



110 Drewry Avenue
Toronto (Ontario) M2M 1C8
Tel. : 416-397-6564 or
1-800-274-3764

Addendum #1

2021-54

Request for Quotation

For

**General Contractor for Retaining Wall Reconstruction at ÉC
Monseigneur-Jamot, Peterborough**

Closing Date: June 23, 2021 at 02:00 PM

This Addendum forms part of the Contract Documents and amends the original Bids Documents and Specifications as noted below.

Ensure all parties submitting bids are aware of all items included in this Addendum.

Acknowledge receipt of this Addendum by inserting its number on the Bid Form.
Failure to do so may subject bidder to disqualification.

PART 1 – CLARIFICATION AND ADDITIONAL INFORMATION

Please see attached some clarification and additional information for the project.

This includes the following documents:

- Addendum Notes - MJ
- 2021-024 Drawing set - MJ
- Electrical Report - 6857E1-E2r0 - MJ
- ANNEX F - 2021-024 Revised Price Breakdown Table - MJ

PART 2 – CHANGES

1 – Base bid price (in the bidding document)

APPENDIX C – PRICING

3. Required pricing Information

a) Base Bid Price

Please replace to read:

Important: Proponents must fill out and upload the ANNEX F – Price breakdown table — MJ **2021-024 Revised Price Breakdown Table - MJ**. Proponents must report the total cost per items in the appropriate table.

Item	ÉC Monseigneur-Jamot Retaining Wall Reconstruction Items Description	SubTotal cost (\$CAD) per item Should be the Subtotal (Excl. Tax) in the Price Breakdown document
1	Site Preparation and Removal	
2	Site Work	
3	Electrical Work	
4	Restoration	
5	Warranties	
6	Provisional	
	TOTAL excl. HST (\$CAD)	

2 – Provisional Price (in the bidding document)

APPENDIX C – PRICING

3. Required pricing Information

b) Provisional Price

Please replace to read:

ÉC Monseigneur-Jamot Retaining Wall Reconstruction			
Item	Description	Unit	Total price (\$CAD)
1	Relocate, store and replace portable in existing location if preservation is infeasible	Lump Sum	
2	Pay all permit costs as per specifications	Lump Sum	
3	Replacement of signage with a new in the event of a damaged sign	Each	

PART 3 – QUESTION AND ANSWER

Question 1: I would like to ask for an extension for this tender - our subcontractors need more time to put together a quote for this project. Please let me know, if possible

Answer 1: at this time, the submission deadline remains on June 23, 2021 at 2:00PM local time

END OF ADDENDUM 1

ADDENDUM NOTES

Re: ÉÉC Monseigneur-Jamot (Job No. 2021-024)

**FROM: HENRY KORTEKAAS AND ASSOCIATES INC.
599 LIVERPOOL ROAD
PICKERING, ON
L1W 1R1**

Addendum No.	Date
1	June 10, 2021

Prepared by Henry Kortekaas & Associates, Landscape Architects, for the construction of:

ÉÉC Monseigneur-Jamot

Retaining Wall Reconstruction

Revisions to Drawing Set

- 1.1 Silt fence has been replaced with heavy duty silt fence and detail has been revised (L-ESC1, 5/L-D1).
- 1.2 Temporary safety fence has been extended along the school (L-ESC1).
- 1.3 Identified location of access to construction zone (L-ESC1)
- 1.4 Top and bottom of curb elevation near the sanitary sewer/catch basin has been lowered (L-G1).
- 1.5 Elevation around playground has been revised (L-G1)
- 1.6 Rim elevation of catch basin near play area has been lowered.
- 1.7 Original Survey by Beninger Surveying Ltd has been included (L-SUR1).
- 1.8 Adjusted transformer location (L-L1).
- 1.9 Five bollards around transformer has been added and included in detail page (13/L-D1).
- 1.10 Typical sign installation detail has been included in detail page (1/L-D2).

Revisions to Bid Sheet

- 1.11 Length of temporary construction fence has been extended (item #1.1)
- 1.12 Silt fence has been replaced with heavy duty silt fence and length has been adjusted (item #1.2)
- 1.13 "Lower rim elevation for catch basin near paly area" (item #2.6)
- 1.14 "S&P Bollards around transformer" added (item #2.13)
- 1.15 Entire Electrical Scope subsection has been revised (item #3.1-3.7)
- 1.16 Warranties subsection has been included (item #5.1-5.2)
- 1.17 "Replacement of signage with a new in the event of a damaged sign" (item #6.3)

List of Revised Documents

- 1. 2021-024 drawing set
- 2. Bid Sheet
- 3. Electrical Report

WE ACKNOWLEDGE THAT WE HAVE RECEIVED, READ AND INCORPORATED THE ABOVE
ADDENDUM INTO OUR FINAL BID.

BIDDING COMPANY: _____

SIGNATURE: _____

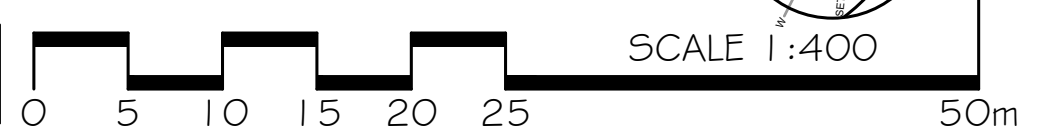
SIGNED BY (PRINT NAME): _____

DATE: _____



WOODGLADE BOULEVARD
(PLAN 45M-146)
PIN 28473 - 0022(LT)

*NOTE:
SURVEY BY BENINGER SURVEYING LTD



LOCATION MAP

GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
1	DATE	NOTES	BY

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

	CONCEPTUAL		TENDER
	PRELIMINARY		CONTRACT
	SITE PLAN		CONSTRUCTION
	PERMIT		AS-BUILT

HENRY KORTEKAAS & ASSOCIATES INC.
LANDSCAPE ARCHITECTS,
ARBORISTS,
ENVIRONMENTAL &
RECREATIONAL PLANNERS
880 LIVERPOOL ROAD TEL 905-889-5592
PICKERING, ON L1W 1R1 EMAIL INFO@HKLGA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT:

PROJEC ÉEC Monseigneur-Jamot
2350 WOODGLADE BLVD
PETERBOROUGH, ON K9K 2J6

DRAWING:

ORIGINAL SURVEY

DRAWN BY:

KMR

CHECKED BY:

TM

JOB NO.:

2021-024

SCALE:

1:400

DATE:

2021-05-05

L-SUR1

DRAWING

1 of 8

File #2021-024

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☐	PRELIMINARY	☐	CONTRACT
☐	SITE PLAN	☐	CONSTRUCTION
☐	PERMIT	☐	AS-BUILT

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☒	CONCEPTUAL	☐	TENDER
☐	PRELIMINARY	☐	CONTRACT
☐	SITE PLAN	☐	CONSTRUCTION
☐	PERMIT	☐	AS-BUILT



LANDSCAPE ARCHITECTS,
ARBORISTS,
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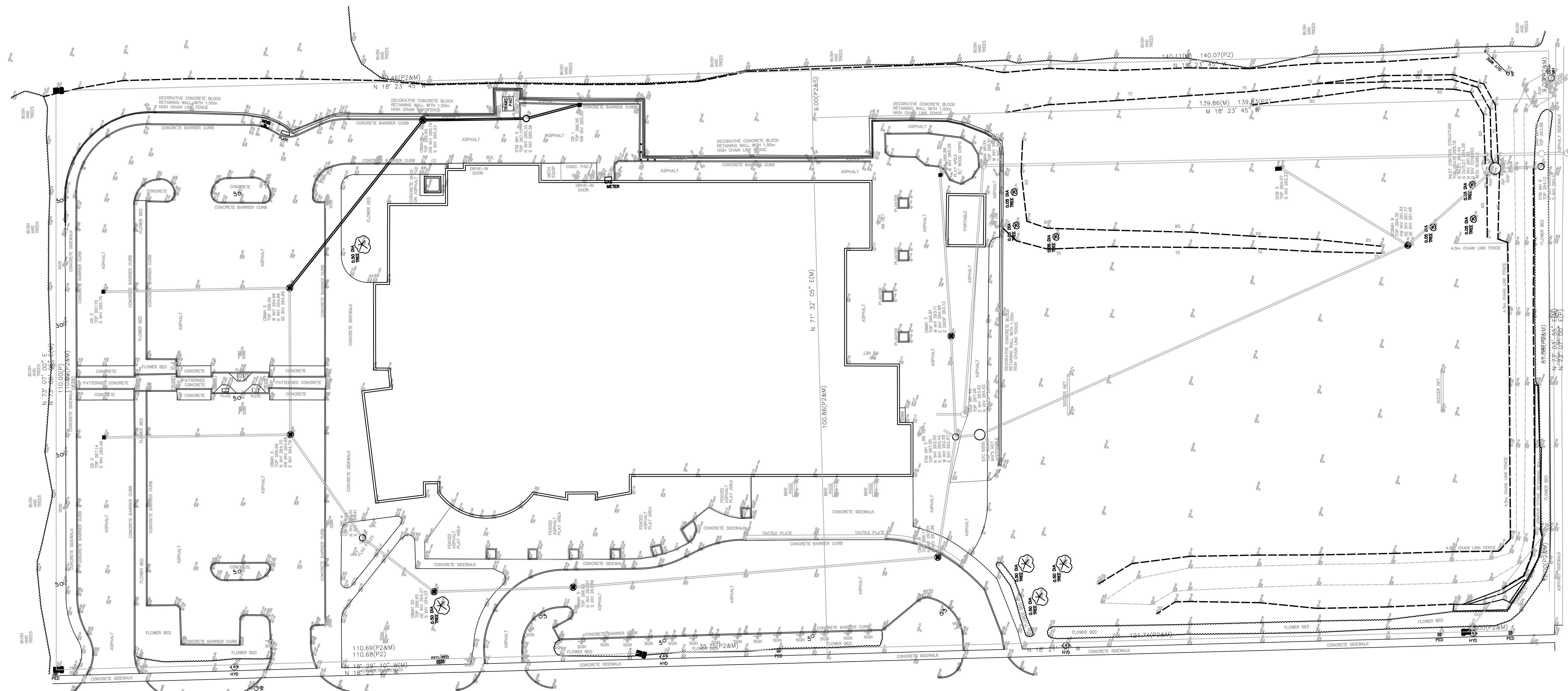
PROJECT: PROJEC ÉEC Monseigneur-Jamot
2350 WOODGLADE BLVD
PETERBOROUGH, ON K9K 2J6

DRAWING:

SURVEY

DRAWN BY: KMR	SCALE: 1:400	L-SUR. DRAWING 2 of 8
CHECKED BY: TM	DATE: 2021-05-05	
JOB NO.: 2021-024		

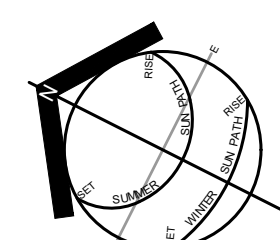
File #2021-024

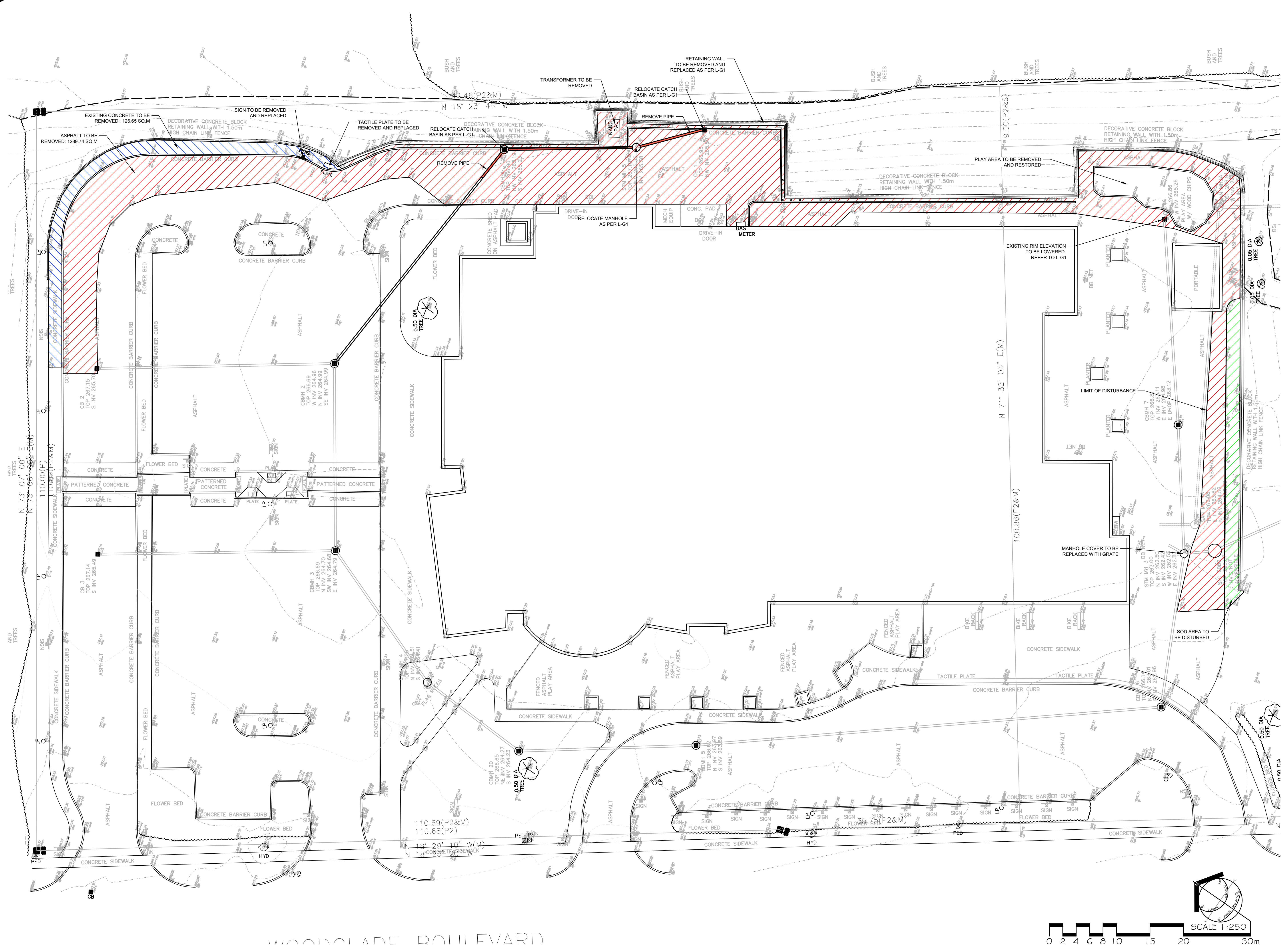


WOODGLADE BOULEVARD

WOODGLADE BOULEVARD

*NOTE:
SURVEY BY REYNOLD RETZ





LOCATION MAP

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	PRELIMINARY		CONTRACT
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	PERMIT		AS-BUILT

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2350 WOODGLADE BLVD
PETERBOROUGH, ON K9K 2J6

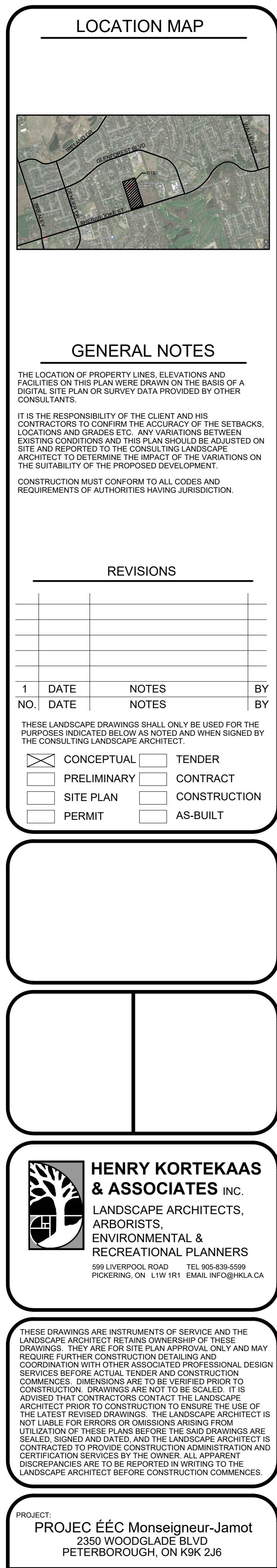
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DRAWN BY: KMR	SCALE: 1:250
CHECKED BY: TM	DATE: 2021-05-05
JOB NO.: 2021-024	

L-R1

DRAWING 3 of 8

File #2021-024

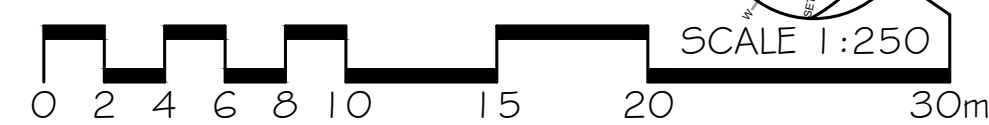


The comments and recommendations presented in this report are based on the subsoll and ground water conditions encountered at the borehole locations indicated in the borehole location plan, and are intended for the guidance of the design engineer. Although we consider this report to be representative of the subsurface conditions at the subject property, the soil and the ground water conditions between and beyond the borehole locations may differ from those encountered at the time of our investigation and may become apparent during construction. Any contractor bidding on, or undertaking the works, should decide on their own investigation and interpretations of the groundwater and the soil conditions between the borehole locations.

Any legal actions arising directly or indirectly from this work and/or **Toronto Inspection Ltd.**'s performance of the services shall be filed no longer than two years from the date of **Toronto Inspection Ltd.**'s substantial completion of the services. **Toronto Inspection Ltd.** shall not be responsible to the client for lost revenues, loss of profits, cost of content, claims of customers, or other special indirect, consequential or punitive damages.

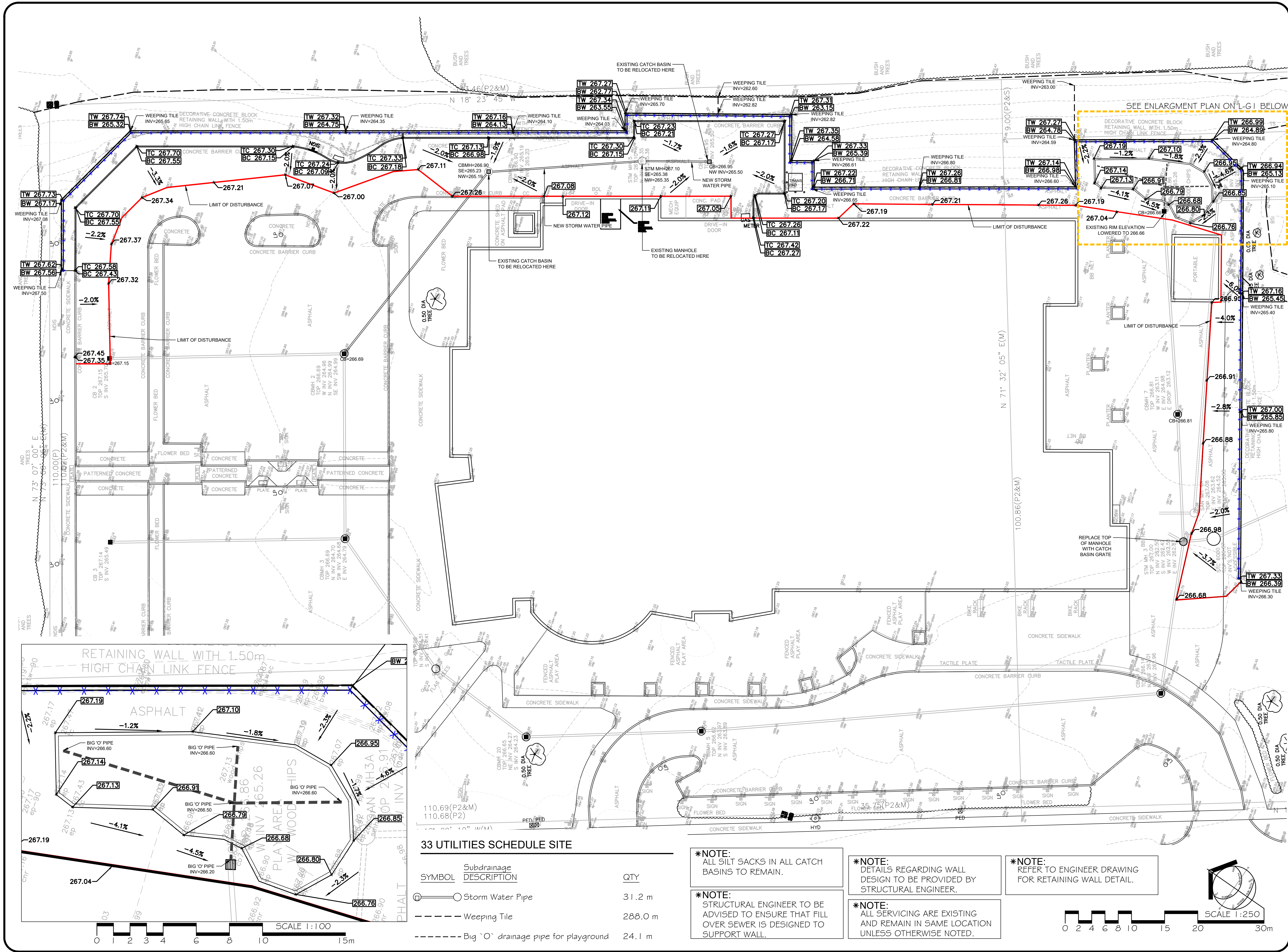
To the fullest extent permitted by law, the client's maximum aggregate recovery against ***Toronto Inspection Ltd.***, its directors, employees, sub-contractors and representatives, for any and all claims by clients for all causes including, but not limited to, claims of breach of contract, breach of warranty and/or negligence, shall be the amount of the fee paid to ***Toronto Inspection Ltd.*** for its professional services rendered under the agreement with respect to the particular site which is the subject of the claim by the client.

Fences and Gates			
SYMBOL	DESCRIPTION	QTY	DETAIL
	1.8m Ht Temporary Construction Fence	447.1 m	7/L-D 1
	Heavy Duty Silt Fence	302.5 m	5/L-D 1



PROJECT:		PROJEC ÉEC Monseigneur-Jamot 2350 WOODGLADE BLVD PETERBOROUGH, ON K9K 2J6	
DRAWING:			
SEDIMENT CONTROL PLAN			
DRAWN BY:	KMR	SCALE:	1:250
CHECKED BY:	TM	DATE:	2021-05-05
JOB NO.:	2021-024		L-ESC DRAWING 4 of 8
File #2021-024			





LOCATION MAP

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REVISIONS

NO.	DATE	NOTES	BY
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LEGEND

	CONCEPTUAL		TENDER
	PRELIMINARY		CONTRACT
	SITE PLAN		CONSTRUCTION
	PERMIT		AS-BUILT

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PROJECT: PROJEC ÉEC Monseigneur-Jamot

2350 WOODGLADE BLVD
PETERBOROUGH, ON K9K 2J6

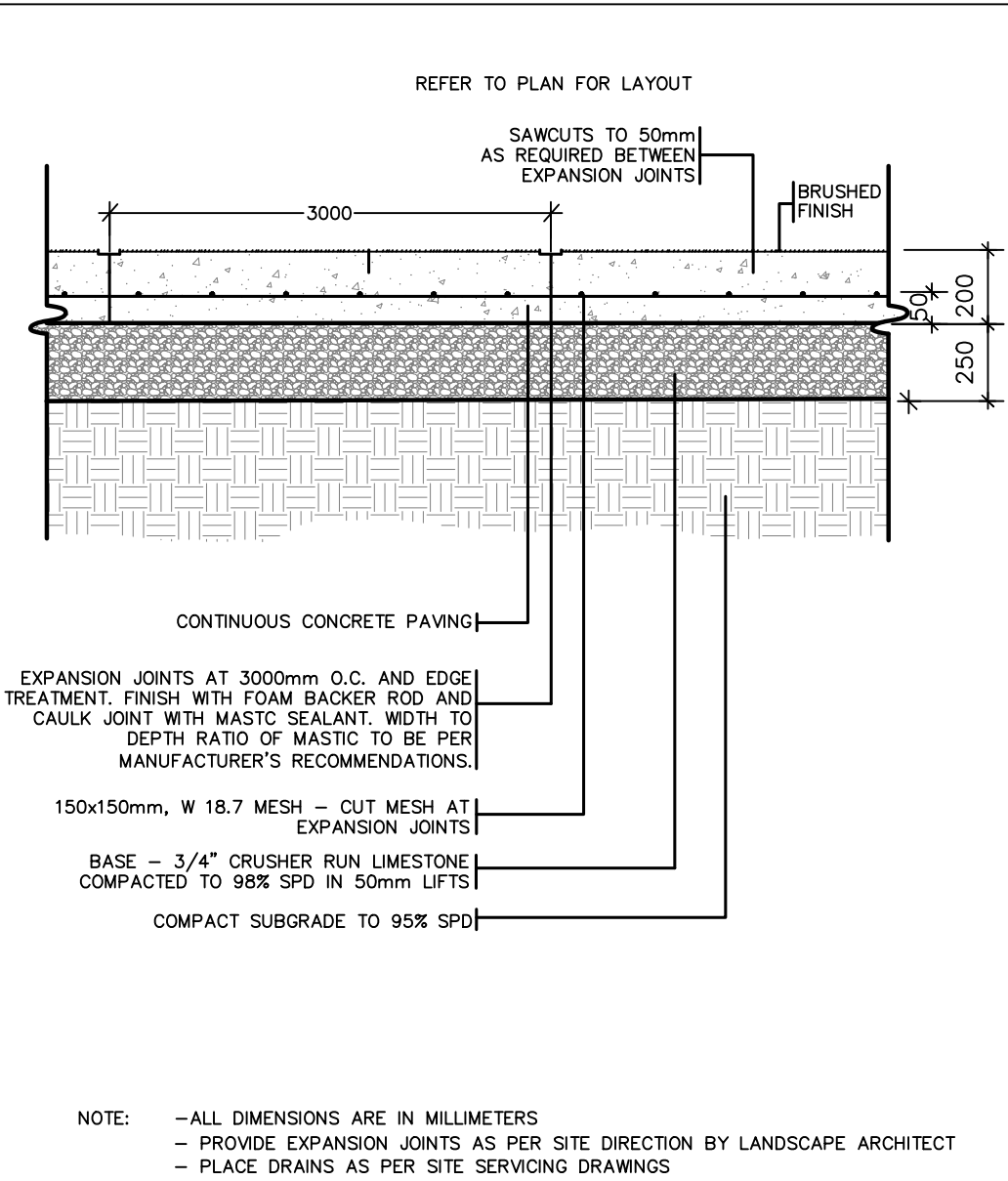
DRAWING: GRADING PLAN

DRAWN BY: KMR	SCALE: AS SHOWN
CHECKED BY: TM	DATE: 2021-05-05
JOB NO.: 2021-024	

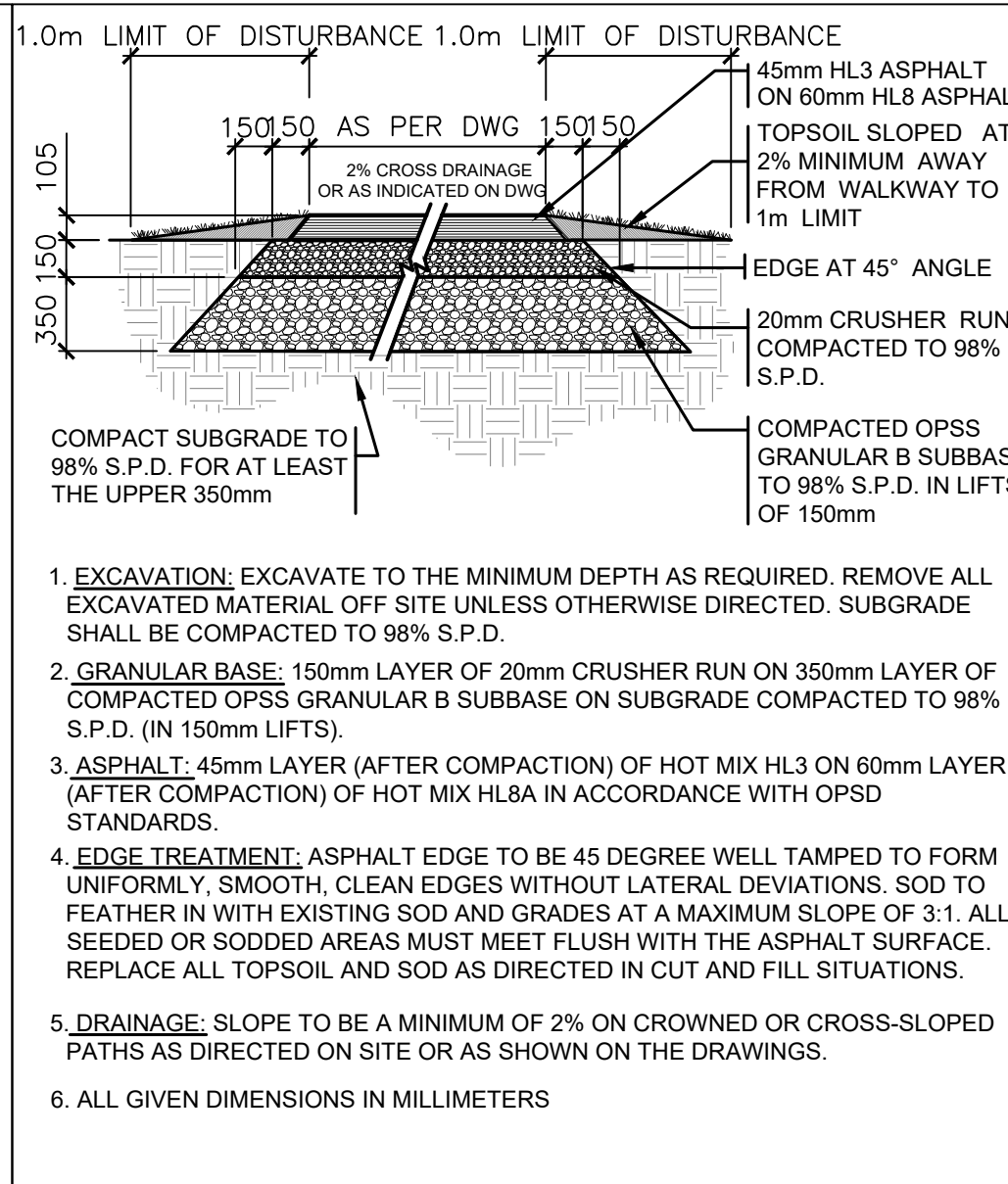
L-G1

DRAWING 6 of 8

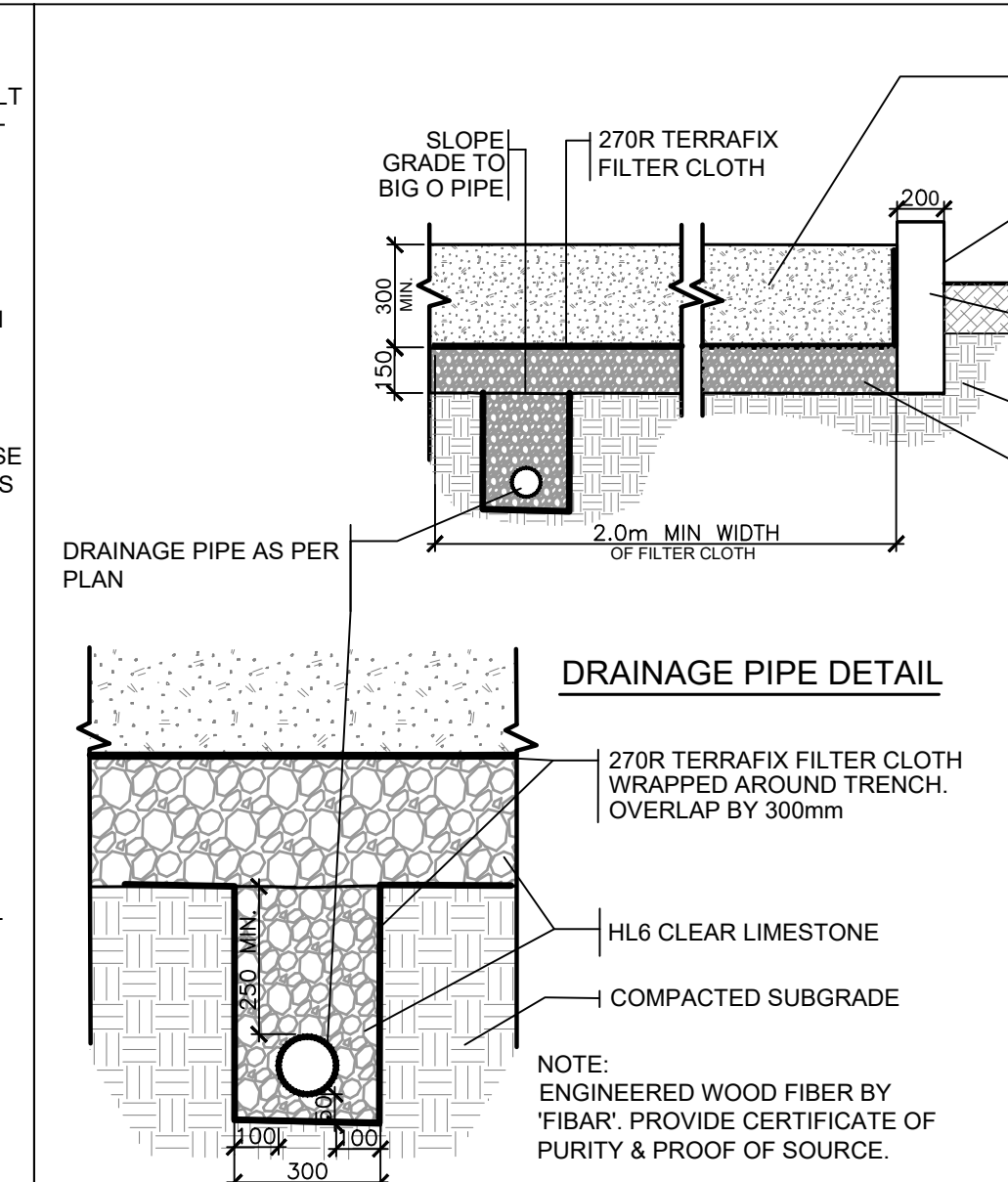
File #2021-024



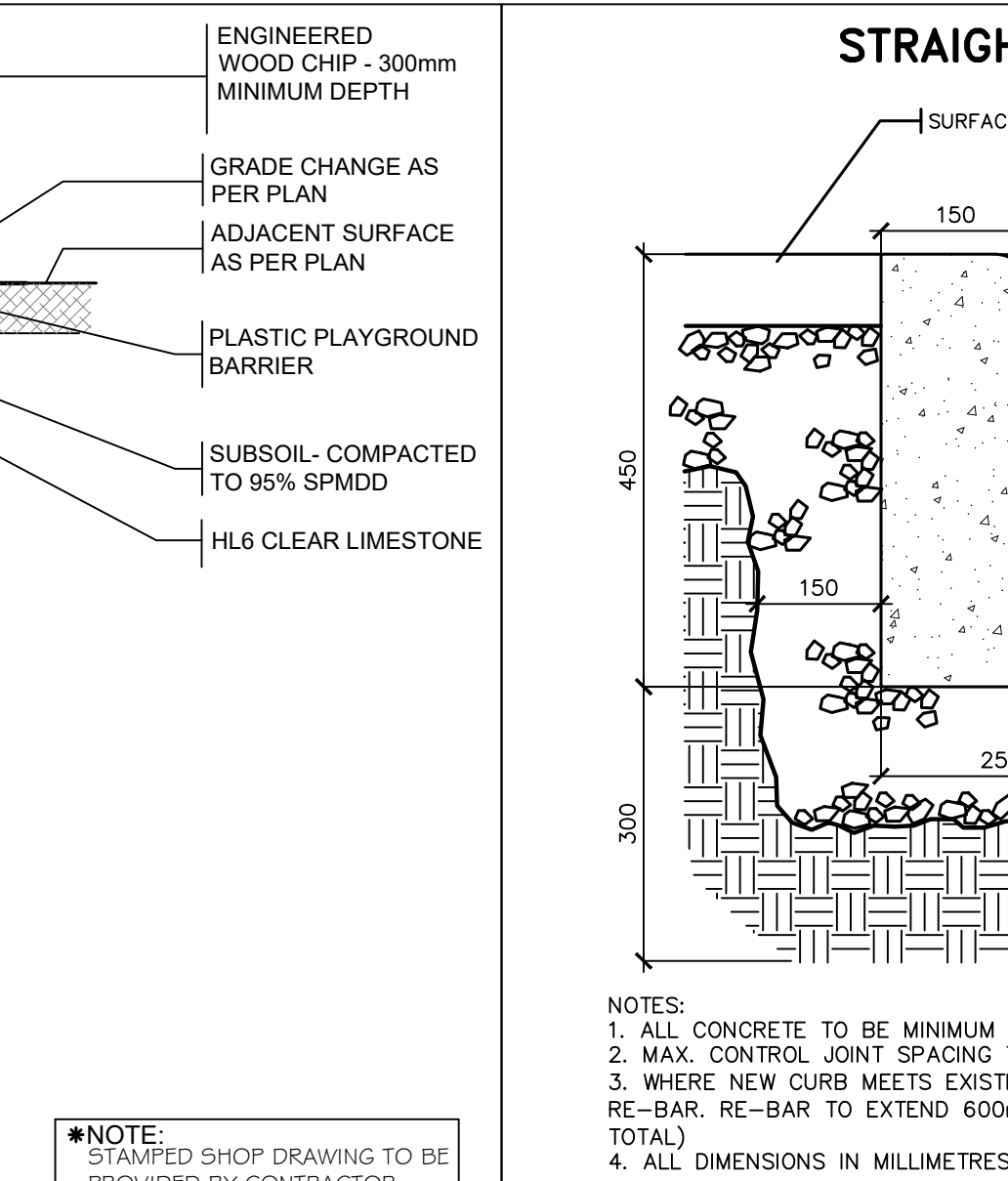
1 NATURAL CONCRETE PAVEMENT WITH MESH N.T.S. 321313.13-15



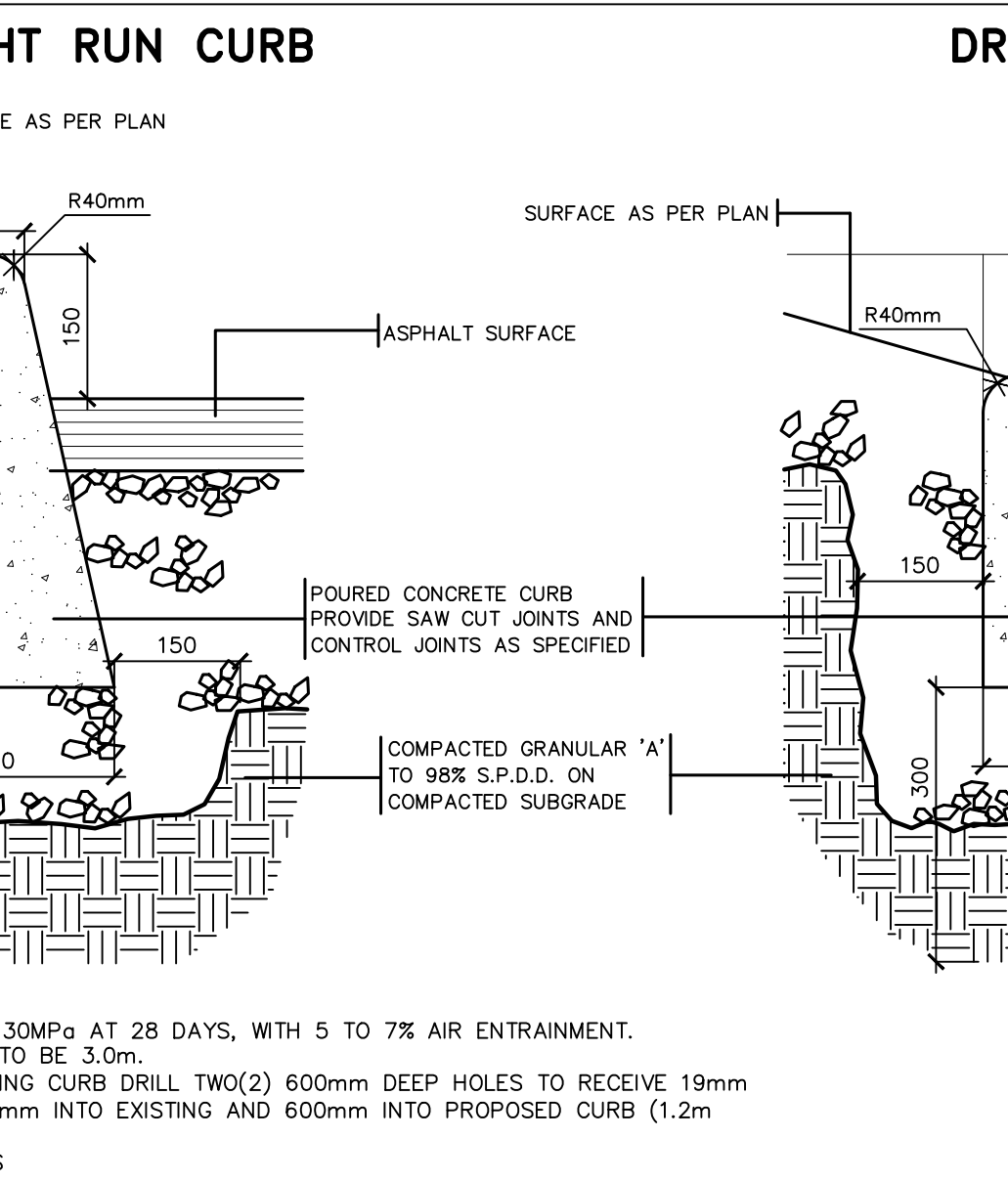
2 HEAVY DUTY ASPHALT SURFACE N.T.S. GRANULAR B SUBBASE 321216.12



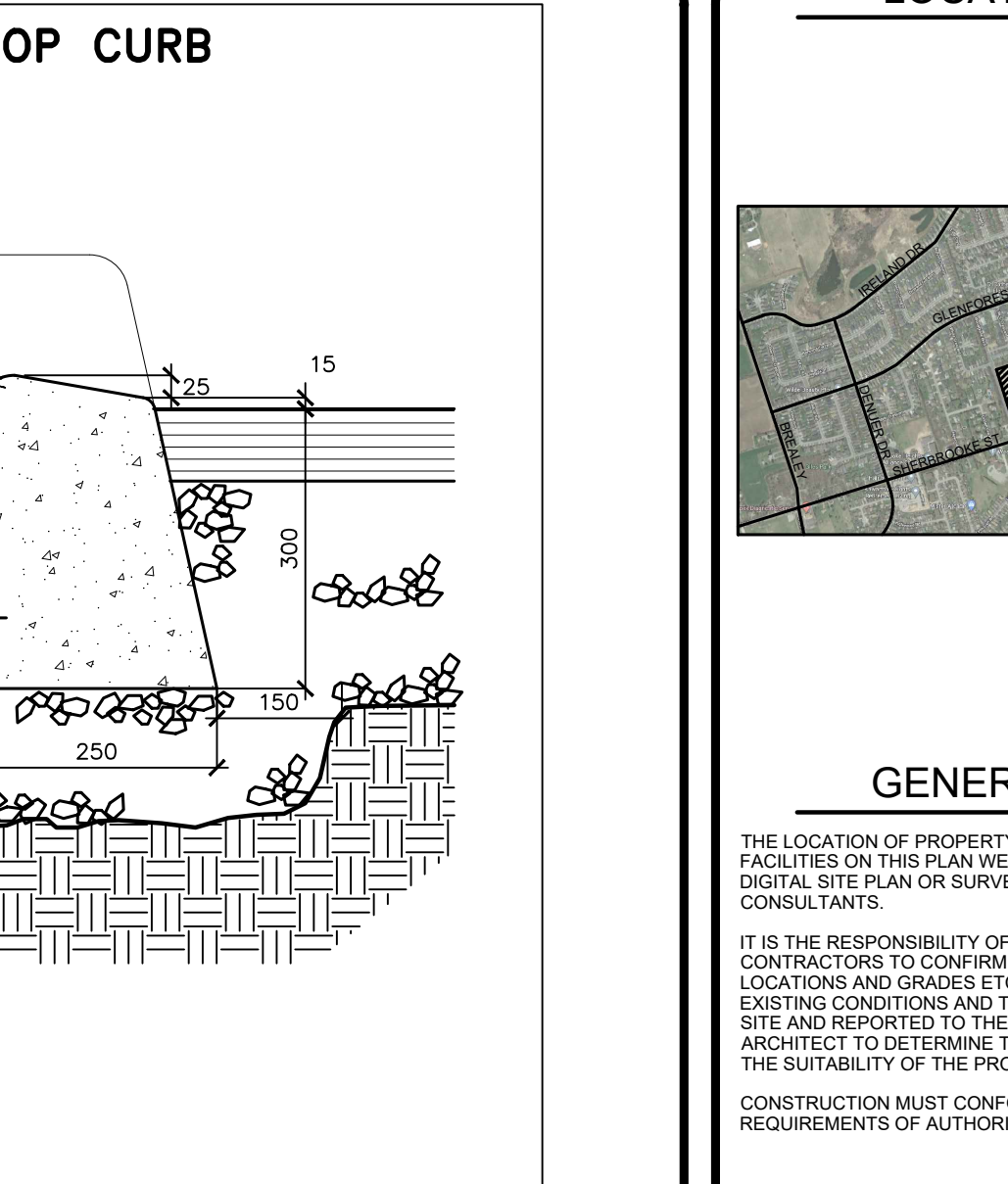
3 ENGINEERED WOOD CHIP WITH PLASTIC EDGE N.T.S. 321819.13-23



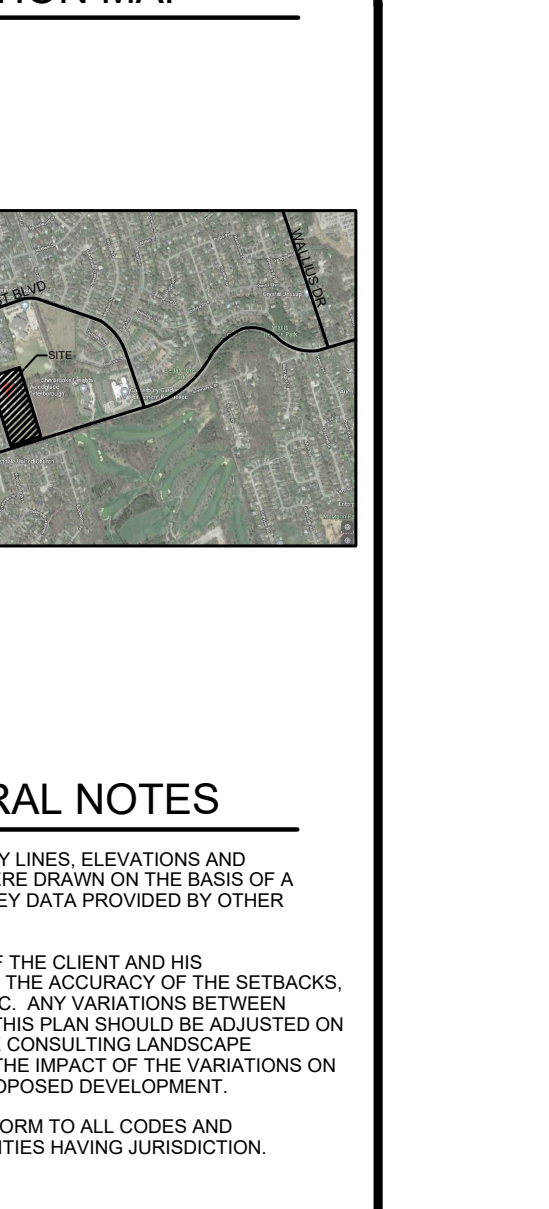
4 CONCRETE CURBS 1:10 321613.16-17



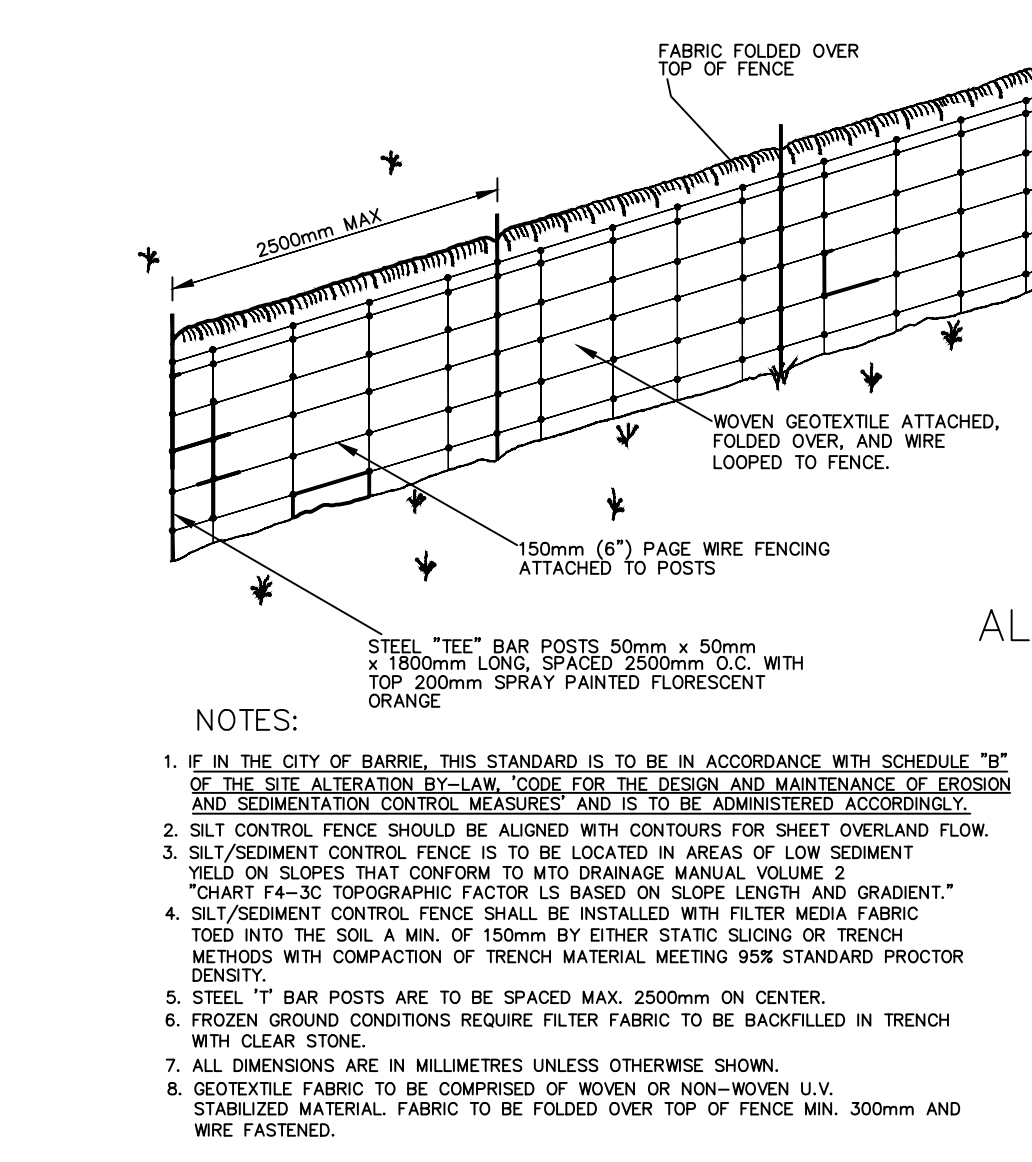
5 HEAVY DUTY EROSION CONTROL SILT BARRIER FENCING N.T.S. 323128.10-09



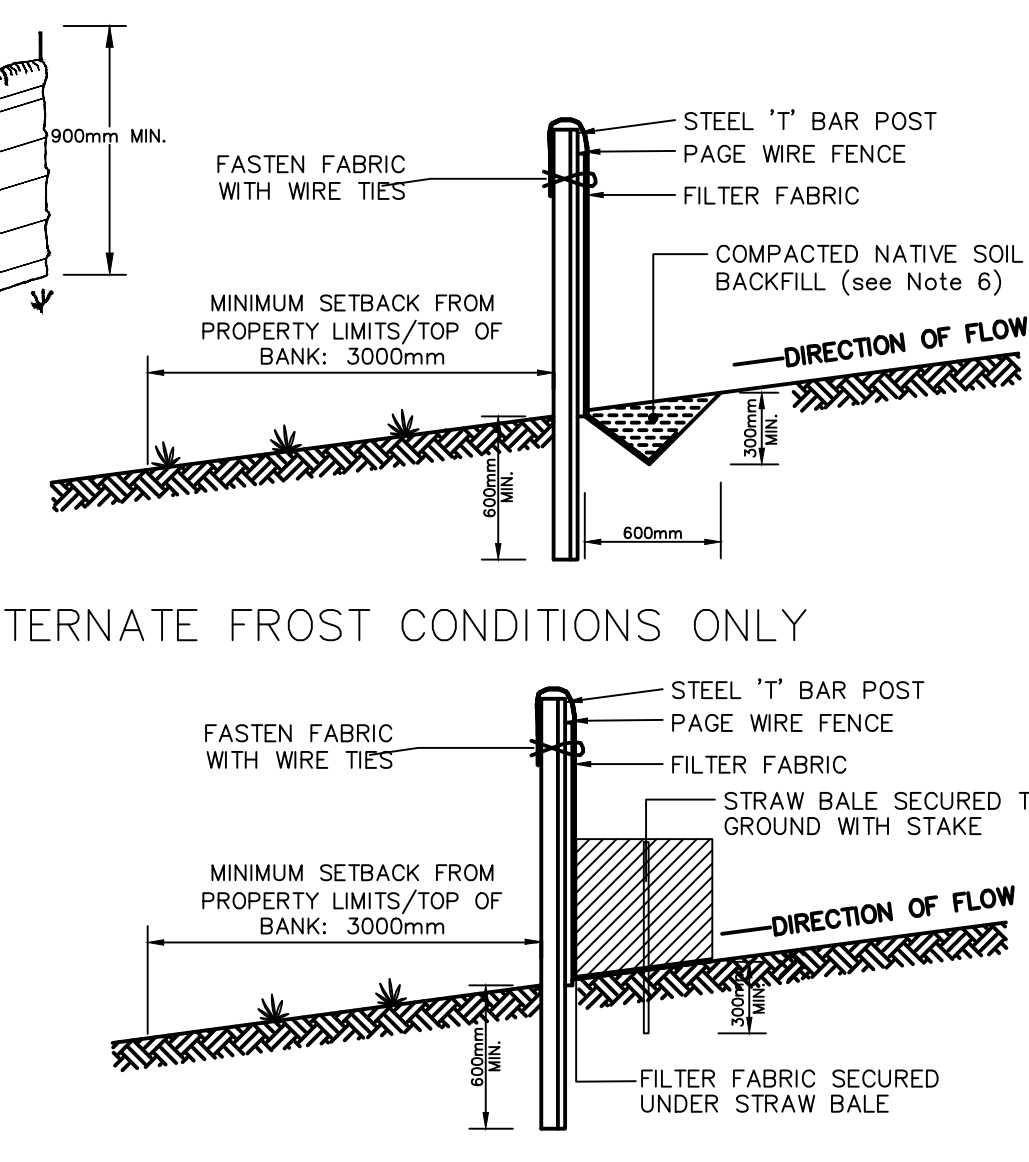
6 1.5M HT. CHAIN LINK FENCE WITH 50MM MESH N.T.S. BLACK VINYL 323113.16-23



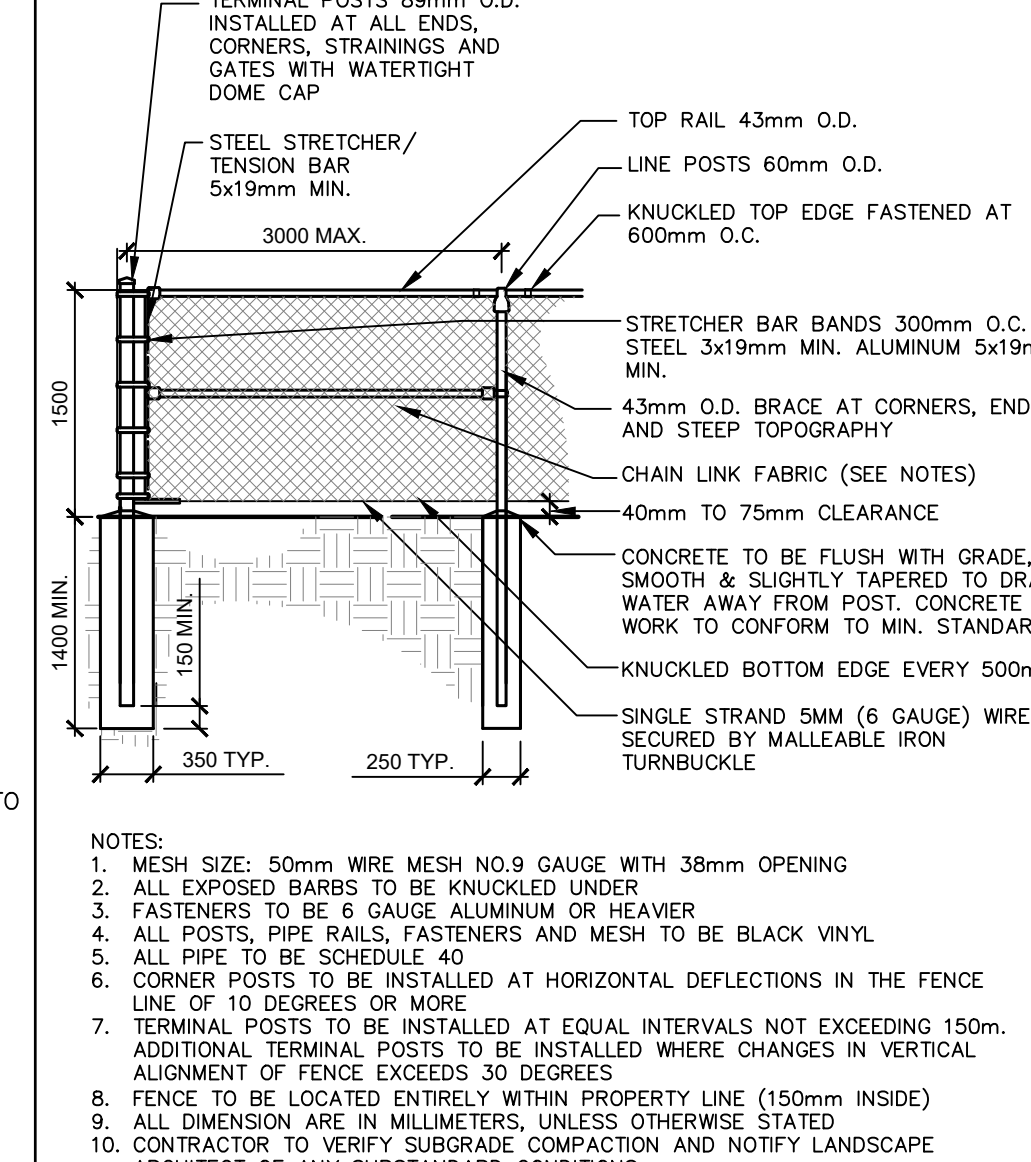
7 1.8M HT. TEMPORARY FENCING N.T.S. 015626-01



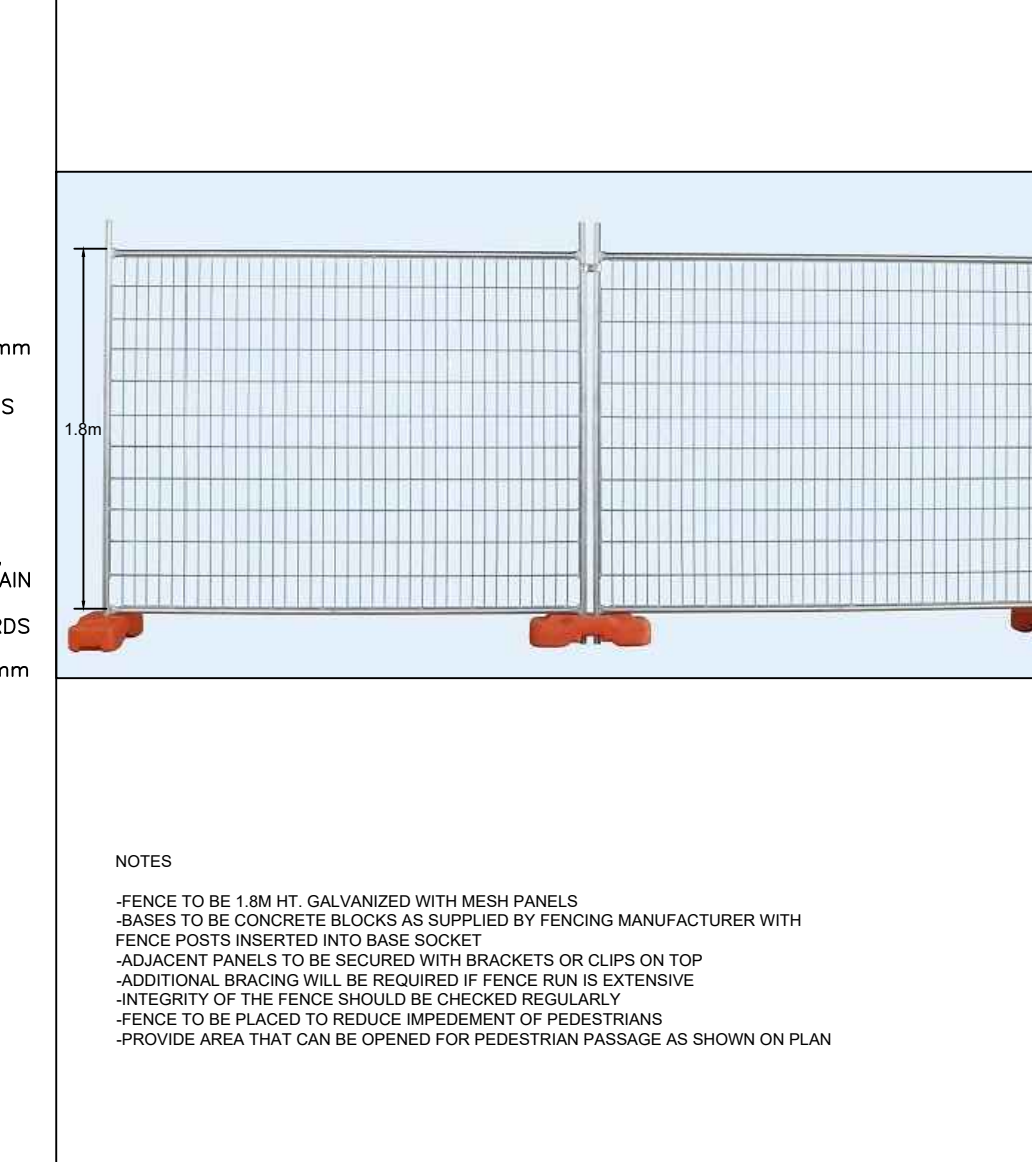
8 CORE DRILLED FENCE INTO RETAINING WALL N.T.S. 322001.25-50



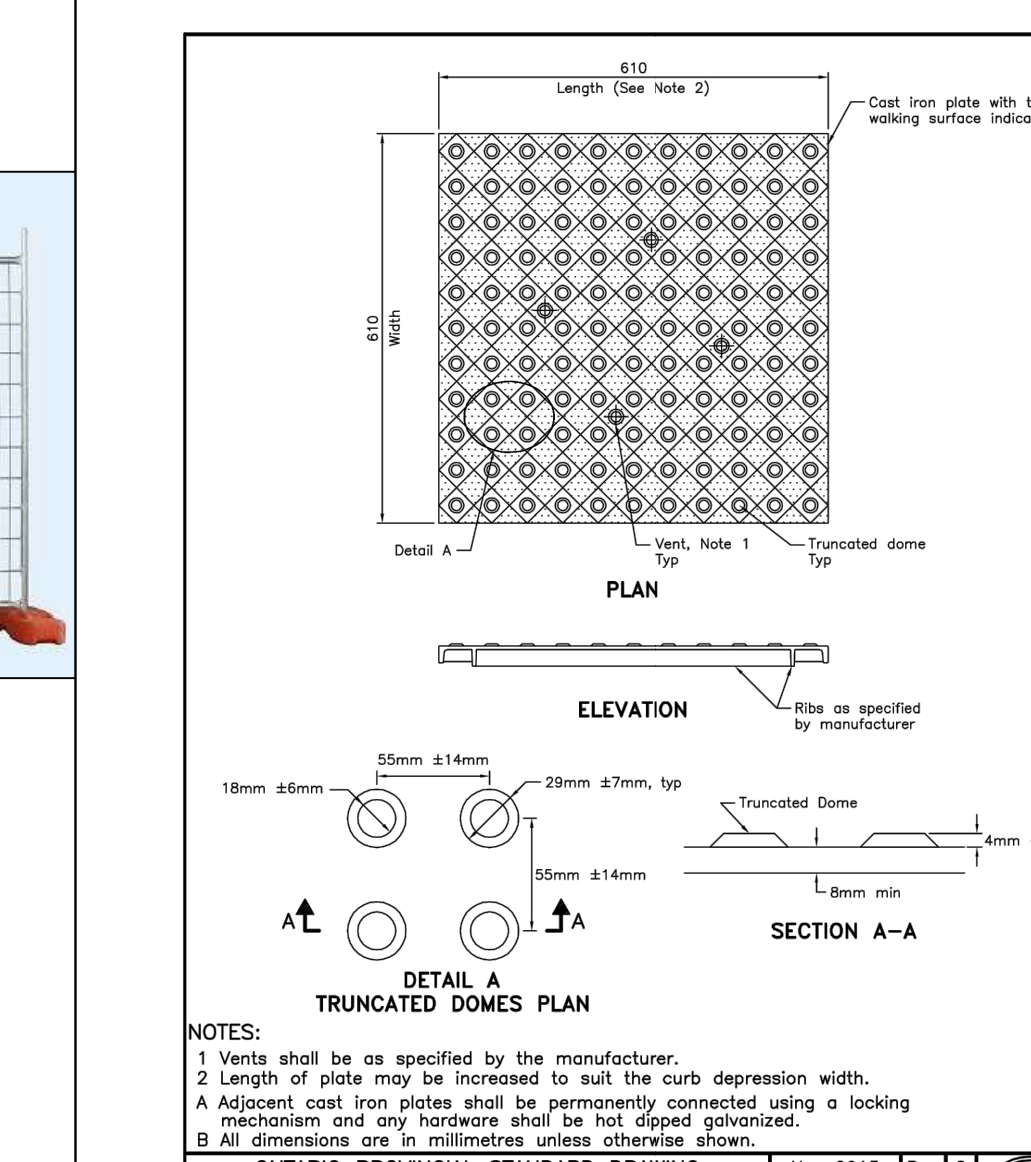
9 PRECAST CONCRETE CATCH BASIN N.T.S. 334933-01



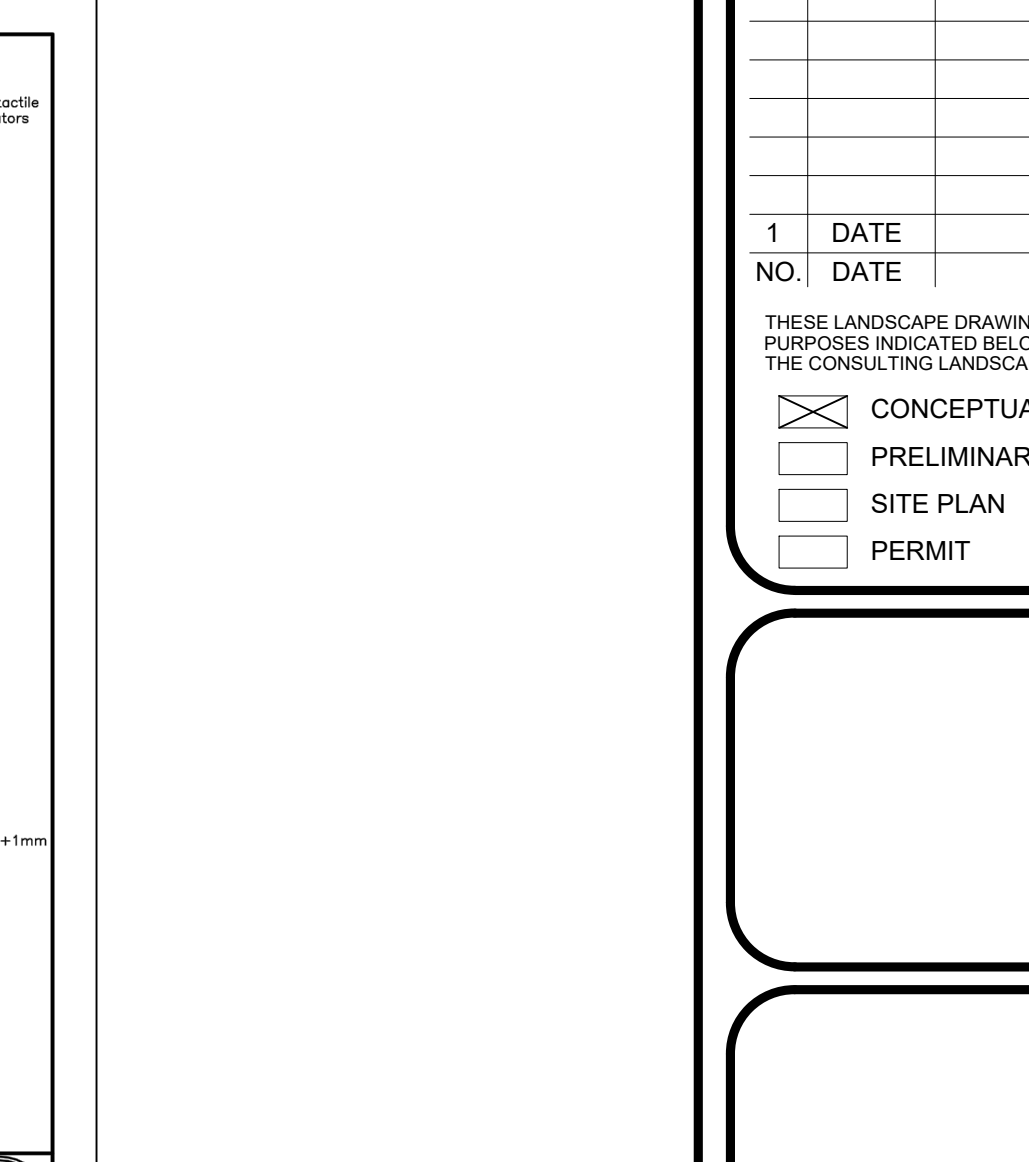
10 PRECAST CONCRETE MAINTENANCE HOLE N.T.S. 334933-01



11 METAL BOLLARD N.T.S. 321716-12

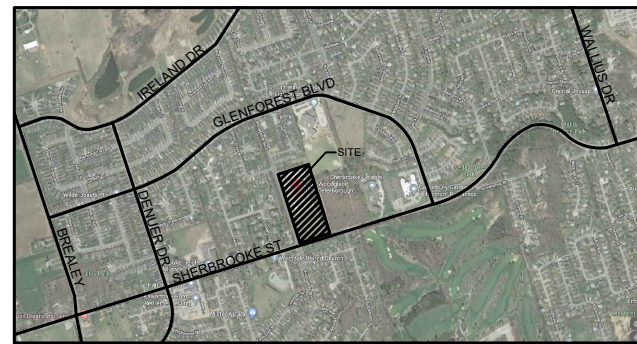


12 SOD OVER 150MM TOPSOIL N.T.S. 329223-01



13 METAL BOLLARD N.T.S. 321716-12

LOCATION MAP



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REVISIONS

NO.	DATE	NOTES	BY
1	DATE	NOTES	BY
2	DATE	NOTES	BY
3	DATE	NOTES	BY
4	DATE	NOTES	BY
5	DATE	NOTES	BY
6	DATE	NOTES	BY
7	DATE	NOTES	BY
8	DATE	NOTES	BY
9	DATE	NOTES	BY
10	DATE	NOTES	BY
11	DATE	NOTES	BY
12	DATE	NOTES	BY
13	DATE	NOTES	BY
14	DATE	NOTES	BY
15	DATE	NOTES	BY

CONCEPTUAL ☐ TENDER ☐

PRELIMINARY ☐ CONTRACT ☐

SITE PLAN ☐ CONSTRUCTION ☐

PERMIT ☐ AS-BUILT ☐

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PRELIMINARY ☐ CONTRACT ☐

SITE PLAN ☐ CONSTRUCTION ☐

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CONCEPTUAL ☐ TENDER ☐

PRELIMINARY ☐ CONTRACT ☐

SITE PLAN ☐ CONSTRUCTION ☐

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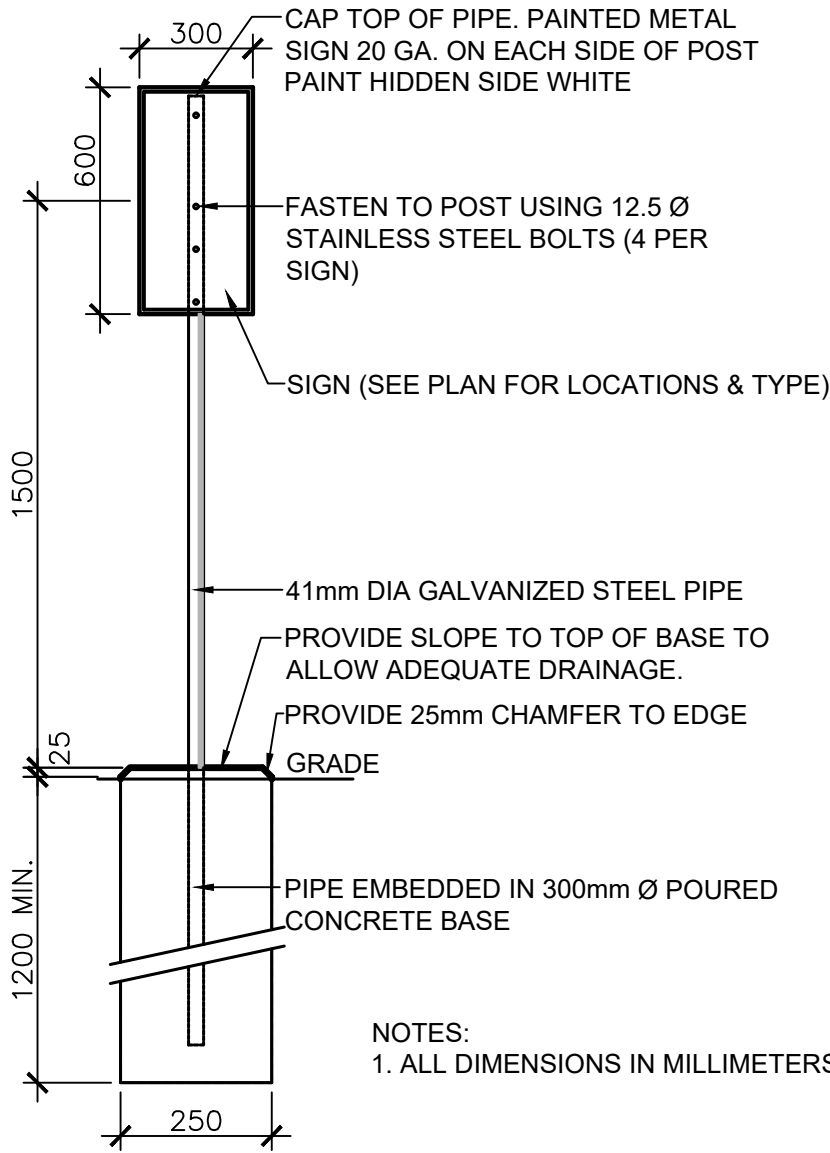
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PERMIT ☐ AS-BUILT ☐



1 TYPICAL SIGNAGE INSTALLATION

N.T.S.

324123.03-41

LOCATION MAP



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

1	DATE	NOTES	BY
NO.	DATE	NOTES	BY

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☒	CONCEPTUAL	☐	TENDER
☐	PRELIMINARY	☐	CONTRACT
☐	SITE PLAN	☐	CONSTRUCTION
☐	PERMIT	☐	AS-BUILT



**HENRY KORTEKAAS
& ASSOCIATES INC.**
LANDSCAPE ARCHITECTS,
ARBORISTS,
ENVIRONMENTAL &
RECREATIONAL PLANNERS
389 LIVERPOOL ROAD TEL 905-839-5392
PICKERING, ON L1W 1R1 EMAIL INFO@HKGA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SEALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT:
PROJEC ÉEC Monseigneur-Jamot
2350 WOODGLADE BLVD
PETERBOROUGH, ON K9K 2J6

DRAWING:

DETAILS		
DRAWN BY: KMR	SCALE: AS SHOWN	L-D2 DRAWING 8 of 8
CHECKED BY: TM	DATE: 2021-05-05	
JOB NO.: 2021-024		
File #2021-024		

SPECIFICATION

1. GENERAL CONDITIONS:
 - 1.1. DO ALL WORK IN ACCORDANCE WITH ONTARIO ELECTRICAL SAFETY CODE (CURRENT EDITION) AND THE CANADIAN ELECTRICAL CODE, PART I, CSA STANDARD C22.1, AND ALL BULLETINS TO DATE.
2. SCOPE OF WORK:
 - 2.1. PROVIDE ALL MATERIALS, EQUIPMENT AND LABOUR TO PROVIDE A COMPLETE OPERATING AND INSTALLATION AS DESIGNATED IN THIS SPECIFICATION AND AS INDICATED ON THE DRAWINGS.
 - 2.2. THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, SUPPLY AND INSTALLATION OF THE FOLLOWING ITEMS:
 - 2.2.1. POWER DISTRIBUTION.

3. GENERAL
3.1 ALL MATERIALS SHALL BE CSA APPROVED, NEW AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. IDENTIFICATION
4.1 WIRES TO BE COLORED AS FOLLOWS:
- | | | |
|---------|---------|-------|
| 120V AC | NEUTRAL | WHITE |
| 120V AC | GROUND | GREEN |

- 4.2 PROVIDE LAMICOID LABELS FOR NEW OR REVISED BREAKER PANELS, SPLITTERS AND DISCONNECTS.
- 4.3 PROVIDE TYPED CIRCUIT LISTING FOR NEW OR REVISED BREAKER PANELS.

- 5.1 PRIOR TO SUBMITTING TENDERS, THIS CONTRACTOR SHALL VISIT THE SITE TO
5.1.1 EXAMINE THE SITE AND DETERMINE ALL EXISTING CONDITIONS.
5.2 ALLOW FOR ALL COSTS ASSOCIATED WITH COMPLETING THE WORK OF DIVISION 16 IN
ACCORDANCE WITH EXISTING SITE AND BUILDING CONDITIONS.
5.3 NO ALLOWANCE FOR EXTRA PAYMENTS TO THE CONTRACTOR WILL BE MADE BY THE
OWNER FOR FAILING TO VISIT AND EXAMINE SITE CONDITIONS.

- 6.1 SUB-CONTRACTOR SHALL MAINTAIN SUCH INSURANCE AS WILL FULLY PROTECT BOTH THE OWNER AND THE SUB-CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKMEN'S COMPENSATION ACT, ALSO ALL INSURANCE AS NOTED WITHIN ARCHITECTURAL GENERAL CONDITIONS.

- 7.1.2.1 MAINTAIN A SEPARATE SET OF WHITE PRINTS ON THE SITE AND NOTE ALL CHANGES AND DEVIATIONS FROM THE ORIGINAL DESIGN. TWO SETS OF THESE DRAWINGS SHOWING ALL AS-BUILT CONDITIONS SHALL BE FORWARDED TO THE ARCHITECT AT THE COMPLETION OF THIS CONTRACT AND BEFORE APPLYING FOR FINAL PAYMENT.

8. REVISIONS AND EXTRAS
8.1 ADDITIONAL MONEY OVER THE CONTRACT PRICE SHALL NOT BE PAID UNLESS AN APPROVED CHANGE ORDER IS ISSUED BY THE ARCHITECT. CLAIMS FOR EXTRAS SHALL BE SUBMITTED WITH A COMPLETE BREAKDOWN OF MATERIAL, LABOUR, HOURLY RATES, ETC.

9. CLEAN UP
9.1 BE RESPONSIBLE TO KEEP THE AREA CLEAN AT ALL TIMES AND TO PERIODICALLY REMOVE ALL DEBRIS.

- 10.1 ALL CUTTING AND PATCHING REQUIRE FOR THE WORK OF THIS DIVISION SHALL BE CARRIED OUT BY THIS DIVISION. NO CHASING BLOCK WORK WILL BE ALLOWED. CUTTING AND DRILLING SHALL BE PERFORMED IN A MANNER SO AS TO CAUSE LITTLE DAMAGE. BE RESPONSIBLE AND PAY FOR ANY DAMAGE TO THE BUILDING INCURRED BY WORK OF THIS DIVISION.

- 11.1.1 BE RESPONSIBLE TO COORDINATE THE INSTALLATION OF EQUIPMENT, CONDUCT WORK, LIGHTING FIXTURES, ETC. WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE PRIOR TO THE ACTUAL INSTALLATION.

- 12.1.2.1 BE RESPONSIBLE FOR ELECTRICAL WORK UNTIL THE COMPLETION AND FINAL ACCEPTANCE, FOR REPLACING ANY ITEM THAT MAY BE DEFECTIVE, DAMAGED, LOST OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY TO THE COMPLETION OF THE PROJECT.

- 13.1 WIRING MATERIALS AND METHODS APPROVED BY ONTARIO ELECTRICAL CODE FOR USE
13.1.1 ALL BUILDING WIRE SHALL BE COPPER TYPE RW90-ALPE WHERE APPROPRIATE
13.1.2 CABLE WHERE OTHERWISE NOTED.
13.1.3 USE MINIMUM OF #12 AWG FOR BRANCH CIRCUIT WIRING.
13.1.4 ARMORED CABLE TYPE AC90 (BX) WITH INTERLOCKING ARMOUR FABRICATED FROM
ALUMINUM STRIP C/W COPPER INSULATED CONDUCTORS, SIZE AS INDICATED, TO BE
USED IN CONCEALED WALL AND CEILING CAVITIES.

14. SHOP DRAWINGS AND PRODUCT DATA
14.1 PERFORMANCE, CHARACTERS, SPECIFICATIONS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE MANUFACTURER OF THE WORK.
14.2 INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, NECESSARY FOR COMPLETION OF WORK.
14.3 ADJUSTMENTS MADE ON SHOP DRAWINGS BY OWNER OR ENGINEER ARE NOT INTENDED TO CHANGE CONTRACT PRICE.
14.4 MAKE CHANGES IN SHOP DRAWINGS AS OWNER OR ENGINEER MAY REQUIRE.
14.5 SUBMIT TO THE OWNER TWO SETS OF QUALITY ELECTRONIC COPY OF PRODUCT DATA AND SHOP DRAWINGS FOR PRODUCTION OF THE PROJECT MANUAL.
14.6 PROVIDE 2 MAINTENANCE MANUALS COMPLETE WITH WARRANTY CERTIFICATE OF INSPECTION BY ESA, FIRE ALARM VERIFICATION REPORT, AND COPY OF ALL PRODUCT LITERATURE AND MAINTENANCE INFORMATION.

15. SYSTEMS DEMONSTRATION
15.1 PRIOR TO FINAL INSPECTION DEMONSTRATE OPERATION OF EACH SYSTEM TO OWNER AND ENGINEER.
15.2 INSTRUCT PERSONNEL IN OPERATION ADJUSTMENT AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS BASIS FOR INSTRUCTION.

16. PERMITS, FEES, AND INSPECTION
17. SUBMIT TO ELECTRICAL SAFETY AUTHORITY NECESSARY NUMBER OF DRAWINGS AND
18. SPECIFICATIONS FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.
19. 16.2 FEE ASSOCIATED FEES INCLUDING EQUIPMENT APPROVAL, INSPECTION FEE
20. 16.3 OWNER WILL PROVIDE DRAWINGS AND SPECIFICATIONS REQUIRED BY ELECTRICAL
21. SAFETY AUTHORITY AT NO COST.
22. 16.4 CHANGES TO WORK SHALL BE APPROVED BY ELECTRICAL SAFETY AUTHORITY PRIOR
23. TO ANY OTHER CHANGES.
24. 16.5 FURNISH CERTIFICATES OF ACCEPTANCE FROM ELECTRICAL SAFETY AUTHORITY AND
25. AUTHORITIES HAVING JURISDICTION OF COMPLETION OF WORK TO ENGINEER.

18. WARRANTY. AFTER THE WORK IS COMPLETED, GIVE A WRITTEN GUARANTEE FOR ONE YEAR COVERING WORKMANSHIP AND MATERIALS. REPAIR OR REPLACE WITHOUT EXPENSE TO THE OWNER, ANY DEFECTS DUE TO WORKMANSHIP OR MATERIALS WHICH IN THE OWNER'S OPINION, ARE NOT DUE TO MISUSE OR NEGLIGENCE.

19. CONDUIITS, AND RACEWAYS
19.1.1 RIGID GALVANIZED STEEL CONDUIT TO BE USED WHERE SUBJECT TO MECHANICAL DAMAGE.
19.2 ELECTRICAL, METALLIC TUBING (EMT) WITH COUPLINGS TO BE USED EXCEPT WHERE SUBJECT TO MECHANICAL DAMAGE.
19.3 RIGID PVC CONDUIT WHERE EXPOSED TO UNIFORM MOISTURE OR MECHANICAL DAMAGE.
19.4 RIGID PVC CONDUIT WHERE EMBEDDED IN CONCRETE OR BELOW GRADE.
19.5 FLEXIBLE PLASTIC TUBING OR STRAIN RELIEF WEATHERPROOF COVERING TO BE USED WHERE SUBJECT TO MECHANICAL DAMAGE.
19.6 CONDUITS IN FINISHED AREA SHALL BE CONCEALED.
19.7 CONDUITS SHALL BE MINIMUM 1/2".

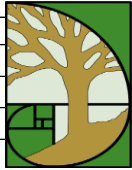
22. EXCAVATION, BACKFILL, AND CONCRETE WORK
22.1 WHERE REQUIRED FOR UNDERGROUND SERVICE (POWER OR TELEPHONE), THE EXCAVATION, BACKFILL, AND CONCRETE WORK SHALL BE BY THE GENERAL CONTRACTOR. THE ELECTRICAL TRADE SHALL SUPERVISE THE PROCESSING OF CONCRETE AROUND THE ELECTRICAL. TRADES ARE FREE FROM YODS SHALL ADVISE THE GENERAL CONTRACTOR OF THIS WORK FOR INCLUSION IN THE GENERAL CONTRACTOR'S TENDER PRICE.

- 
- 570 Water Street
Peterborough, Ontario
K9H 3M8
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F: (705) 741-1526
www.kirklandeng.com
- KIRKLAND ENGINEERING LTD.**

**MONSEIGNEUR-JAMOT
RETAINING WALL
RECONSTRUCTION**
2350 Woodglade Blvd.
Peterborough, Ontario

SPECIFICATION

SCALE AS NOTED		
DESIGN	DRM	
DRAWN	IAB	
CHECKED	DRM	
APPROVED	DRM	
PROJECT		6857

BID SHEET						
Job Name: ÉEC Monseigneur-Jamot 2350 Woodglade Blvd, Peterborough						
Location: 2350 Woodglade Blvd, Peterborough						
Description: Retaining wall Reconstruction						
HKA #: 2021-024						
Date: June 10, 2021						
 HENRY KORTEKAAS & ASSOCIATES INC. 599 Liverpool Road Pickering, ON L1W 1R1 (905) 839-5599 info@hkla.ca www.hkla.ca						
Schedule Date						
Tender Closes: June 23, 2021						
Start Construction: TBD						
Substantial Completion: End of August 2021						
NOTES:						
1. I/We the undersigned bidder(s), have examined the specifications, standard tender and contract terms and conditions, do hereby offer to supply all labour, materials, products, equipment, tools, machinery, freight to perform the services herein described for the following prices.						
2. The quantities shown in the Schedule of Contract Unit Prices are firm. The Contract Price shall be the sum of the products of the actual quantities that are incorporated in, or made necessary by the Work, as confirmed by the count and measurement, and the appropriate Contract Unit Price, together with any adjustments that are made in accordance with the provisions of the Contract Documents. Nevertheless, no work beyond the amount stipulated is to be carried out without approval of the Landscape Architect.						
3. The Contract Price shall be the sum of the products of the actual quantities and the appropriate Contract Unit Prices in the Schedule.						
Notes: 1. S & P = SUPPLY & PLACE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED						
2. CONTRACTOR TO SUPPLY AS-BUILTS WITH EACH PROGRESSIVE INVOICE						
3. PROVIDE TWO (2) YEAR WARRANTY ON PLANTING						
4. PRIOR TO WORK COMMENCEMENT, CONTRACTOR AND SURVEYOR TO CONFIRM LAYOUT AND GRADES.						
Item	Description	Qty.	Size/Unit	Unit Price	Extended Price	Contract Items Subtotal
1.0 Site Preparation and Removals						
1.1	S&P Temporary construction fence	447.1	lin.m	\$ -	\$ -	
1.2	S&P Heavy Duty Silt Fence	302.5	lin.m	\$ -	\$ -	
1.3	Utility locates	1	lump.sum	\$ -	\$ -	
1.4	Removal and disposal of existing fence on top of retaining wall	1	lump.sum	\$ -	\$ -	
1.5	Removal and disposal of wall material and tie backs	1	lump.sum	\$ -	\$ -	
1.6	Removal and disposal of existing asphalt, curbs, sidewalks	1	lump.sum	\$ -	\$ -	
1.7	Removal and storage of play structure	1	lump.sum	\$ -	\$ -	
1.8	Removal of play area including woodchips and curb	1	lump.sum	\$ -	\$ -	
1.9	Removal and disposal of unsuitable subgrade material on site as determined by geotechnical consultant during excavation	1	lump.sum	\$ -	\$ -	
1.10	Removal and disposal of existing storm sewer infrastructure	1	lump.sum	\$ -	\$ -	
1.11	Removal and store on site all site signage and poles	1	each	\$ -	\$ -	
1.12	Provide all survey and layout as required	1	lump.sum	\$ -	\$ -	
1.13	Provide all temporary site facilities as required	1	lump.sum	\$ -	\$ -	
					Subtotal Site Preparation and Removals	\$ -
2.0 Site Works						
2.1	Import, placement, and grading of suitable backfill material as required based on geotechnical requirements for excavation and removal		Cu.M	\$ -	\$ -	
2.2	S&P Retaining wall and all associated granular, geogrid, base material	277	lin.m	\$ -	\$ -	
2.3	S&P Drainage pipe and filter cloth as per wall design	1	lump.sum	\$ -	\$ -	
2.4	S&P Chain link fence and footings on retaining wall	266.33	lin.m	\$ -	\$ -	
2.5	Relocate Catch basins as per plan	2	each	\$ -	\$ -	
2.6	Lower rim elevation for catch basin near play area	1	each	\$ -	\$ -	
2.7	Relocate Manhole as per plan	1	each	\$ -	\$ -	
2.8	S&P Drainage storm pipe as per plan	31.2	lin.m	\$ -	\$ -	
2.9	S&P Asphalt paving	1487	sq.m	\$ -	\$ -	
2.10	S&P Concrete Curbs	143.6	lin.m	\$ -	\$ -	
2.11	S&P Concrete paving	172.2	sq.m	\$ -	\$ -	
2.12	S&P Tactile plate indicators	2	each	\$ -	\$ -	
2.13	S&P Bollards around transformer	5	each	\$ -	\$ -	
2.14	S&P Sod over 150mm Topsoil	103.1	sq.m	\$ -	\$ -	
2.15	Reinstall all site signage	1	each	\$ -	\$ -	
2.16	Reinstall playarea	1	lump.sum	\$ -	\$ -	
2.17	Ensure all silt sacks in catch basins are to remain after relocation	2	each	\$ -	\$ -	
2.18	Provide geotechnical services as required for installation of wall, removals, back filling, testing, compaction testing, slump testing	1.0	lump.sum	\$ -	\$ -	
2.19	Provide all structural Civil Engineer stamped shop drawings	1.0	lump.sum	\$ -	\$ -	
2.20	Provide CCTV footage of new storm system after installation	1.0	lump.sum	\$ -	\$ -	

Item	Description	Qty.	Size/Unit	Unit Price	Extended Price	Contract Items Subtotal
					Subtotal Site Works	\$ -

Item	Description	Qty.	Size/Unit	Unit Price	Extended Price	Contract Items Subtotal
3.0 Electrical Scope						
3.1	Install new Transformer vault, Ground grid and Bollards per Utility Standards	1	lump.sum	\$ -	\$ -	
3.2	Install New Secondary Duct Bank, from Vault to Building complete with cable	1	lump.sum	\$ -	\$ -	
3.3	Expose Primary duct bank and pull back primary cables, route cable in new duct into new vault and pour new concrete duct bank	1	lump.sum	\$ -	\$ -	
3.4	Disconnect and remove existing secondary cable, connect new cables	1	lump.sum	\$ -	\$ -	
3.5	Remove existing vault, existing secondary ducts and abandoned section of primary ducts	1	lump.sum	\$ -	\$ -	
3.6	Coordinate to have utility disconnect Primary cables at Sherbrook prior to breaking into primary duct, disconnect, relocate, and reconnect utility owned transformer and reconnect primary cables at the road after work is completed.	1	lump.sum	\$ -	\$ -	
3.7	Allow for inspection by Municipality and Electrical safety Authority	1	lump.sum	\$ -	\$ -	
					Subtotal Electrical Scope	\$ -
4.0 Restoration						
4.1	Removal of silt fencing	1	lump.sum	\$ -	\$ -	
4.2	Replace Topsoil & sod in all disturbed areas and water/mow until acceptance	1	lump.sum	\$ -	\$ -	
4.3	Provide as built survey	1	lump.sum	\$ -	\$ -	
					Subtotal Restoration	\$ -
5.0 Warranties						
5.1	5 year warranty	1	Each	\$ -	\$ -	
5.2	10 year warranty	1	Each	\$ -	\$ -	
					Subtotal Warranties	\$ -
					Subtotal Site Works	\$ -
					H.S.T.	\$ -
					Grand Total Construction Costs	\$ -
6.0 Provisional						
6.1	Relocate, store, and re-place portable in existing location if preservation is infeasible	1	lump.sum	\$ -	\$ -	
6.2	Pay all Permit Costs as per Specifications	1	lump.sum	\$ -	\$ -	
6.3	Replacement of signage with a new in the event of a damaged sign	1	each	\$ -	\$ -	
					Subtotal Provisional	\$ -
				Contractor		
				Tel:		
				Signature:		
				Date:		