ② ONE LIGHT IRON BRACKET
- ③ WALL
- ④ FIXTURE
- ⑤ TWO
- ⑥ THREE
- ⑦ TRAP SWITCH
- ⑧ TEN LIGHT OUTLET



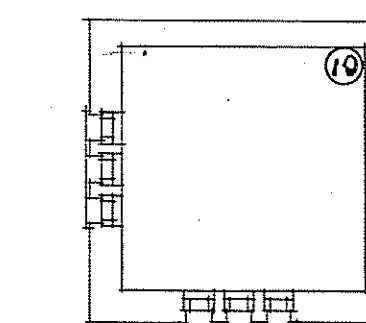
BASEMENT FLOOR PLAN



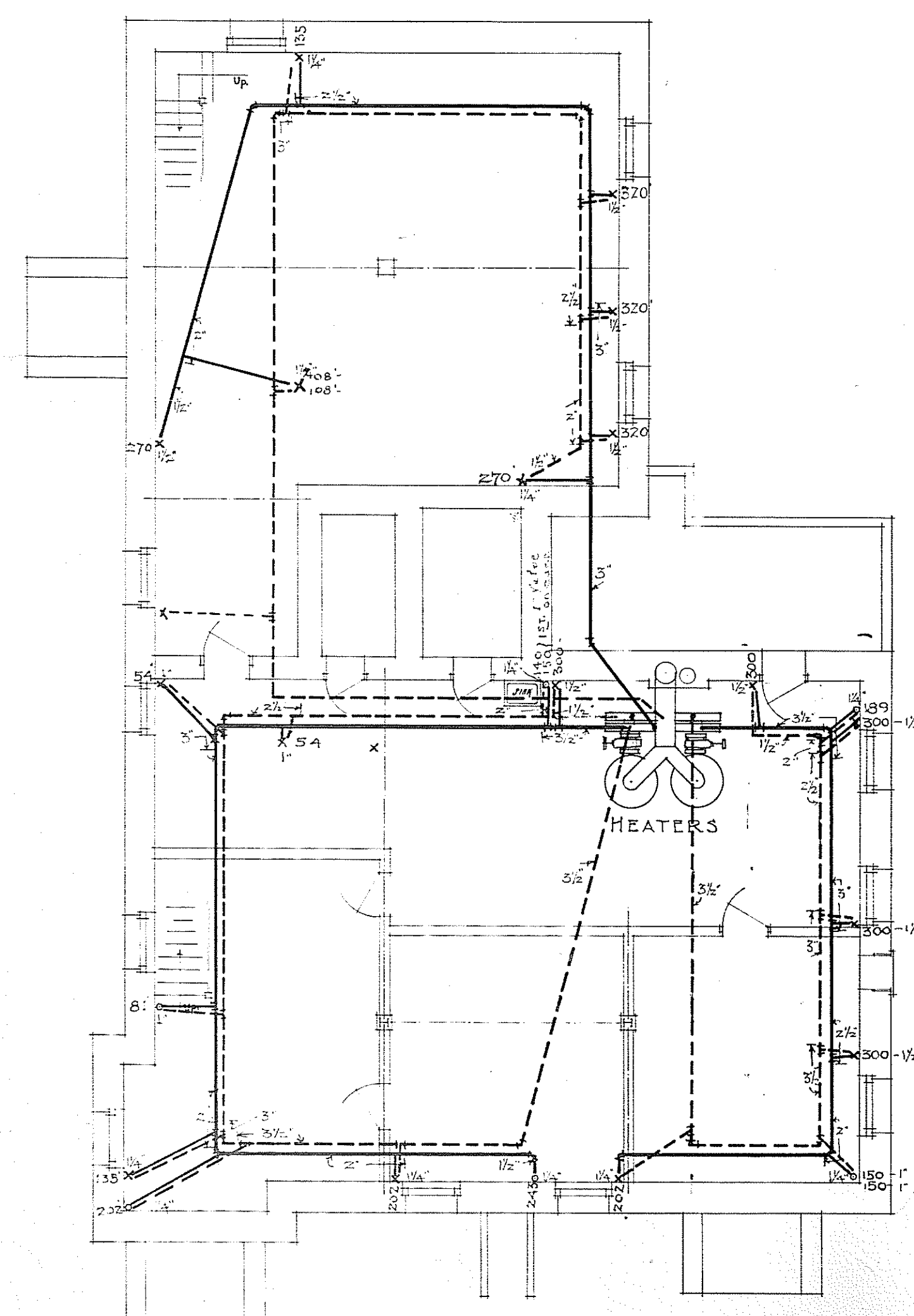
GROUND FLOOR PLAN



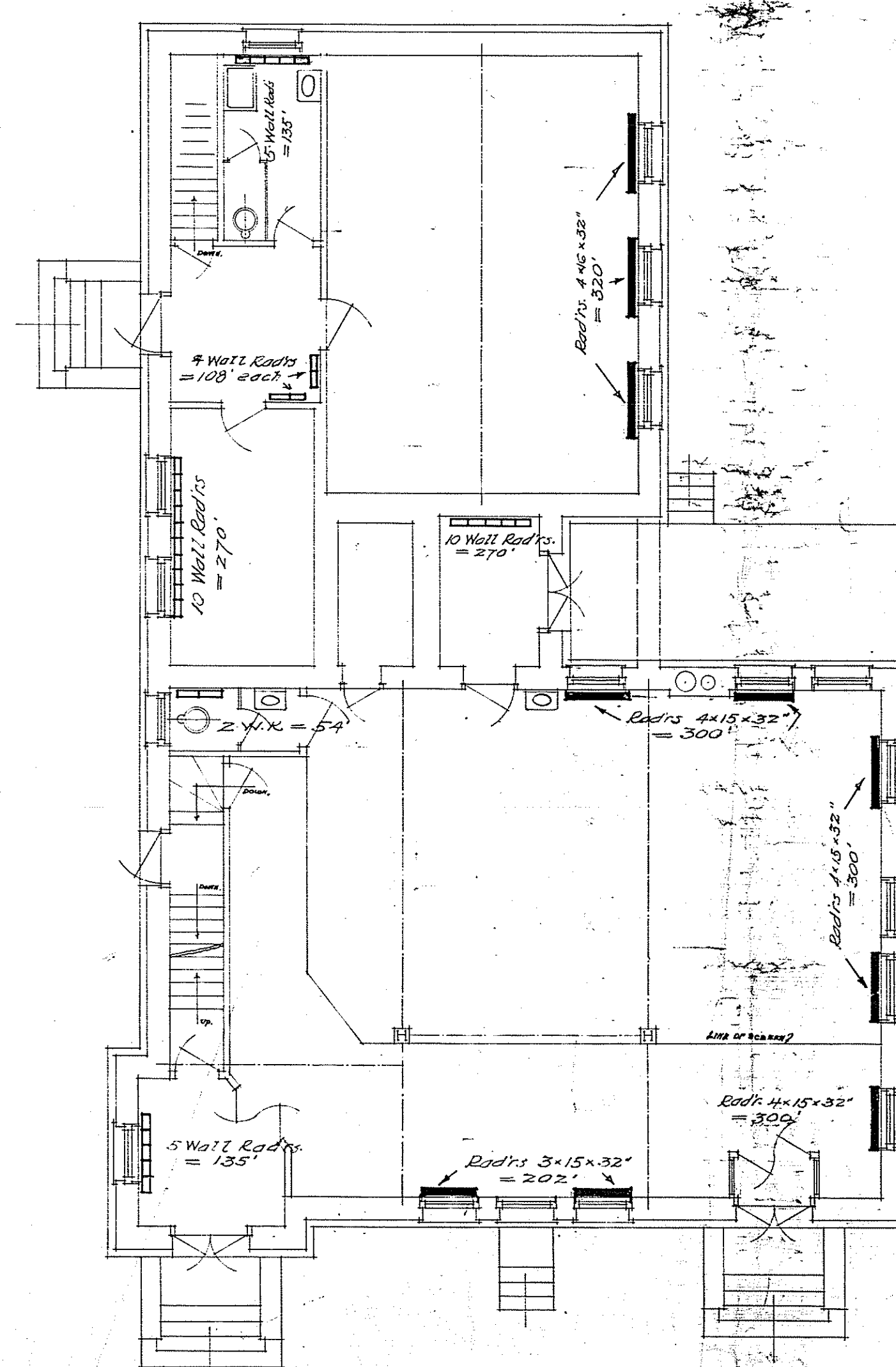
FIRST FLOOR PLAN



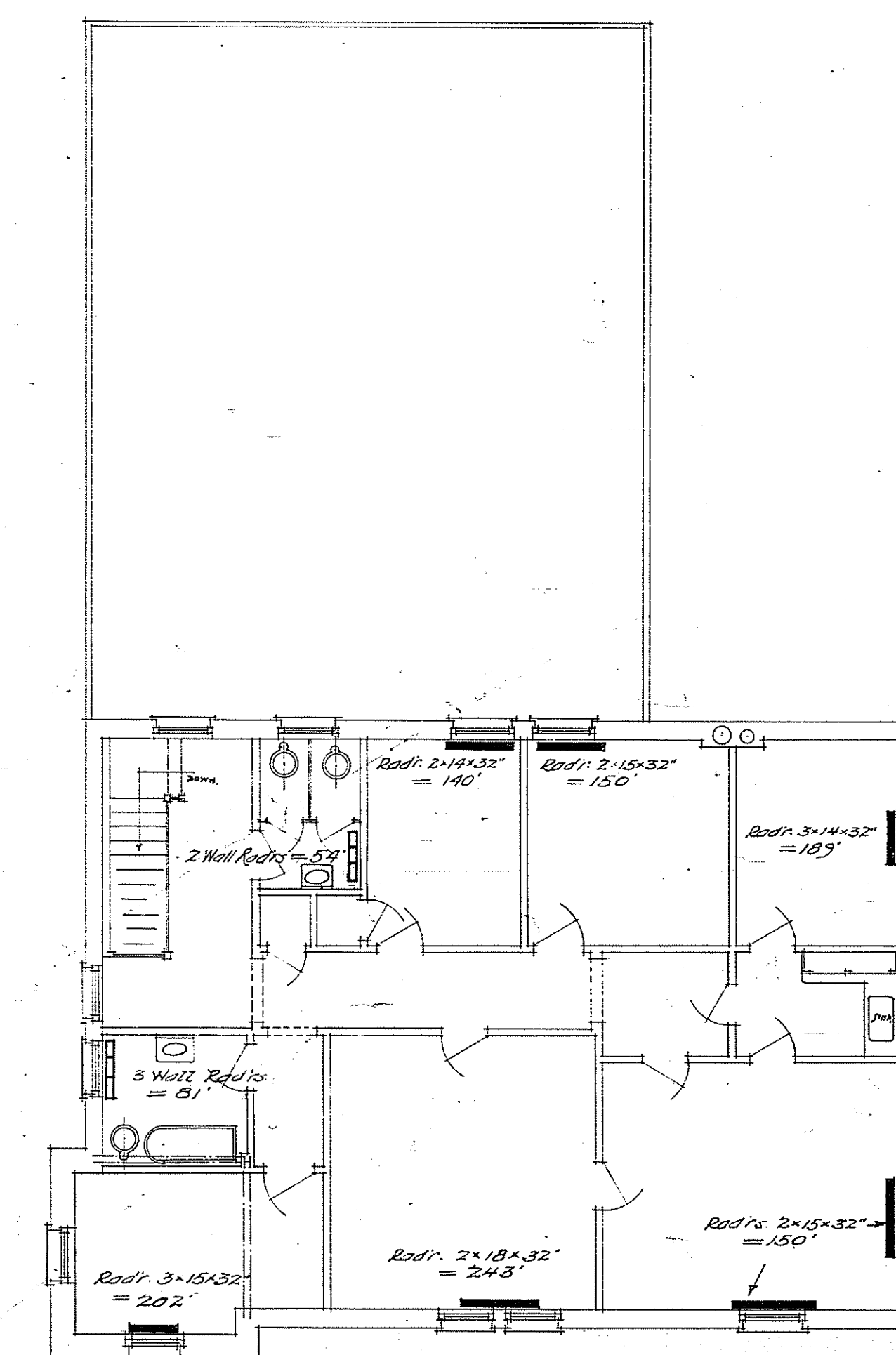
TOWER



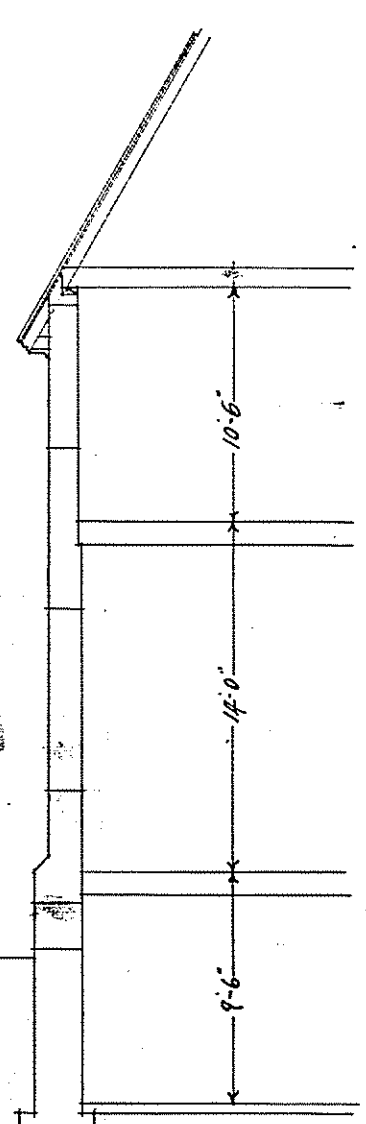
BASEMENT FLOOR PLAN



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECTION

HEATING PLANS

LIGHTING PLANS