

## **ASBESTOS-CONTAINING BUILDING MATERIALS RE-ASSESSMENT REPORT**

### **Fenelon Township Public School**

50 Cameron Road  
Cameron, Ontario

#### **Presented to:**

### **Trillium Lakelands District School Board**

Box 420, County Road 36  
Lindsay, Ontario  
K9V 4S4

Attention: Daniel Whalen

September 2020

**Maple Project No. 18736-32**

# Executive Summary

## 2020 Asbestos-Containing Building Materials Re-Assessment Report

Maple Project	School Name	Address
18736-32	Fenelon Township Public School	50 Cameron Road, Cameron, Ontario

Maple Environmental Inc. was retained by Trillium Lakelands District School Board to perform a re-assessment of known asbestos-containing building materials within the subject building.

The findings and recommendations of the current assessment are summarized below. Please refer to the main body of the report for details.

### FINDINGS

Asbestos-containing materials (ACM) identified within the building at the time of the assessment are as follows:

ASBESTOS BUILDING MATERIALS SUMMARY								
MATERIAL		ASBESTOS			FRIABILITY		Remedial Work Required	
		Yes	No	Suspect	Friable	Non-Friable		Potentially
Sprayed Fireproofing			X		X			NO
Textured Finish			X		X			NO
Mechanical Insulations	Pipe Fittings	X			X			NO
	Pipe Straight		X		X			NO
	Ductwork		X		X			NO
	Mechanical Equip.		X		X			NO
Ceiling Tiles			X				X	NO
Vinyl Sheet Flooring			X				X	NO
Vinyl Floor Tiles		X				X		NO
Asbestos Cement (Transite)		X				X		NO
Plaster				X			X	NO
Drywall Joint Compound				X		X		NO
Other (roofing, caulking, etc.)		X		X		X		NO

Please refer to Room by Room Inventory in Appendix I to view location, quantities, and condition of ACM observed within the building at the time of the assessment.

# **Executive Summary**

## **2020 Asbestos-Containing Building Materials Re-Assessment Report**

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### **RECOMMENDATIONS**

As asbestos-containing materials were found to be present within the building, Ontario Regulation 278/05 requires that the Trillium Lakelands District School Board's Asbestos Management Plan must apply to this building. In addition, an annual re-assessment of all ACM must be performed.

All asbestos-containing materials identified within the building were observed to be in GOOD condition and no immediate recommendations are warranted.

### **General Statement**

This report should be read in its entirety and is not a stand-alone report. Please refer to the Trillium Lakelands District School Board Overview Report provided under a separate cover to review information relevant to Regulations, Inventory Scope and Methodology, Sampling Strategies, Analytical Methods, Assessment Criteria, and the assessment limitations. Further, this Executive Summary must be read in conjunction with the main body of this report below.

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## **1.0 INTRODUCTION**

MAPLE Environmental Inc. ("MAPLE") was retained by the Trillium Lakelands District School Board (TLDSB) to perform a re-assessment of known asbestos-containing building materials within all TLDSB schools where asbestos was previously confirmed to be present (by others).

The assessment was completed in accordance with the requirement of Ontario Regulation 278/05 to complete a re-assessment on an annual basis.

The following report presents the findings and recommendations of the assessment for the specific building listed.

<b>SUMMARY OF BUILDING INFORMATION</b>	
<b>School Name:</b>	Fenelon Township Public School
<b>Building Address:</b>	50 Cameron Road, Cameron, Ontario
<b>Number of Floors:</b>	1 (no basement)
<b>Approximate Square Footage:</b>	24,500
<b>Assessed by:</b>	Richards Reboks
<b>Assessment Date:</b>	July 30, 2020

## **2.0 APPLICABLE ONTARIO REGULATIONS**

Applicable Ontario Regulations for each of the materials included in the investigation are briefly described below.

### **2.1 Ontario Regulation 278/05 (Asbestos)**

The Ontario Ministry of Labour Regulation 278/05 requires a detailed asbestos inventory be performed in all buildings where friable and non-friable asbestos-containing materials (ACM) are present. The inventory must be available at the work place and must identify the type and location of asbestos-containing materials on a room-by-room basis, where necessary.

Each individual building report prepared by MAPLE meets or exceeds the requirements for an asbestos survey under Ontario Regulation 278/05.

Ontario Regulation 278/05 applies to buildings with regards to maintenance, renovation or demolition work where ACM is present and may be disturbed. The regulation requires all buildings where asbestos is known to be part of the building materials to implement an Asbestos Management Program

(AMP). TLDSB has prepared and maintains an AMP of which the current Re-Assessment report is part of.

## **2.2 Ontario Regulation 347**

Ontario Regulation 347 applies to the transport of waste from the location of generation to a landfill site authorized to receive specific wastes. The regulation also prescribes procedures on how the specific wastes are to be handled at the landfill site.

The major requirements of the building owner and the person(s) removing the waste are to ensure that:

- The waste is appropriately packaged and labelled;
- The transport vehicle is appropriately placard; and
- The waste is to be transported as directly as possible to the landfill site once it leaves the site.

Some wastes require the Owner to register a Generator (of waste) number and many wastes require classification that can restrict or even prohibit their disposal in landfill.

It is important to note that the building owner can be held responsible for the waste until the waste disposal site accepts it.

## **3.0 SURVEY SCOPE AND METHODOLOGY**

The surveys were performed on a Room-by-Room basis within each building included in the scope of the assessment where asbestos was previously identified (by others).

The scope of the surveys included all friable and major non-friable materials suspected to contain asbestos. The term friable is applied to a material that can be readily reduced to dust or powder by hand or moderate pressure. Asbestos materials that are friable have a much greater potential to release airborne asbestos fibres when disturbed.

Typical friable asbestos materials include; sprayed fireproofing or thermal insulation, textured (stippled) plaster, and thermal mechanical insulation. Typical non-friable materials include: asbestos cement (transite) products, caulking, vinyl floor tiles, asbestos textiles and gaskets. Additional materials such as ceiling tiles and drywall joint compounds are classified as non-friable, but because of their ability to release dust when disturbed they are considered as "potentially friable" for the purpose of this report.

### **3.1 Inventory Methodology**

In order to determine the location of the materials included in the assessment, each room or area was entered where practical (i.e.: where access was possible without the demolition of walls, roof or ceilings or destruction of flooring) where asbestos materials were previously identified. An investigation of areas of the building where asbestos was not previously identified was not included in the scope of the current project.

Representative views were made above accessible suspended ceiling systems. Drywall or plaster ceilings were accessed via existing ceiling access panels only. The inventory did not include destructive testing of building systems or finishes to observe possible hidden conditions.

### **3.2 Asbestos Assessment Criteria**

The recommendations and suggestions made as part of this report with respect to asbestos have taken into consideration the condition and accessibility of the asbestos-containing material as well as other factors such as water damage, vibration, air movement, and general activities in the area.

Where ACM is found to be in GOOD condition and not likely to deteriorate or fall, the general recommendation would be to re-evaluate the condition of the material on an annual basis (required by Regulation 278/05). This recommendation can be subject to change if the material is located in a manner that persons untrained in asbestos awareness could physically damage it.

Where the ACM is found to be damaged (i.e. FAIR or POOR condition), a recommendation to have the material cleaned-up, repaired, removed, enclosed, or encapsulated is offered. The recommendation will also indicate which asbestos procedure should be used to perform the remedial work (i.e. Type 1, Type 2, Type 3, or Glove Bag Removal Methods).

In each area or room inventoried, the quantity, condition (GOOD, FAIR, or POOR) and accessibility (A, B, C, D or E) of each suspect material was recorded.

The definitions for condition and accessibility items are as follows:

**GOOD**      Material is intact with no visible signs of damage.

**FAIR**        Material is visibly damaged but can be repaired.

**POOR**        Material is damaged beyond repair and likely needs to be removed.

**Access A**    Accessible to all occupants of the building.

- |                 |  |
|-----------------|--|
| <b>Access B</b> | Accessible to Maintenance personnel without the use of a ladder (i.e. Mechanical Room, pipe chase etc.).   |
| <b>Access C</b> | Accessible to Maintenance personnel with the use of a ladder and is exposed to view without removing building components.                                |
| <b>Access D</b> | Accessible to Maintenance personnel with the use of a ladder and is concealed from viewing due to a building component (i.e. above a removable ceiling). |
| <b>Access E</b> | Not accessible without demolition of a building component (i.e. above a fixed ceiling system).   |

The asbestos related information collected during the previous assessments was confirmed and the room-by-room data updated to reflect the current information.

### **3.3 Limitations and Omissions from Scope**

Due to the nature of building construction, some limitations exist in regards to the possible thoroughness of any building materials inventory. The field observations, measurements, and analysis are considered sufficient in detail and scope to form a reasonable basis for the findings presented in this report. MAPLE warrants that the findings and conclusions contained herein have been made in accordance with generally accepted evaluation methods in the industry and applicable regulations at the time of the performance of the inventory.

It is possible that conditions may exist which could not be reasonably identified within the scope of the inventory or which were not apparent during the site investigation. MAPLE believes that the information collected during the inventory period concerning the property is reliable. No other warranties are implied or expressed.

In addition, during a standard asbestos assessment, performed for the purposes of regulatory compliance, it is industry practice to exclude some non-friable materials in the inventory. Examples of such assumptions include; elevator brakes, roofing felts and mastics, high voltage wiring, mechanical packing and gaskets, underground services or piping, fire-doors, window caulking, levelling compound, and/or materials used in operating equipment. As such, these materials were not sampled at the time of this survey and where present are assumed to be asbestos containing until proven otherwise.



### **3.4 Sampling Strategy and Analytical Methods**

As the majority of materials were previously sampled by others, the requirement for sampling during the current survey was limited. Where samples were collected, they conformed to the criteria outlined below and in compliance with O. Reg. 278/05.

A small volume of the material was removed either from a damaged section or cut out of intact material and then repaired by sealing with tape to prevent the release of fibres. The collected samples were placed in plastic bags, sealed and labelled and then sent to an independent laboratory for analysis. To ensure quality results, the independent laboratory chosen is NVLAP accredited and successfully participates in an "Asbestos Proficiency Analytical Testing Program" and as such, these laboratories are responsible for their findings.

The collection of samples was performed in accordance with regulatory sampling requirements and with sufficient frequency to obtain a general pattern of asbestos use within the building. Due to building renovations or modifications that have occurred, the consistency of the application of asbestos materials may not be uniform throughout the entire building. It is important to note that without sampling every wall, pipe section, ceiling tile etc. it is not possible to identify the possible asbestos content in every material present in the building. For this reason, materials similar in appearance to those sampled elsewhere in the building were visually identified as being homogeneous and thus are assumed to be composed of the same material, thus additional sampling is not required.

In accordance with Reg. 278/05, samples were collected at the following frequency.

<b>Material Type</b>	<b>No. Samples</b>
Sprayed Fireproofing	Up to 7
Texture Coat	Up to 7
Pipe Fitting Insulation	3
Pipe Straight Insulation	3
Ductwork Insulation	3
Ceiling Tiles	3
Vinyl Sheeting Flooring	3
Vinyl Floor Tile	3
Plaster Finishes	Up to 7
Drywall Compound	Up to 7

An independent NVLAP accredited laboratory, was used to analyse the collected samples. Analysis was performed following the Code of Practice for the identification of asbestos in bulk material, as detailed in Ontario Regulation 278/05. Bulk samples were analysed using the Polarized Light Microscopy ("PLM") Technique with Dispersion Staining. The identification of asbestos fibre in bulk material is based on a collective set of parameters dependent on the unique shape and crystallographic properties of each fibre as viewed through the microscope. This method is useful for the qualitative identification of asbestos and the semi-quantitative determination of asbestos content in bulk materials expressed as a percent of projected area. The method identifies types of asbestos and also measures percent of asbestos as perceived by the analyst in comparison to standard area projections or trained experience.

Given the composition of some vinyl floor products, the PLM analysis method is often prone to yielding false negative analysis results. Therefore it may be prudent that the Transmission Electron Microscopy (TEM) analysis method be used to determine the asbestos content in the vinyl floor products, if negative results are obtain from the laboratory analysis.

### **3.5 Drawings**

Drawings provided for each building indicate the following (where present):

- ◇ Location Numbers (reference to Room-by-Room asbestos data)
- ◇ Asbestos-Containing Sprayed Fireproofing
- ◇ Asbestos-Containing Texture Finishes
- ◇ Asbestos Containing Ceiling Tiles
- ◇ Asbestos-Containing Flooring Materials
- ◇ Presence of Asbestos-Containing Mechanical Insulations will not be specifically indicated on the drawings; however, a general statement regarding the presence of ACM mechanical insulations, where present, has been indicated on the drawings.
- ◇ Presence of asbestos-containing drywall joint compound and hard plaster will not be specifically identified on the drawings; however, a general statement regarding the presence of these ACM materials, where present, has been indicated on the drawings.

## **4.0 INVENTORY FINDINGS**

The following is a brief discussion of the extent to which Asbestos-Containing Materials (ACM) was identified in the building. The discussion is organized under the headings of materials that are generally suspected of containing asbestos. Refer to the Room-by-Room Survey Inventory in Appendix I for a detailed description and location of all ACM.

Destructive testing was not conducted and as such some areas within the building were not accessible for an assessment (i.e. above solid ceilings, behind walls). Access for viewing within wall and ceiling cavities was not always possible. Suspect asbestos materials may be present within ceiling and wall cavities that were not identified in this report. This comment is particularly important for materials such as mechanical insulation. Caution should be taken when demolishing solid wall finishes within the building.

#### **4.1 Sprayed Fireproofing (Friable)**

No sprayed fireproofing was observed in the building.

#### **4.2 Thermal Mechanical Insulation (Friable)**

Asbestos and non-asbestos mechanical insulations were identified in the building. A brief description of the insulations is provided below categorized by mechanical system type. Further, it is important to note that mechanical systems may be present within walls and ceiling cavities or pipe chases that were not accessible during this assessment. The presence of ACM mechanical insulations in these locations should be suspected.

##### **Pipe Systems:**

Pipe Fittings, including elbows, valves, tees, hangers, etc. where insulated are insulated with parging cement previously confirmed to contain Chrysotile asbestos or are insulated with non-asbestos materials (i.e. Fibreglass). All pipe fittings were found to be in GOOD condition.

Pipe Straights, where insulated are insulated with non-asbestos fibreglass and/or armaflex materials.

##### **Ductwork:**

Duct systems were either insulated with non-asbestos fibreglass or were un-insulated.

##### **Mechanical Equipment:**

Mechanical equipment was observed to be externally un-insulated.

#### **4.3 Texture Finish (Friable)**

No asbestos-containing texture finishes were identified to be present within the building.

#### **4.4 Acoustic Ceiling Tiles (Potentially Friable)**

No asbestos-containing ceiling tiles were identified to be present within the building.

#### **4.5 Vinyl Sheet Flooring (Potentially Friable)**

No asbestos-containing vinyl sheet flooring was identified to be present within the building.

#### **4.6 Vinyl Floor Tile (Non-Friable)**

Asbestos and non-asbestos vinyl floor tile systems were identified within the surveyed area at the time of the assessment.

As noted during the current re-assessment survey, 9"x9" vinyl floor tiles are present throughout the building. Historically, 9"x9" vinyl floor tiles have been found to contain asbestos. Although these vinyl floor tiles have been previously sampled and found not to contain asbestos; due to limitations in the analytical method for analysis of asbestos in vinyl tiles (susceptible of false negative results), it is recommended that all vinyl floor tiles be sampled prior to major renovations or demolition.

#### **4.7 Asbestos Cement Products "Transite" (Non-Friable)**

Asbestos-containing cement boards, commonly referred to as "Transite" is present along the exterior walls behind the radiator units.

Associated on the inner aspect between the board and the masonry wall on the building exterior, asbestos-containing corrugated paper insulation is present. See Section 4.10 for details.

#### **4.8 Drywall Joint Compound (DJC)**

While previous sample results indicated drywall joint compound sampled at the Site does not contain asbestos, it should be noted that the concentration of asbestos within drywall joint compound is historically known to be potentially inconsistently distributed. Further, it is possible that various phases of construction and renovations have occurred at the Site. Therefore, the number of samples previously collected may not be representative of all drywall joint compound finishes in the building.

#### **4.9 Plaster**

No plaster finishes were identified in the building.

#### **4.10 Corrugated Paper**

Asbestos-containing corrugated paper insulation associated with transite wall panels was identified within the building. All corrugated paper insulation was observed to be encapsulated with canvas and lagging. Refer to Room-by-Room Asbestos Inventory in Appendix I for locations and quantities.

## **5.0 RECOMMENDATIONS**

### **5.1 General Recommendations**

Due to the presence of ACM within the building, TLDSB must maintain their existing Asbestos Management Program for this property.

A re-assessment of known ACM is to be conducted at least once annually.

It is important to note that due to the presence of solid walls and ceiling systems, ACM may be present in concealed locations not identified in this report.

The assessment confirmed the presence of ACM mechanical insulations within the building (Refer to room-by-room Inventory for condition and quantities). Should any proposed renovations likely cause disturbance of the mechanical insulations, the materials would require removal using Type 2, Type 3 or Glove Bag Asbestos Abatement Procedures as appropriate for the work being performed.

Removal or disturbance of Transite cement and associated asbestos paper insulation requires the use of Type 2 Asbestos procedures (provided no power tools are used and the material is wetted). If power tools are required Type 3 Asbestos Abatement Procedures need be applied.

Prior to any major renovations or demolition, sample and analyze all vinyl floor tiles present throughout the building and Transite board on the building exterior for asbestos content.

Materials suspected of containing asbestos should be sampled prior to disturbance. Suspect materials include; drywall joint compound, plaster, roofing materials, caulking, etc. unless previously confirmed to contain asbestos.

### **5.2 Specific Recommendations**

All asbestos-containing materials identified within the building were observed to be in GOOD condition and no recommendations are warranted.

## **6.0 LIMITATIONS**

Due to the nature of building construction some limitations exist as to the possible thoroughness of the subject investigation. The field observations are considered sufficient in detail and scope to form a reasonable basis for the findings presented in this report. MAPLE warrants that the findings and conclusions contained herein have been made in accordance with generally accepted evaluation methods in the industry and applicable regulations at the time of the performance of the assessment.

It is possible that conditions may exist which could not be reasonably identified within the scope of the investigation or which were not apparent during the site investigation. MAPLE believes that the information collected during the investigation period concerning the property is reliable. No other warranties are implied or expressed.

Information provided by Maple is intended for Client use only. Any use by a third party, of reports or documents authored by Maple, or any reliance by a third party on or decisions made by a third party based on the findings described in said documents, is the sole responsibility of such third parties. Maple accepts no responsibility for damages suffered by any third party as a result of decisions made or actions conducted.

The liability of Maple or its staff will be limited to the lesser of the fees paid or actual damages incurred by the Client. Maple will not be responsible for any consequential or indirect damages. Maple will only be liable for damages resulting from negligence of Maple; all claims by the Client shall be deemed relinquished if not made within two years after last date of services provided.

Please contact Maple Environmental Inc. at (905) 257-4408 for inquiries regarding this project.

**Sincerely,**

**MAPLE ENVIRONMENTAL INC.**  
Environment, Health and Safety Consultants

**Prepared By:**



**Richards Reboks**  
**Senior Project Technologist**

**Reviewed By:**




**Kyle Prosser**  
**Senior Project Manager**

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**APPENDIX I**  
**ROOM-BY-ROOM ASBESTOS INVENTORY**

APPENDIX I - ROOM BY ROOM ASBESTOS INVENTORY


	<b>STRUCTURAL ELEMENT</b> RF: Roof      B/J: Beams/Joists WN: Window      CB: Chalkboard FL:Floor      PI: Pipe CL:Ceiling      DT:Duct WL:Wall      BL:Boiler DK:Deck      MC:Mechanical				<b>ACCESSIBILITY</b> A: All occupants of the facility B: Maintenance staff without a ladder C: Maintenance staff with a ladder, exposed to view without moving building components D: Maintenance staff with a ladder, concealed from view by building components E: No access without demolition or removal of fixed building components or systems				<b>TERMINOLOGY</b> ACM: Asbestos Containing Material      N/A: Not Applicable      PL: Plaster      TB: Transite Board      VSF: Vinyl Sheet Flooring CT: Ceiling Tile      N/Anz: Not Analyzed      RM: Roofing Materials      TP: Transite Pipe      V/C: Visually Consistent w/ Other Sampled Material DJC: Drywall Joint Compound      N/D: None Detected      SFP: Sprayed Fireproofing      VI: Vermiculite Insulation FTG: Fitting      PI-AC: Pipe Insulation - Aircell      SF: Square Feet      VFT: Vinyl Floor Tile      WC: Window Caulking LF: Linear Feet      PI-PC: Pipe Insulation-Parging Cement      TF: Texture Finish PI-CP: Pipe Insulation-Caposite										
									<b>CONDITION</b> G: Good    F: Fair    P: Poor										
ID	Facility	Floor #	Room #	Room name	Has ACM	Friable	Struct. Elem.	Application	Material	Type	Qty	Condition	Sample #	Action	Ref #	Comments 1	Comments 2	Comments 3	Notes
48366	Fenelon Township Public School	1	102	Room-101	No	Yes	CL	CT	3	N/D			V/C 28-BS-05						
48367	Fenelon Township Public School	1	102	Room-101	No	Yes	PI	PI-PC		40% CHRYSOTILE			V/C 28-BS-02						Abated 2016.
48362	Fenelon Township Public School	1	103	Room-100	No	No	FL	VFT	4	N/D			28-BS-10A						
48363	Fenelon Township Public School	1	103	Room-100	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48364	Fenelon Township Public School	1	103	Room-100	No	Yes	CL	CT	3	N/D			V/C 28-BS-05						
48365	Fenelon Township Public School	1	103	Room-100	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	2 Fittings	G	V/C 28-BS-02			D			
48398	Fenelon Township Public School	1	104	Halway-H1	No	Yes	CL	CT	3	N/D			V/C 28-BS-05						
48399	Fenelon Township Public School	1	104	Halway-H1	No	Yes	CL	CT	1	N/D			28-BS-03C						
48400	Fenelon Township Public School	1	104	Halway-H1	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	45 Fittings	G	28-BS-02B			D			
48360	Fenelon Township Public School	1	105	Room-102	No	No	FL	VFT	1	N/D			V/C 28-BS-07						
48361	Fenelon Township Public School	1	105	Room-102	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48354	Fenelon Township Public School	1	106	Room-104	No	No	FL	VFT	1	N/D			V/C 28-BS-07						
48355	Fenelon Township Public School	1	106	Room-104	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48356	Fenelon Township Public School	1	106	Room-104	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	4 Fittings	G	V/C 28-BS-02			D			
48469	Fenelon Township Public School	1	106	Room-104	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48346	Fenelon Township Public School	1	107	Room-106	No	No	FL	VFT	1	N/D			28-BS-07A						
48347	Fenelon Township Public School	1	107	Room-106	No	Yes	CL	CT	1	N/D			28-BS-03B						
48348	Fenelon Township Public School	1	107	Room-106	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	4 Fittings	G	28-BS-02C			D			
48470	Fenelon Township Public School	1	107	Room-106	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48349	Fenelon Township Public School	1	108	Room-107	No	No	FL	VFT	1	N/D			V/C 28-BS-07						
48350	Fenelon Township Public School	1	108	Room-107	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48351	Fenelon Township Public School	1	108	Room-107	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	4 Fittings	G	V/C 28-BS-02			D			
48471	Fenelon Township Public School	1	108	Room-107	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48352	Fenelon Township Public School	1	109	Room-105	No	No	FL	VFT	1	N/D			V/C 28-BS-07						
48353	Fenelon Township Public School	1	109	Room-105	No	Yes	CL	CT	1	N/D			28-BS-03A						
48472	Fenelon Township Public School	1	109	Room-105	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48357	Fenelon Township Public School	1	110	Room-103	No	No	FL	VFT	1	N/D			28-BS-07B						
48358	Fenelon Township Public School	1	110	Room-103	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48359	Fenelon Township Public School	1	110	Room-103	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	4 Fittings	G	V/C 28-BS-02			D			
48473	Fenelon Township Public School	1	110	Room-103	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48368	Fenelon Township Public School	1	111	Girl's Wahroom-135	No	No	CL	DJC		N/D			V/C 28-BS-01						No access above drywall ceiling
48404	Fenelon Township Public School	1	112	Washrooms and 135 & 138	No	No	CL	DJC		N/D			V/C 28-BS-01						No access above drywall ceiling
48405	Fenelon Township Public School	1	113	Washrooms and 135 & 138	No	No	CL	DJC		N/D			V/C 28-BS-01						No access above drywall ceiling
48406	Fenelon Township Public School	1	114	Custodian Room -140	No	No	CL	DJC		N/D			V/C 28-BS-01						No access above drywall ceiling
48407	Fenelon Township Public School	1	114	Custodian Room -140	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	2 Fittings	G	V/C 28-BS-02			D			
48413	Fenelon Township Public School	1	115	Room-114	No	No	FL	VFT	1	N/D			V/C 28-BS-07						
48414	Fenelon Township Public School	1	115	Room-114	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48415	Fenelon Township Public School	1	115	Room-114	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	4 Fittings	G	V/C 28-BS-02			D			
48474	Fenelon Township Public School	1	115	Room-114	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48435	Fenelon Township Public School	1	116	Room-116	Yes	No	FL	VFT	1	1% CHRYSOTILE			18777-S02A-C			E			Removed summer 2020, tiles remain below millwork. Black mastic is non-asbestos.
48436	Fenelon Township Public School	1	116	Room-116	No	Yes	CL	CT	1	N/D			V/C 28-BS-03						
48475	Fenelon Township Public School	1	116	Room-116	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS						
48437	Fenelon Township Public School	1	117	Room-118	No	No	FL	VFT	3	N/D			V/C 28-BS-09						
48438	Fenelon Township Public School	1	117	Room-118	No	Yes	CL	CT	2	N/D			V/C 28-BS-04						



APPENDIX I - ROOM BY ROOM ASBESTOS INVENTORY

	<b>STRUCTURAL ELEMENT</b> RF: Roof                      B/J: Beams/Joists WN: Window                CB: Chalkboard FL: Floor                    PI: Pipe CL: Ceiling                  DT: Duct WL: Wall                    BL: Boiler DK: Deck                    MC: Mechanical				<b>ACCESSIBILITY</b> A: All occupants of the facility B: Maintenance staff without a ladder C: Maintenance staff with a ladder, exposed to view without moving building components D: Maintenance staff with a ladder, concealed from view by building components E: No access without demolition or removal of fixed building components or systems				<b>TERMINOLOGY</b> ACM: Asbestos Containing Material                      N/A: Not Applicable                      PL: Plaster                      TB: Transite Board                      VSF: Vinyl Sheet Flooring CT: Ceiling Tile                      N/Anz: Not Analyzed                      RM: Roofing Materials                      TP: Transite Pipe                      V/C: Visually Consistent w/ Other Sampled Material DJC: Drywall Joint Compound                      N/D: None Detected                      SFP: Sprayed Fireproofing                      VI: Vermiculite Insulation FTG: Fitting                      PI-AC: Pipe Insulation - Aircell                      SF: Square Feet                      VFT: Vinyl Floor Tile                      WC: Window Caulking LF: Linear Feet                      PI-PC: Pipe Insulation-Parging Cement                      TF: Texture Finish PI-CP: Pipe Insulation-Caposite												
									<b>CONDITION</b> G: Good    F: Fair    P: Poor												
ID	Facility	Floor #	Room #	Room name	Has ACM	Friable	Struct. Elem.	Application	Material	Type	Qty	Condition	Sample #	Action	Ref #	Comments 1	Comments 2	Comments 3	Notes		
48439	Fenelon Township Public School	1	118	Room-120	No	No	FL	VFT	2	N/D			28-BS-08A								
48440	Fenelon Township Public School	1	118	Room-120	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48401	Fenelon Township Public School	1	119	Halway-H2	No	Yes	CL	CT	3	N/D			V/C 28-BS-05								
48402	Fenelon Township Public School	1	119	Halway-H2	No	Yes	CL	CT	2	N/D			28-BS-04C								
48403	Fenelon Township Public School	1	119	Halway-H2	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	62 Fittings	G	V/C 28-BS-02			D					
48433	Fenelon Township Public School	1	120	Room-127	No	No	FL	VFT	4	N/D			V/C 28-BS-10								
48434	Fenelon Township Public School	1	120	Room-127	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48421	Fenelon Township Public School	1	120	Storage Room 127	No	No	FL	VSF		N/D			28-BS-06A-C								
48425	Fenelon Township Public School	1	120	Storage Room 127	No	No	FL	VFT	3	N/D			28-BS-09A								
48429	Fenelon Township Public School	1	120	Storage Room 127	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48422	Fenelon Township Public School	1	120A	East Storage	No	No	FL	VSF		N/D			28-BS-06A-C								
48426	Fenelon Township Public School	1	120A	East Storage	No	No	FL	VFT	3	N/D			28-BS-09A								
48430	Fenelon Township Public School	1	120A	East Storage	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48423	Fenelon Township Public School	1	120B	West Storage	No	No	FL	VSF		N/D			28-BS-06A-C								
48427	Fenelon Township Public School	1	120B	West Storage	No	No	FL	VFT	3	N/D			28-BS-09A								
48431	Fenelon Township Public School	1	120B	West Storage	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48424	Fenelon Township Public School	1	120C	Storage within Room 127	No	No	FL	VSF		N/D			28-BS-06A-C								
48428	Fenelon Township Public School	1	120C	Storage within Room 127	Yes	No	FL	VFT	3	1% CHRYSOTILE			18777-S01A-C			E			Removed summer 2020, tiles may be present below millwork. Black mastic is non-asbestos.		
48432	Fenelon Township Public School	1	120C	Storage within Room 127	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48418	Fenelon Township Public School	1	121	Room-121	No	No	FL	VFT	4	N/D			28-BS-10C								
48419	Fenelon Township Public School	1	121	Room-121	No	Yes	CL	CT	1	N/D			V/C 28-BS-03								
48420	Fenelon Township Public School	1	121	Room-121	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	4 Fittings	G	V/C 28-BS-02			D					
48476	Fenelon Township Public School	1	121	Room-121	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS								
48443	Fenelon Township Public School	1	121	Room-125	No	No	FL	VFT	3	N/D			28-BS-09B								
48444	Fenelon Township Public School	1	121	Room-125	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48441	Fenelon Township Public School	1	122	Room-123	No	No	FL	VFT	2	N/D			28-BS-08B								
48442	Fenelon Township Public School	1	122	Room-123	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48416	Fenelon Township Public School	1	123	Resources Room-119	No	No	FL	VFT	4	N/D			V/C 28-BS-10								
48417	Fenelon Township Public School	1	123	Resources Room-119	No	Yes	CL	CT	1	N/D			V/C 28-BS-03								
48477	Fenelon Township Public School	1	123	Resources Room-119	Yes	No	WL	TB		ACM Assumed	200 SF	G	NS								
48412	Fenelon Township Public School	1	124	Boiler Room-133	No	No	CL	DJC		N/D			28-BS-01C-E						No access above drywall ceiling		
48411	Fenelon Township Public School	1	125	Boy's Washroom-131	No	No	CL	DJC		N/D			V/C 28-BS-01						No access above drywall ceiling		
48408	Fenelon Township Public School	1	126	Staff Room-117	Yes	No	FL	VFT	1	1% CHRYSOTILE			18777-S03A-C			E			Removed summer 2020, tiles remain below millwork. Black mastic is non-asbestos.		
48409	Fenelon Township Public School	1	126	Staff Room-117	No	Yes	CL	CT	2	N/D			28-BS-04B								
48410	Fenelon Township Public School	1	126	Staff Room-117	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	6 Fittings	G	28-BS-02A			D					
48373	Fenelon Township Public School	1	127	Gym Room-115	No	No	FL	VFT	5	N/D			28-BS-11A-C								
48374	Fenelon Township Public School	1	127	Gym Room-115	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	12 Fittings	G	V/C 28-BS-02			C					
48381	Fenelon Township Public School	1	127A	Gym Equipment Room	No	No	FL	VFT	2	N/D			V/C 28-BS-08								
48382	Fenelon Township Public School	1	127A	Gym Equipment Room	No	No	FL	VFT	3	N/D			28-BS-09C								
48383	Fenelon Township Public School	1	127A	Gym Equipment Room	No	Yes	CL	CT	2	N/D			V/C 28-BS-04								
48384	Fenelon Township Public School	1	127A	Gym Equipment Room	No	No	CL	DJC		N/D			V/C 28-BS-01						No access above drywall ceiling		
48385	Fenelon Township Public School	1	127A	Gym Equipment Room	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	3 Fittings	G	V/C 28-BS-02			D					

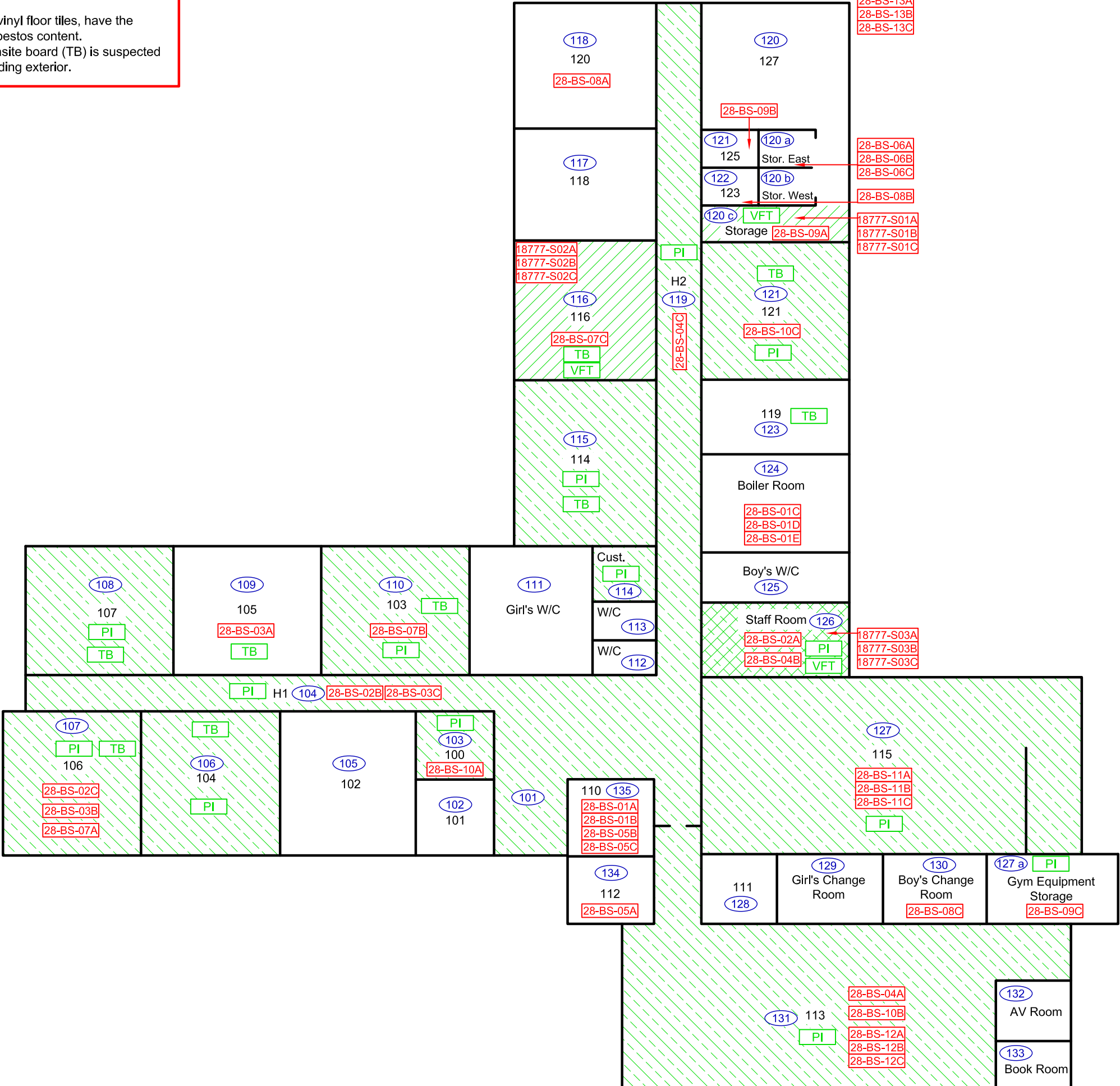
APPENDIX I - ROOM BY ROOM ASBESTOS INVENTORY

	<b>STRUCTURAL ELEMENT</b>				<b>ACCESSIBILITY</b>				<b>TERMINOLOGY</b>											
	RF: Roof WN: Window FL: Floor CL: Ceiling WL: Wall DK: Deck	B/J: Beams/Joists CB: Chalkboard PI: Pipe DT: Duct BL: Boiler MC: Mechanical	A: All occupants of the facility B: Maintenance staff without a ladder C: Maintenance staff with a ladder, exposed to view without moving building components D: Maintenance staff with a ladder, concealed from view by building components E: No access without demolition or removal of fixed building components or systems				ACM: Asbestos Containing Material CT: Ceiling Tile DJC: Drywall Joint Compound FTG: Fitting LF: Linear Feet  N/A: Not Applicable N/Anz: Not Analyzed N/D: None Detected PI-AC: Pipe Insulation - Aircell PI-PC: Pipe Insulation-Parging Cement PI-CP: Pipe Insulation-Caposite				PL: Plaster RM: Roofing Materials SFP: Sprayed Fireproofing SF: Square Feet TF: Texture Finish				TB: Transite Board TP: Transite Pipe VI: Vermiculite Insulation VFT: Vinyl Floor Tile VSC: Visually Consistent w/ Other Sampled Material WC: Window Caulking					
	<b>CONDITION</b> G: Good    F: Fair    P: Poor																			
ID	Facility	Floor #	Room #	Room name	Has ACM	Friable	Struct. Elem.	Application	Material	Type	Qty	Condition	Sample #	Action	Ref #	Comments 1	Comments 2	Comments 3	Notes	
48377	Fenelon Township Public School	1	128	Room-111	No	No	FL	VFT	2	N/D			V/C 28-BS-08							
48378	Fenelon Township Public School	1	128	Room-111	No	Yes	CL	CT	2	N/D			V/C 28-BS-04							
48375	Fenelon Township Public School	1	129	Girl's Changroom by Gym	No	No	FL	VFT	2	N/D			V/C 28-BS-08							
48376	Fenelon Township Public School	1	129	Girl's Changroom by Gym	No	Yes	CL	CT	2	N/D			V/C 28-BS-04							
48379	Fenelon Township Public School	1	130	Boy's Changroom by Gym	No	No	FL	VFT	2	N/D			28-BS-08C							
48380	Fenelon Township Public School	1	130	Boy's Changroom by Gym	No	Yes	CL	CT	2	N/D			V/C 28-BS-04							
48386	Fenelon Township Public School	1	131	Library 113	No	No	FL	VFT	6	N/D			28-BS-12A-C							
48389	Fenelon Township Public School	1	131	Library 113	No	No	FL	VFT	4	N/D			28-BS-10B							
48392	Fenelon Township Public School	1	131	Library 113	No	Yes	CL	CT	2	N/D			28-BS-04A							
48395	Fenelon Township Public School	1	131	Library 113	Yes	Yes	PI	PI-PC		40% CHRYSOTILE	3 Fittings	G	V/C 28-BS-02			D				
48387	Fenelon Township Public School	1	132	AV Room	No	No	FL	VFT	6	N/D			28-BS-12A-C							
48390	Fenelon Township Public School	1	132	AV Room	No	No	FL	VFT	4	N/D			28-BS-10B							
48393	Fenelon Township Public School	1	132	AV Room	No	Yes	CL	CT	2	N/D			28-BS-04A							
48396	Fenelon Township Public School	1	132	AV Room	No	Yes	PI	PI-PC		40% CHRYSOTILE			V/C 28-BS-02							
48388	Fenelon Township Public School	1	133	Book Room	No	No	FL	VFT	6	N/D			28-BS-12A-C							
48391	Fenelon Township Public School	1	133	Book Room	No	No	FL	VFT	4	N/D			28-BS-10B							
48394	Fenelon Township Public School	1	133	Book Room	No	Yes	CL	CT	2	N/D			28-BS-04A							
48397	Fenelon Township Public School	1	133	Book Room	No	Yes	PI	PI-PC		40% CHRYSOTILE			V/C 28-BS-02						Removed	
48370	Fenelon Township Public School	1	134	Room-112	No	Yes	CL	CT	3	N/D			28-BS-05A-C							
48372	Fenelon Township Public School	1	134	Room-112	No	No	WL	DJC		N/D			28-BS-01A & B							
48369	Fenelon Township Public School	1	135	Room-110	No	Yes	CL	CT	3	N/D			28-BS-05A-C							
48371	Fenelon Township Public School	1	135	Room-110	No	No	WL	DJC		N/D			28-BS-01A & B							
48342	Fenelon Township Public School	NA		EXTERIOR	No	No	RF	RM	NA	ACM ASSUMED	1	G	NS			C			sample prior to renovation	
48343	Fenelon Township Public School	NA		EXTERIOR	No	No	WN	WC	NA	ACM ASSUMED	1	G	NS			A, C			sample prior to renovation	
48344	Fenelon Township Public School	NA		EXTERIOR	No	No	WVN	TB	NA	ACM ASSUMED	1	G	NS			A, C			sample prior to renovation	
48345	Fenelon Township Public School	NA		Exterior Canopy East Exit	No	Yes	CL	TF	NA	N/D			28-BS-13A-C							

# **APPENDIX II**

## **DRAWINGS**

**Please Note:**  
Prior to disturbing 9"x9" vinyl floor tiles, have the material analyzed for asbestos content.  
Asbestos-containing transite board (TB) is suspected to be present on the building exterior.



## LEGEND

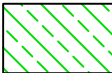
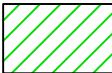


01-BS-01/

#

## Jacques Whitford Sample Locations

Ebase Number

**CONFIRMED ACM**

SYMBOL	DESCRIPTION
	Friable Asbestos-Containing Material
	Non-Friable Asbestos-Containing Material
	Pipe Insulation (Friable Asbestos-Containing Material)
	Transite Board (Non-Friable Asbestos-Containing Material)
NOTE	9"x9" Vinyl Floor Tiles
NOTE	Transite Board

For Detailed Information as to Location, Type, Quantity, Condition and Access to ACM, Please Refer to the Room-by-Room Sheets Provided in the Report.


# Fenelon Township Public School

50 Cameron Road,  
Cameron, Ontario

## First Floor Plan

Asbestos Materials Re-Assessment Survey

CLIENT: Trillium Lakelands District School Board

PROJECT NUMBER: 18736-32	DATE: September 2020	DRW BY: M. Pollock
	SCALE: Not to Scale	CHK BY: K. Prosser



**APPENDIX III**  
**POTENTIAL ASBESTOS-CONTAINING MATERIAL**  
**IDENTIFICATION SHEET**

### APPENDIX III - POTENTIAL ASBESTOS-CONTAINING MATERIALS INFORMATION SHEET

<i>MIN</i>	<i>Material</i>	<i>Material Description</i>	<i>Size</i>	<i>Sample Number</i>	<i>Sample Location</i>	<i>Asbestos Containing</i>
VFT-1	Vinyl Floor Tiles	Beige with red smears	9 x 9	28-BS-07A-C	Room 106, 103 & 116	None
VFT-2	Vinyl Floor Tiles	Beige with black smears	12x 12	28-BS-08A-C	Room 120, 123 & boy's changeroom	None
VFT-3	Vinyl Floor Tiles	Beige with beige smears	12x 12	28-BS-09A-C	Storage s/wing, Rm 125 & Gym equipment	None
VFT-4	Vinyl Floor Tiles	White with blue specks	12 x 12	28-BS-10A-C	Rm 100, Library Entrance & Rm 1221	None
VFT-5	Vinyl Floor Tiles	Beige with black and white smears	12 x 12	28-BS-11A-C	Gym	None
VFT-6	Vinyl Floor Tiles	Blue with smears	12 x 12	28-BS-12A-C	Library	None
CT-1	Ceiling Tiles	Plainhole pattern	2 x 4	28-BS-03A-C	Room 105, 106 & H1	None
CT-2	Ceiling Tiles	Large fissure pimhole pattern	2 x 4	28-BS-04A-C	Library, Staff Rm & H2	None
CT-3	Ceiling Tiles	Small fissure pimhole pattern	2 x 4	28-BS-05A-C	Room 112 & 110	None
VSF-1	Vinyl Sheet Flooring			28-BS-06A-C	Storage east wing	None