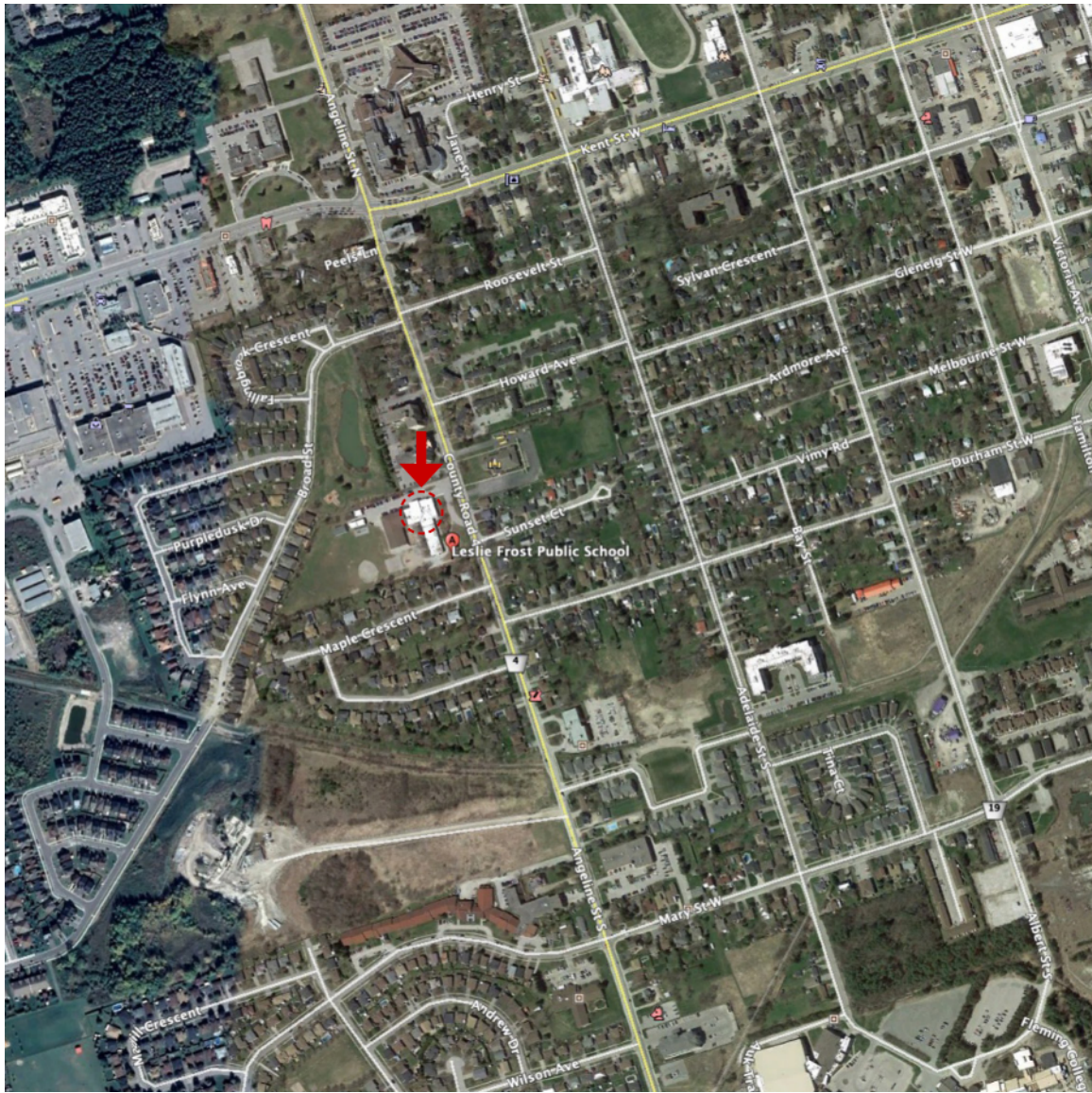


1 Keyplan  
1 : 300

LOCATION PLAN



Project Address: 51 Angeline St S, Lindsay, ON K9V 3L1

GENERAL NOTES

- 1. THESE DRAWINGS FORM PART OF THE CONTRACT DOCUMENTS. REFER TO THE CONTRACT FOR THE COMPLETE LIST OF CONTRACT DOCUMENTS AND THEIR RELATED HIERARCHY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ AND UNDERSTAND THE CONTRACT DOCUMENTS IN THEIR ENTIRETY AND REQUEST CLARIFICATION FROM THE CONSULTANT WHERE NECESSARY.
- 2. THESE DRAWINGS, THE APPENDIX A - DETAIL BOOKLET, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THE SPECIFICATION PROJECT MANUAL ARE TO BE READ IN CONJUNCTION WITH ONE ANOTHER IN THEIR ENTIRETY.
- 3. DRAWINGS ARE NOT TO BE SCALED. WHERE DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE CONSULTANT BEFORE PROCEEDING.
- 4. KEYNOTES IN THE DRAWINGS ARE TIED TO THE RELEVANT SPECIFICATION SECTION AND ARE TO BE READ IN CONJUNCTION WITH THE REQUIREMENTS OF THE SPECIFICATIONS.
- 5. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS, UNLESS OTHERWISE NOTED.
- 6. CONTRACTOR TO RETAIN ONE SET OF THE COMPLETE SET OF CONTRACT DOCUMENTS ON SITE AT ALL TIMES FOR REFERENCE INCLUDING ANY CLARIFICATIONS OR MODIFICATIONS ISSUED DURING CONSTRUCTION IN THE FORM OF SUPPLEMENTARY INSTRUCTIONS AND/OR CHANGE ORDERS/DIRECTIVES.

DIMENSIONING CONVENTIONS

- A. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE CLEAR MEASUREMENTS TO FINISHED FACE UNLESS OTHERWISE NOTED.
- B. CONTRACTOR IS TO ENSURE ALL CODE REQUIRED MINIMUM CLEARANCES ARE MAINTAINED IN THE WORK. NOTIFY CONSULTANT WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE ACHIEVED FOR REVIEW AND DIRECTION.
- C. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- D. MAINTAIN CONSISTANT FINISHED FLOOR DATUM THROUGHOUT THE PROJECT AREA SUCH THAT DIMENSIONS INDICATED AS ABOVE FINISHED FLOOR (AFF) ARE REFERENCED FROM THE SAME DATUM TO MAINTAIN ALIGNMENT OF ELEMENTS HORIZONTALLY.
- E. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. REPORT ALL DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- F. REFER TO APPENDIX A: DETAILS FOR TYPICAL MOUNTING HEIGHTS. BUILDING CODE REQUIRED MINIMUM CLEARANCE ARE TO BE MAINTAINED.

ARCHITECTURAL

#	Sheet
A000	Cover Sheet
A010	Code Compliance
A020A	Rm 103-104 DEMOLITION
A200	Floor Plan NEW WORK
A900	Rm 103-104 FINISHES
A901	Rm 103-104 FINISHES
APPENDIX A	DETAILS
DSK 10.20	DSK 10.20 Typical Barrier Free Stall

STRUCTURAL

#	Sheet
G1	STRUCTURAL UPGRADES AND REPAIRS GENERAL NOTES
S1	STRUCTURAL UPGRADES AND REPAIRS RM 103 AND 104
APPENDIX B	REFERENCE BOOKLET

MECHANICAL

#	Sheet
M01	MECHANICAL LEGEND, DRAWING LIST, KEY PLAN, SCHEDULE AND PLUMBING FIXTURE SPECIFICATION
M02	MECHANICAL PLANS - RM 103 & 104

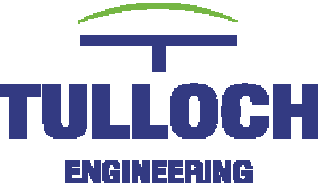
ELECTRICAL

#	Sheet
E01	KEY PLAN, DRAWING LIST, LEGEND & DETAILS - ELECTRICAL
E02	ELECTRICAL LAYOUTS - ROOM 103 & 104



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OWNER

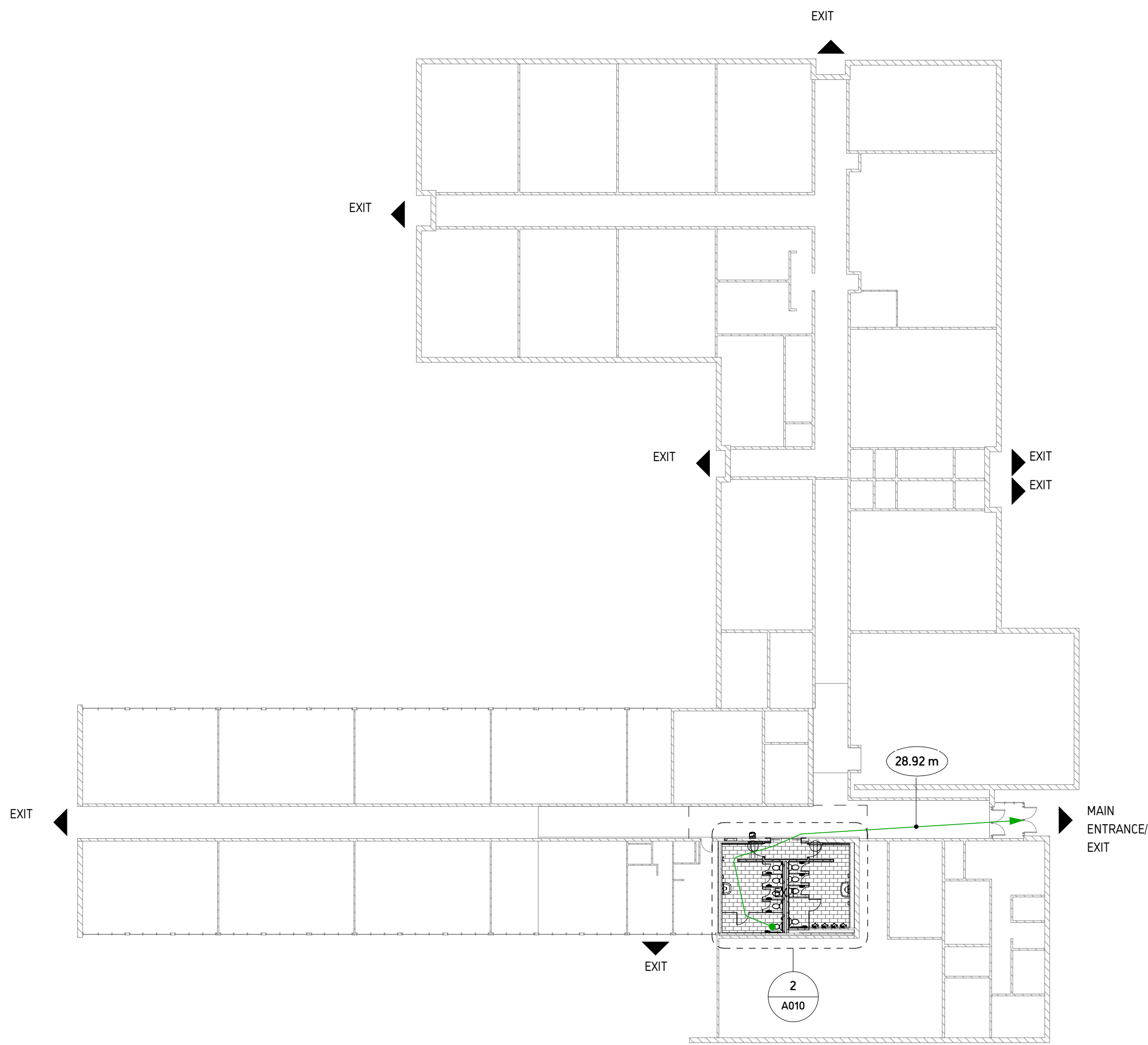
Trillium Lakelands District School Board  
P.O. Box 420  
300 County Road 36  
Lindsay, ON  
K9V 4S4  
  
Contact: Dan Whalen  
T: 705.641.1996  
daniel.whelan@tldsdb.on.ca

# Leslie Frost Public School Washroom Renewal

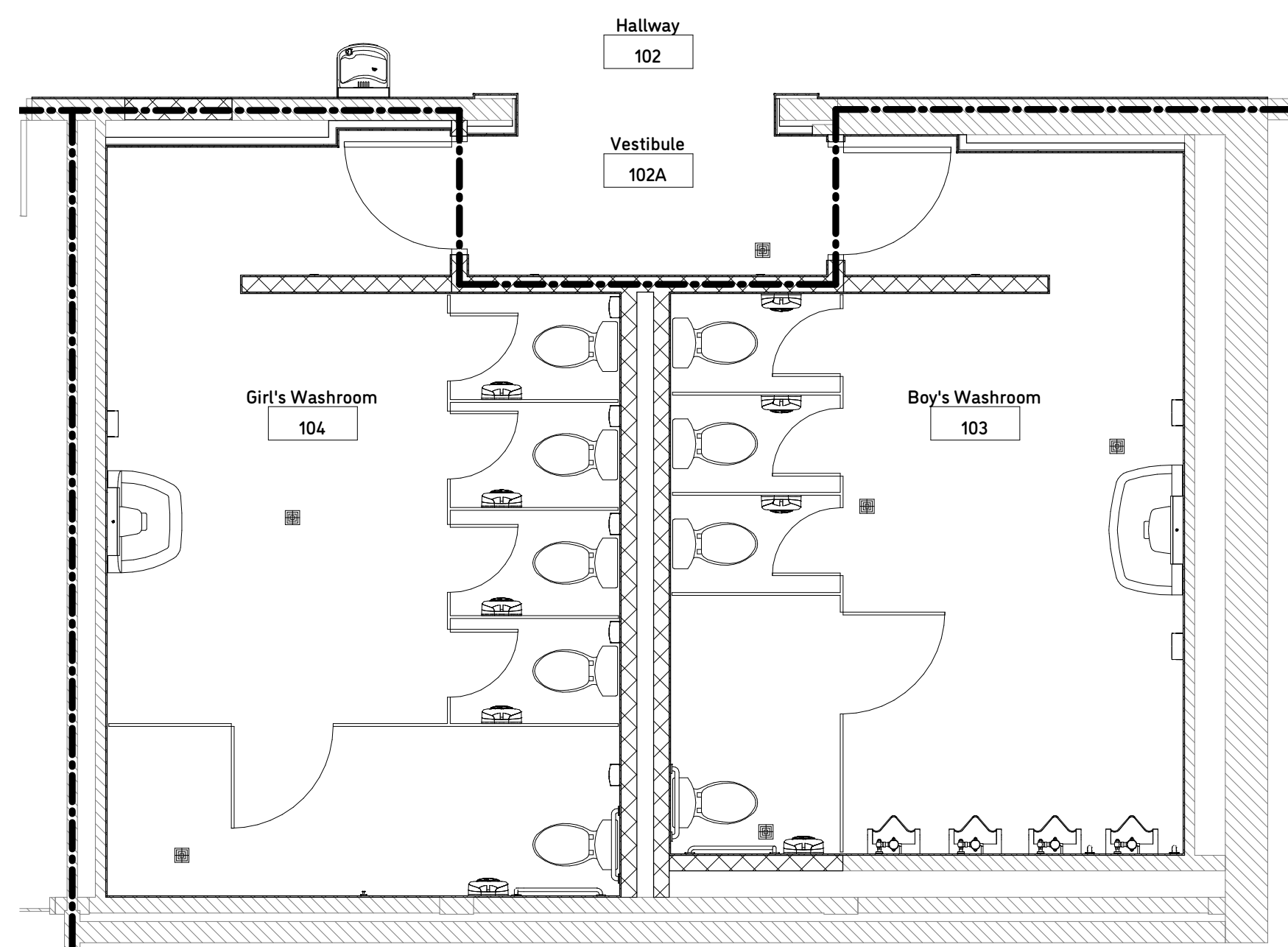
Lindsay, Ontario

Issued for: TENDER and BUILDING PERMIT





1 Egress Plan  
1:300



2 FIRE SEPARATIONS  
1:50

## GENERAL NOTES

1. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH THE ONTARIO BUILDING CODE 2012 AND THE AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
2. FOR GENERAL NOTES, SYMBOLS AND ARCHITECTURAL ABBREVIATIONS REFER TO APPENDIX A: DETAILS.
3. INDICATED FIRE SEPARATIONS AND ASSEMBLIES ARE TO BE CONTINUOUS AND UNINTERRUPTED.
4. FIRE SEPARATIONS/FIRE STOPPING: ALL NEW AND EXISTING PENETRATIONS THROUGH WALLS, FLOORS AND/OR CEILINGS DESIGNATED AS FIRE SEPARATIONS, NEW OR EXISTING EXPOSED DURING DEMOLITION, SHALL BE FIRE STOPPED AND SMOKE SEALED USING ULC TESTED AND APPROVED SYSTEM. PATCH AND REPAIR ALL FIRE PROOFING AT BUILDING STRUCTURE WHERE MISSING OR DAMAGED TO MAINTAIN REQUIRED FIRE RATING. SEE DRAWING A010. REFER TO SPECIFICATION SECTIONS 01 33 00 AND 07 84 00.
5. REFER TO APPENDIX A: DETAIL BOOKLET FOR CODE REQUIRED MOUNTING HEIGHTS FOR ALL WASHROOM FIXTURES, ACCESSORIES AND DOOR CONTROLS.
6. COORDINATE ALL SERVICE PENETRATIONS, FIRE DAMPERS IN FIRE SEPARATIONS WITH MECHANICAL AND ELECTRICAL SCOPE.
7. REFER TO DOOR SCHEDULE AND SPECIFICATIONS FOR REQUIRED RATED DOORS, FRAMES AND RELATED HARDWARE.

## LEGEND

- 0 HR FRR FIRE SEPARATION (SMOKE SEAL)
- 45 MIN FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1-1/2 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE WALL
- EGRESS PATH
- EXIT

## ONTARIO BUILDING CODE DATA MATRIX PART 11

11.00	Building Code Version:	0. Reg 332/12	Last Amendments:	0. Reg 139/17, 0. Reg 88/19	OBC Ref.
11.01	Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Change of Use	<input type="checkbox"/> Addition <input type="checkbox"/> Addition and Renovation	<input checked="" type="checkbox"/> Renovation	[A] 1.1.2.
	Description:	WASHROOM RENOVATION			
11.02	Major Occupancy Classification	Occupancy Assembly (A2)	Use Secondary school		3.1.2.1. (1)
11.03	Superimposed Major Occupancies	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description:		3.2.2.7.
11.04	Building Area (m <sup>2</sup> )	No changes to building area			[A] 1.4.1.2.
11.05	Building Height	1 Storeys above grade	0 Storeys below grade	Existing - no change	[A] 1.4.1.2. & 3.2.1.1.
11.06	Number of streets/ Firefighter access	street(s)	Existing - no change		3.2.2.10 & 3.2.5.
11.07	Building size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large			7.11.2.1.1.B-N
11.08	Existing Building Classification	Change in Major Occupancy: <input type="checkbox"/> Yes Hazard Index: <input type="checkbox"/> Not applicable (no change of major occupancy)			11.2.1.1.
11.09	Renovation Type	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation			11.3.3.1. 11.3.3.2.
11.10	Occupant Load	Floor Level/Area	Occ. Type	Based On	Occ. Load (Persons)
		Entire School	A2	OTG (On the ground capacity/Design occupancy)	560 persons
11.11	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50			3.7.4.5
		Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required Fixtures Existing Fixtures Provided
		Entire School	560		
		F 280	3.7.4.3 (14)	11	19
		M 280	3.7.4.3 (14)	9	15
11.12	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Explanation: The washrooms are being upgraded to suit current barrier free code requirements including new power door operators, wider doorways and enlarged barrier free stalls, barrier free plumbing fixtures and accessories.		3.8
11.13	Reduction in Performance Level	Structural: <input checked="" type="checkbox"/> No By increase in occupant load: <input checked="" type="checkbox"/> No By change of major occupancy: <input checked="" type="checkbox"/> No Plumbing: <input checked="" type="checkbox"/> No Sewage systems: <input checked="" type="checkbox"/> No Extension of combustible construction: <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes		11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
11.14	Compensating Construction:	<input type="checkbox"/> No Structural: <input checked="" type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No By change of major occupancy: <input checked="" type="checkbox"/> No Plumbing: <input checked="" type="checkbox"/> No Sewage systems: <input checked="" type="checkbox"/> No Extension of combustible construction: <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes		11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.14	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			11.5.1
11.15	Notes:	RESERVED			11.5.1



77 MAIN ST EAST HUNTSVILLE ONTARIO P1H 2B9

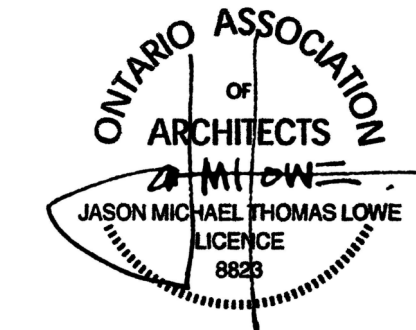
## Leslie Frost Public School Washroom Renewal

Lindsay, Ontario

## TENDER and BUILDING PERMIT

TBD

Seal



DATE: 5/17/2021 7:08:22 AM  
PROJECT NO: 2020.007.16  
DRAWN: JMTL  
CHECKED: JL

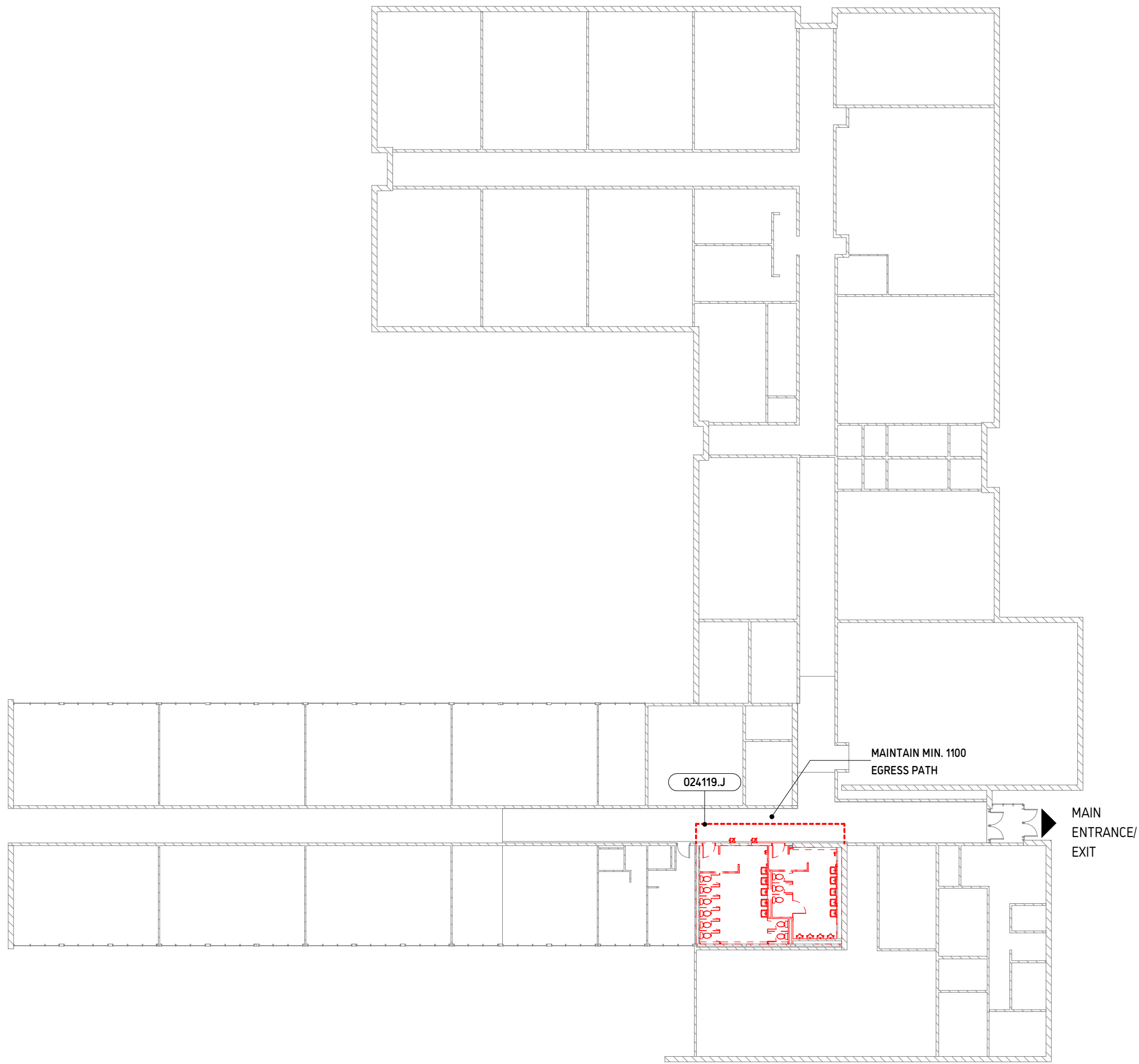
Revisions

## Code Compliance

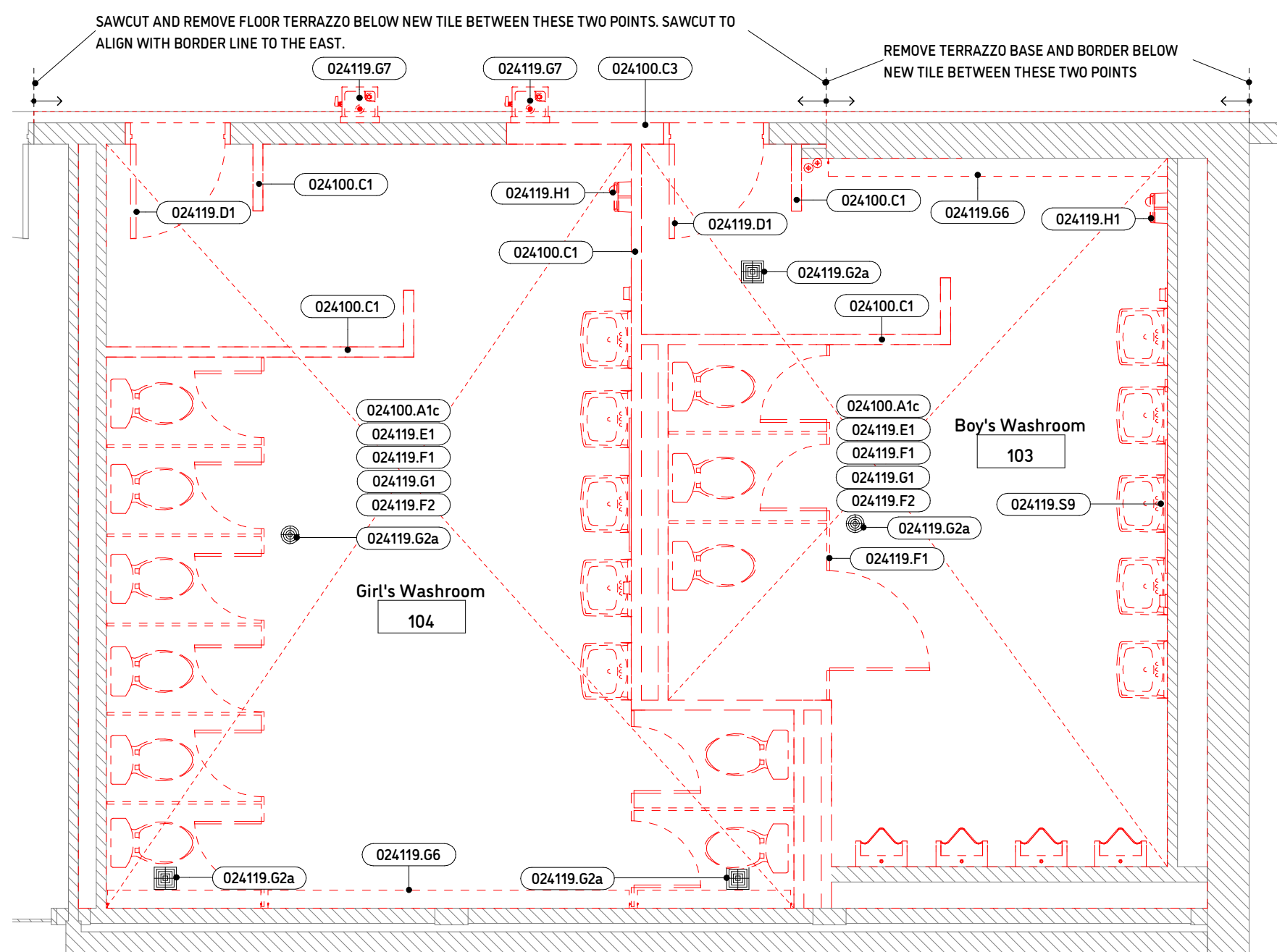
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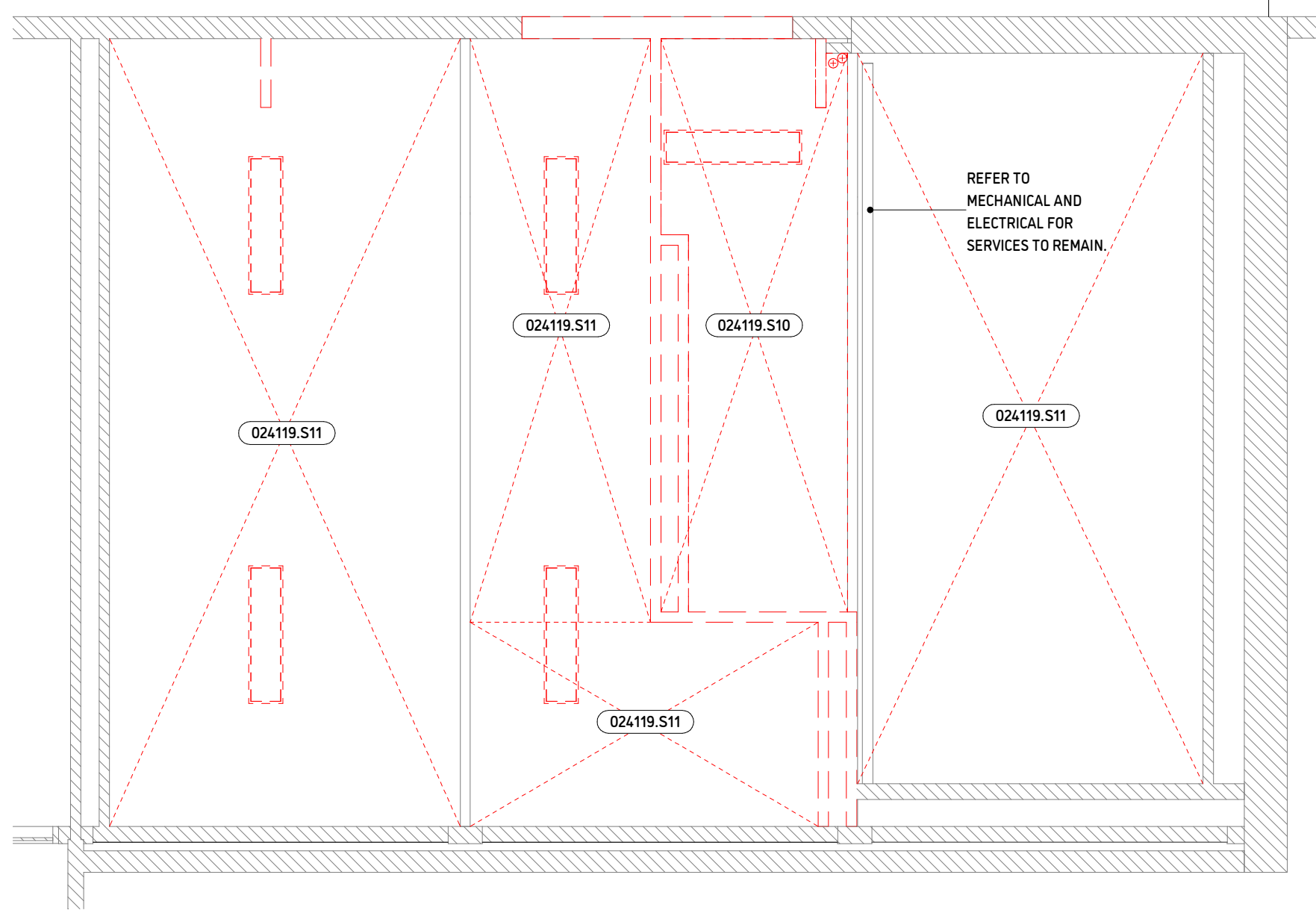
A010



1 Demolition Keyplan  
1: 300



2 Floor Plan DEMOLITION  
1: 50



3 RCP DEMOLITION  
1: 50

KEYNOTES

Key Value	Keynote Text
024100.A1c	SLAB ON GRADE. Remove entire slab on grade in the work area to accommodate new underslab drainage and structural upgrades for block wall support. Refer to Mech and Structural.
024100.C1	MASONRY WALL. Remove completely to accommodate new work. Refer to structural for further information.
024100.C3	NEW OPENING. Remove portion of wall as required to accommodate new work. Refer to structural for new lintel requirements. Provide engineered shoring as required.
024119.D1	DOOR. Remove existing door, frame and related hardware.
024119.E1	TERRAZZO FLOOR FINISH (EXT). Existing terrazzo floor finish to be removed. Terrazzo substrate to be reviewed with Consultant at time of demolition to determine extent of drypack/concrete topping removal. Assume 38mm thickness of drypack removal for pricing. Concrete topping suitable as substrate for new tile to be chipped/scarified to suite installation of new tile for flush installation to adjacent existing finishes to remain. Refer to new work for new concrete topping/leveling compound requirements.
024119.F1	TOILET/SHOWER PARTITIONS. Remove all toilet/shower partitions including floor and wall brackets, doors and related hardware. Patch/repair any holes/damage to substrate to remain.
024119.F2	WASHROOM ACCESSORIES. Remove all mirrors, grab bars, toilet paper, paper towel and soap dispensers and sanitary napkin vendor accessories. Remove all sanitary napkin disposals. Where in new condition turn over to Owner or retain for reuse as directed by the Consultant. Where accessories are recessed into wall patch/repair/infill void as required to prepare for new finish.
024119.G1	PLUMBING FIXTURES. In general all plumbing fixtures are to be removed. Refer to Mechanical for complete removal scope.
024119.G6	RADIATORS/UNIT HEATERS/COVERS. Refer to mechanical for demolition scope. Where directed retain existing rad cover for refinishing and reinstallation in new work. Where recessed into wall, fill/patch void with similar adjacent material and prepare to receive new finish.
024119.G7	DRINKING FOUNTAIN. Remove existing drinking fountain. SALVAGE if newer type and in good condition review with Consultant if unit is to be retained for Owner.
024119.H1	HAND DRYER. Remove hand dryer and associated fasteners, repair substrate as required for new work. Refer also to Electrical.
024119.J	HOARDING. Provide dustproof hoarding around local job area for duration of project. Refer to Appendix A. Details for further information. Provide plywood access door c/w hardware to secure jobsite from entry by students. If lock provided ensure that Owner is provided with a key on site for access at all times to the construction area. Ensure minimum 1100mm clear in corridors to maintain means of egress.
024119.S9	EXISTING SOAPPARATUS SYSTEM. Carefully remove stainless steel container and visible piping and turn over to Owner.
024119.S10	WOOD CEILING. Contractor to perform investigation of dropped wood ceiling to determine assembly and review with Architect next steps.
024119.S11	EXPOSED WOOD ROOF DECK. Existing wood roof deck to remain.

PRE-CONSTRUCTION REQUIREMENTS

1. **SITE REVIEWS.** REFER TO SPECIFICATION FOR LIST OF REQUIRED ON SITE REVIEWS THAT THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE CONSULTANT.
2. **DRAINAGE INSPECTIONS.** A PRE-CONSTRUCTION DRAINAGE INSPECTION IS REQUIRED PRIOR TO DEMOLITION TO DETERMINE THE CONDITION OF THE EXISTING UNDERSLAB DRAINAGE SYSTEM. PROVIDE TO THE CONSULTANT A DRAINAGE INSPECTION REPORT INCLUDING CAMERA VIDEOS OF EXISTING CONDITIONS PRIOR TO MODIFICATION/REMOVAL OF EXISTING SYSTEMS. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
3. **AIR FLOW TESTS.** A PRE-CONSTRUCTION AIR FLOW TEST IS REQUIRED PRIOR TO CONSTRUCTION. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS.

DEMOLITION NOTES

1. READ THESE DRAWINGS IN CONJUNCTION WITH NEW WORK AND ADDITIONAL DEMOLITION SCOPE DESCRIBED IN STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION ENGINEERING INCLUDING SHORING AND SCANNING OF EXISTING SUSPENDED SLABS TO PERFORM DEMOLITION WORK. REFER TO STRUCTURAL FOR FURTHER INFORMATION.
3. DEMOLITION FLOOR PLAN DRAWINGS GENERALLY INDICATE THE EXISTING STATE OF THE EXISTING BUILDING. DIAGONAL HATCHED WALLS INDICATE APPROXIMATE EXTENT OF EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, EXTENT OF DEMOLITION AND REMOVALS ON SITE PRIOR TO WORK PROCEEDING.
4. BROKEN OR DASHED LINES GENERALLY INDICATE REMOVALS. SCOPE TO INCLUDE REMOVALS AS REQUIRED TO ACHIEVE NEW WORK.
5. PROVIDE TEMPORARY BRACING AND SHORING TO SUPPORT EXISTING CONSTRUCTION TO ALLOW FOR NEW CONSTRUCTION AS INDICATED ON DRAWINGS. CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION ENGINEERING REQUIRED TO PERFORM WORK OF CONTRACT. REFER TO STRUCTURAL.
6. REFER TO OWNER'S REQUIREMENTS FOR HAZARDOUS MATERIALS PROCEDURES.
7. UPON REMOVAL OF WALL AND CEILING FINISHES THE CONTRACTOR IS TO EXAMINE ALL WALLS TO IDENTIFY ANY EXISTING DEFICIENCIES IN DESIGNATED FIRE SEPARATIONS AND BRING THEM TO THE ATTENTION OF THE CONSULTANT. REPAIR AND REINSTATEMENT OF FIRE SEPARATION/FIRE STOPPING INTEGRITY WILL BE ADDRESSED THROUGH CONTINGENCY/CASH ALLOWANCE.
8. ACCESS DOORS. EXISTING ACCESS DOORS IN WALLS AND CEILING ARE TO BE NOTED AND DIMENSIONED IN PLAN BY CONTRACTOR ON AS-BUILTS AND COORDINATED WITH MECHANICAL AND ELECTRICAL TRADES FOR RE-USE IN NEW WORK IF REQUIRED. IF NOT REQUIRED NOTIFY CONSULTANT. ABANDONED ACCESS DOOR PENETRATIONS IN WALLS TO BE FILLED/REPAIRED AS REQUIRED TO SUPPORT NEW FINISH OVER.
9. SLAB CUTTING AND UNDERSLAB DRAINAGE WORK. REFER TO MECHANICAL. SCOPE OF WORK TO INCLUDE DRAINAGE INSPECTION, VIDEO DOCUMENTATION AND REPORT OF EXISTING UNDERSLAB DRAINAGE SYSTEMS IN AREA OF WORK TO BE FORWARDED TO CONSULTANT PROMPTLY FOR REVIEW. BID PRICE TO INCLUDE:  
a) SELECTIVE AND CLEAN CUTTING AND REMOVAL OF SLAB TO ACHIEVE NEW WORK INDICATED IN MECHANICAL DRAWINGS AND SPECIFICATIONS.  
b) ASSUME EXCAVATION/TRENCHING TO APPROXIMATELY 600mm BELOW SLAB TO EXPOSE UNDERSLAB DRAINAGE OR INSTALL NEW AS INDICATED IN THE MECHANICAL DRAWINGS.  
c) BACKFILL. SUBSURFACE MATERIAL CONDITION IS TO BE REVIEWED BY CONSULTANT PRIOR TO BACKFILL. REFER TO STRUCTURAL. REFER TO STRUCTURAL FOR BACKFILL REQUIREMENTS.  
d) NEW SLAB INFILL - REFER TO STRUCTURAL FOR DETAILS.
10. REFER TO APPENDIX A: DETAILS FOR HOARDING DETAILS. CONTRACTOR TO PROVIDE PLYWOOD OR OTHER DUST-PROOF TYPE DOOR INTO EACH HOARDED ZONE. IF KEY REQUIRED FOR ACCESS, CONTRACTOR IS TO PROVIDE TLD5B ON-SITE STAFF WITH A KEY FOR ACCESS TO THE WORK SITE(S) AT ALL TIMES.
11. WASHROOM ACCESSORIES. IN GENERAL ALL WASHROOM ACCESSORIES TO BE REMOVED UNLESS OTHERWISE NOTED.



77 MAIN ST EAST HUNTSVILLE ONTARIO P1H 2B9

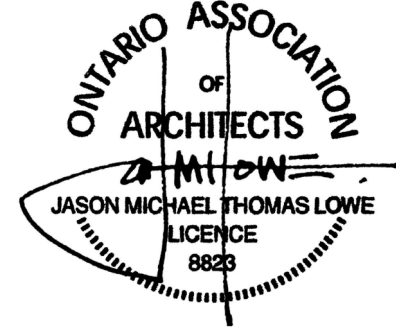
Leslie Frost Public  
School Washroom  
Renewal

Lindsay, Ontario

TENDER and  
BUILDING PERMIT

TBD

Seal



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PROJECT NO:	2020.007.16
DRAWN:	JMTL
CHECKED:	JMTL

Revisions

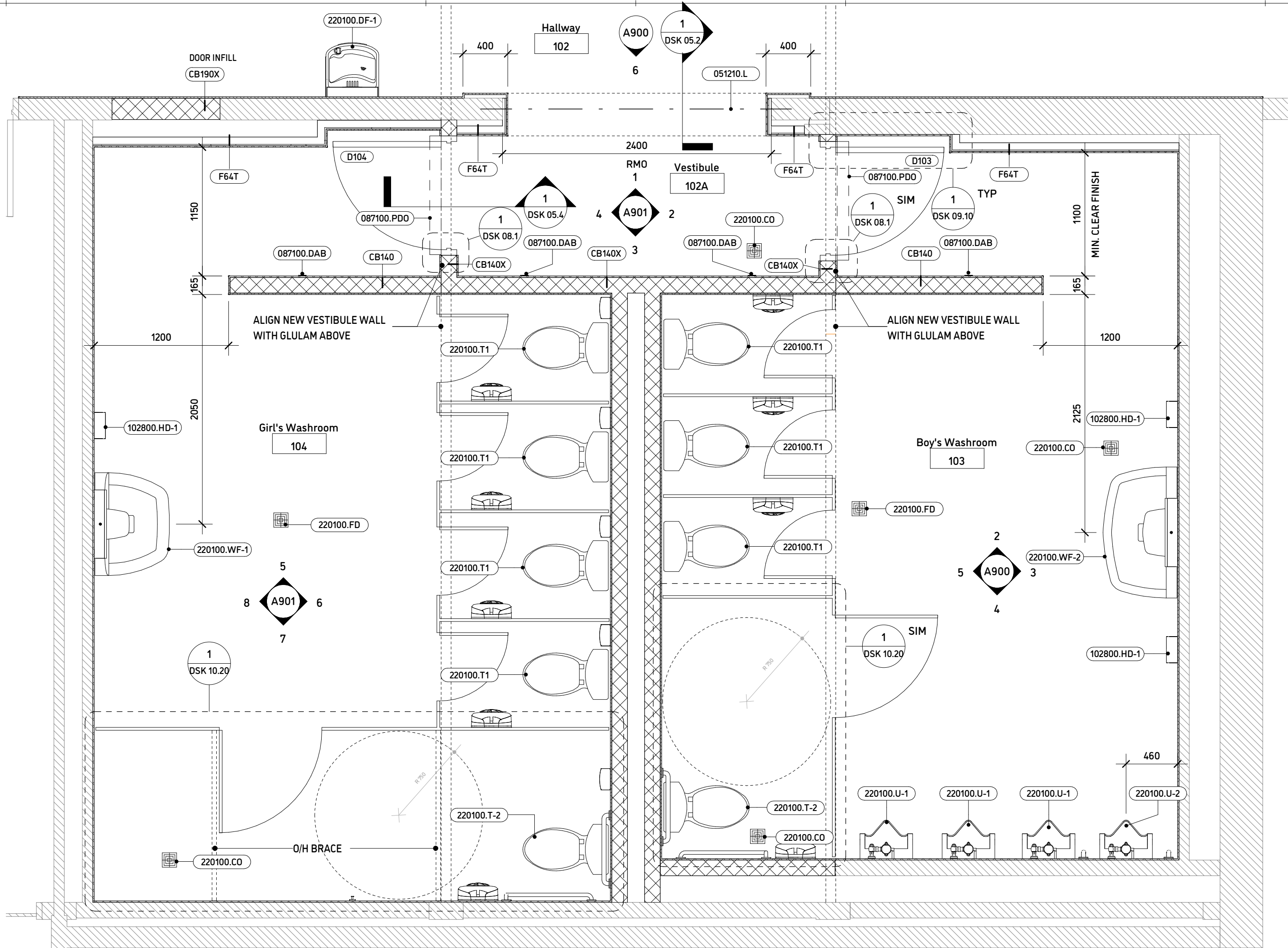
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Rm 103-104  
DEMOLITION

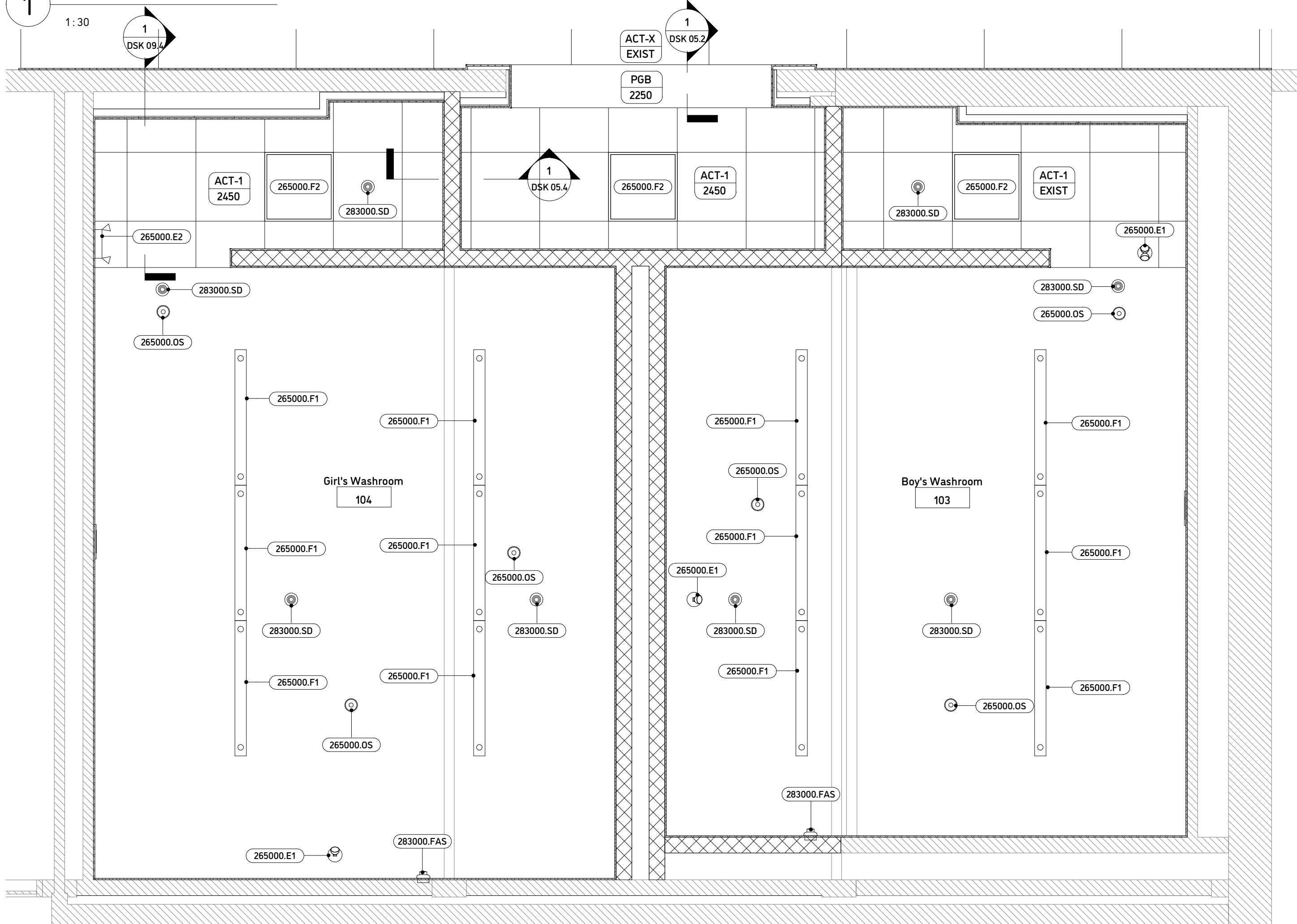
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A020A





1 Floor Plan NEW WORK



2 RCP NEW WORK

## KEYNOTES

Key Value	Keynote Text
051210.L	New lintel - refer to structural
087100.DAB	Door Actuator Button [Refer also to Electrical]
087100.PDO	Power Door Operator with hold open function. [Refer also to Electrical]
102800.HD-1	Hand Dryer [Refer to Electrical]
220100.DF-1	Drinking Fountain DF-1
220100.T1	Toilet T-1
220100.T-2	Toilet T-2
220100.U-1	Urinal U-1
220100.U-2	Urinal U-2 B/F Height
220100.WF-1	Washfountain WF-1
220100.WF-2	Washfountain WF-2
265000.E1	E1 Emergency Remote Light Fixture Refer to Electrical
265000.E2	E2 Emergency Light Fixture w/ Battery Unit Refer to Electrical
265000.F1	F1 Light Fixture Refer to Electrical
265000.F2	F2 Light Fixture Refer to Electrical
265000.OS	Occupancy Sensor
283000.FAS	Fire Alarm Strobe
283000.SD	Fire Alarm Smoke Detector

## GENERAL NOTES - FLOOR PLAN

1. ALL WORK SHALL COMPLY WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE, REFERENCED STANDARDS, AND MANUFACTURER'S INSTRUCTIONS.
2. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS AND WORK BY ALL TRADES.
3. COORDINATE LOCATIONS OF NEW FLOOR, WALL AND ROOF OPENINGS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LATEST REVIEWED SHOP DRAWINGS.
4. THE CONTRACT DOCUMENTS ARE TO BE READ AS A WHOLE. REFER TO CONTRACT FOR HIERARCHY OF INFORMATION. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. WHERE CONFLICTS ARE ENCOUNTERED BETWEEN DISCIPLINES THE CONTRACTOR IS TO REQUEST CALRIFICATION FROM THE CONSULTANT IN WRITING.
5. DETAILS AND SECTIONS ON THE DRAWINGS ARE INDICATED AT SPECIFIC LOCATIONS. DETAILS NOTED "TYPICAL" OR "TYP." IMPLY SIMILAR CONDITIONS TO BE TREATED SIMILARLY. MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS. WHERE SIGNIFICANT DIFFERENCES ARE ENCOUNTERED DUE TO SITE CONDITION CONTACT CONSULTANT FOR REVIEW AND DIRECTION PRIOR TO PROCEEDING.
6. FIRE SEPARATIONS/FIRE STOPPING. ALL NEW AND EXISTING PENETRATIONS THROUGH WALLS, FLOORS AND/OR CEILINGS DESIGNATED AS FIRE SEPARATIONS, NEW OR EXISTING EXPOSED DURING DEMOLITION, SHALL BE FIRE STOPPED AND SMOKE SEALED USING ULC TESTED AND APPROVED SYSTEMS. PATCH AND REPAIR ALL FIRE PROOFING AT BUILDING STRUCTURE WHERE MISSING OR DAMAGED TO MAINTAIN REQUIRED FIRE RATING. SEE DRAWING A010. REFER TO SPECIFICATION SECTIONS 0133 00 AND 0784 00.
7. COORDINATE AND SEQUENCE INSTALLATION OF ALL BLOCKING REQUIRED BY NEW WORK WITH ELEVATIONS AND DETAILS.
8. ACCESS PANELS/DOORS. NOT ALL REQUIRED OR EXISTING ACCESS PANELS, DOORS OR COVERS MAY BE INDICATED ON THE DRAWINGS. CONTRACTOR TO COORDINATE ACCESS DOOR AND PANEL REQUIREMENTS WITH APPROPRIATE TRADES. WHERE CONFLICTS ARISE REQUEST CLARIFICATION FROM CONSULTANT.
9. FLOOR DRAINS. REFER TO MECHANICAL. WHERE EXISTING FLOOR DRAINS ARE POSITIONED HIGH IN NEW WORK ALLOW FOR LOCAL SLAB CHIPPING AND FLOOR LEVELING TO SUIT SLOPE OR FLUSH TO NEW FINISHES INSTALL OF NEW DRAIN BODY.
10. FLOOR FINISHES. FLOOR FINISHES ARE NOT INDICATED ON GENERAL FLOOR PLANS FOR CLARITY. REFER TO FLOOR FINISH PLAN(S) FOR FLOOR FINISH INFORMATION, TILE PATTERNS AND RELATED INFORMATION.

## DIMENSIONING CONVENTIONS

- A. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE CLEAR MEASUREMENTS TO FINISHED FACE UNLESS OTHERWISE NOTED.
- B. CONTRACTOR IS TO ENSURE ALL CODE REQUIRED MINIMUM CLEARANCES ARE MAINTAINED IN THE WORK. NOTIFY CONSULTANT WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE ACHIEVED FOR REVIEW AND DIRECTION.
- C. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- D. MAINTAIN CONSISTANT FINISHED FLOOR DATUM THROUGHOUT THE PROJECT AREA SUCH THAT DIMENSIONS INDICATED AS ABOVE FINISHED FLOOR (AFF) ARE REFERENCED FROM THE SAME DATUM TO MAINTAIN ALIGNMENT OF ELEMENTS HORIZONTALLY.
- E. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. REPORT ALL DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- F. REFER TO APPENDIX A: DETAILS FOR TYPICAL MOUNTING HEIGHTS. BUILDING CODE REQUIRED MINIMUM CLEARANCE ARE TO BE MAINTAINED.

## Door Schedule

Door #	From	To			DOOR					FRAME			Hardware	Fire Rating	Comments
					Door Type	Width	Height	Thick	Door Material	Door Finish	Frame Type	Frame Material			
D103	Boy's Washroom	103 Vestibule	102A	D1	965	2134	50	HM	PME	F1	WPSF	P	HG #1	45 MIN	B
D104	Vestibule	102A Girl's Washroom	104	D1	965	2134	50	HM	PME	F1	WPSF	P	HG #1	45 MIN	B

## DOOR SCHEDULE - NOTES

- REFER TO DOOR SCHEDULE FOR APPLICABLE NOTE(S)  
REFER TO APPENDIX A: DETAILS FOR ADDITIONAL DOOR AND FRAME INFORMATION  
A. NEW DOOR AND HARDWARE IN EXISTING FRAME. COORDINATE HARDWARE WITH EXISTING FRAME PREP. FOR RATED DOORS/FRAMES ENSURE FIELD MODIFICATIONS MEET NFPA 80 REQUIREMENTS FOR ACCEPTABLE FIELD MODIFICATIONS SO AS TO NOT VOID RATING.  
B. PROVIDE NEW DOOR GRILLE REFER TO MECHANICAL.  
C. CUSTOM SIZE DOOR - CONTRACTOR TO CONFIRM DIMENSIONS ON SITE.  
D. FIRE SEPARATION INFILL REQUIRED ABOVE FRAME.



77 MAIN ST EAST HUNTSVILLE ONTARIO P1H 2B9

## Leslie Frost Public School Washroom Renewal

Lindsay, Ontario

## TENDER and BUILDING PERMIT

TBD

Seal



DATE: 5/17/2021 7:08:29 AM  
PROJECT NO: 2020.007.16  
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Revisions

Title

## Floor Plan NEW WORK

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A200





Lindsay, Ontario

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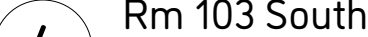
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1. TILE PRE-INSTALLATION MEETING. A PRE-INSTALLATION MEETING IS TO BE COORDINATED BY THE CONTRACTOR AND THEIR TILE TRADE(S), THE ARCHITECT AND THE OWNER PRIOR TO COMMENCING TILE INSTALLATION. REFER TO SPECIFICATION SECTION 01 31 19 FOR FURTHER INFORMATION.

2. KEYNOTE NUMBERS RELATE TO THE SPECIFICATION SECTIONS - REFER TO APPROPRIATE SPECIFICATION SECTION FOR FURTHER INFORMATION.

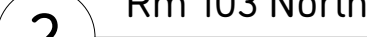
3. FIXTURES AND ACCESSORIES HAVE BEEN REMOVED FROM VIEW IN FINISH PLANS FOR CLARITY. REFER TO FLOOR PLANS FOR FURTHER INFORMATION.

4. COORDINATE PLUMBING FIXTURE FINISHED HEIGHTS WITH FINISHED FLOOR ELEVATIONS FOR FLUSH INSTALL.

5. PAINTING. ALL EXISTING PAINTED SURFACES WITHIN AREA OF NEW WORK TO RECEIVE NEW PAINT FINISH – COLOURS TO MATCH EXISTING SCHOOL COLOUR SCHEME(S) INCLUDING WALLS, GYPSUM CEILINGS, DOORS AND FRAMES UNLESS OTHERWISE NOTED. DO NOT PAINT FIRE RATED DOOR GRILLES (TYP.).

6. REFER TO APPENDIX A: DETAILS FOR TYPICAL APPLICABLE DETAILS.

7. FOR TYPICAL TOILET STALL ACCESSORIES REFER TO APPENDIX A: DETAILS.



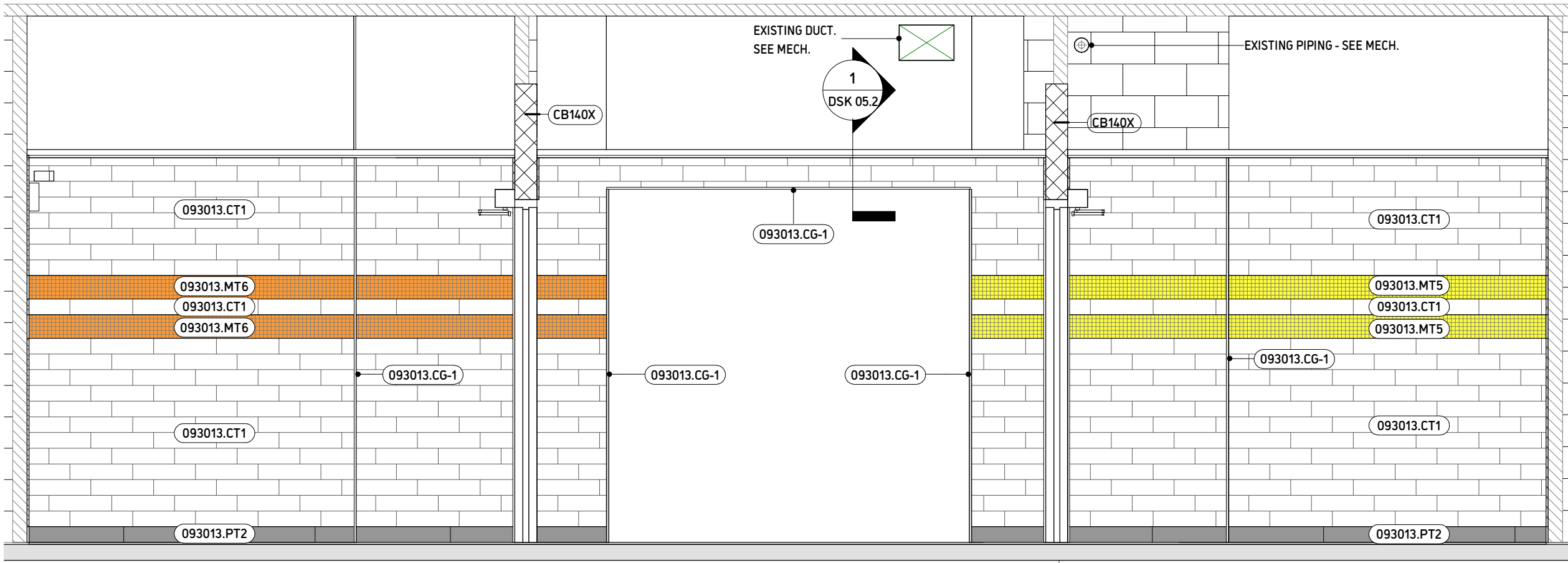
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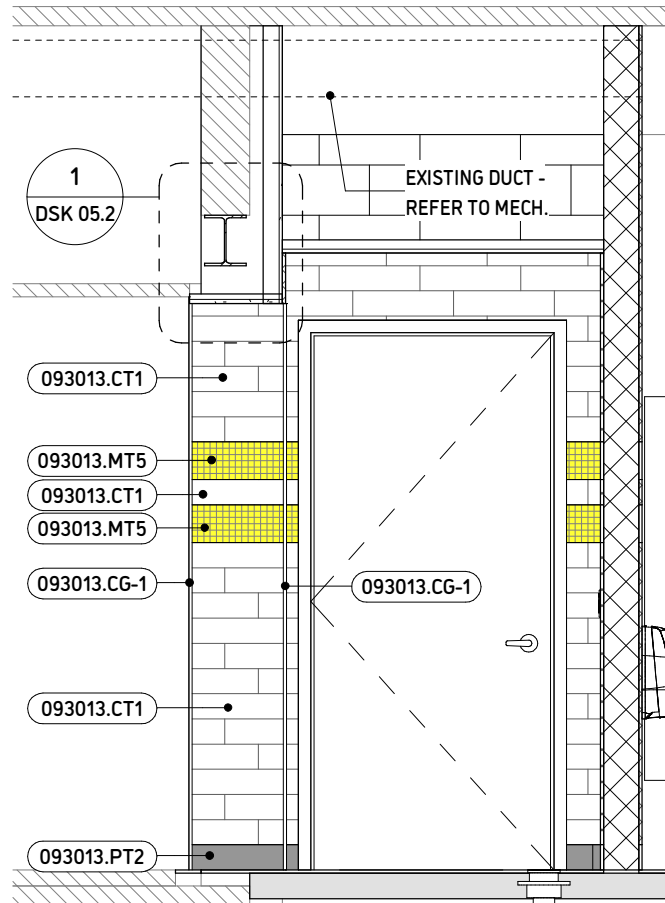
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A900 Room Finish Schedule						
Room name	Room #	Floor Finish	Wall Finish	Base Finish	Ceiling Finish	Comments
Hallway		EXT/PT-2	CT-1/MT-5/MT-6	PT-2/EXT	EXIST	
Vestibule	102A	PT-2	CT-1/MT-5/MT-6	PT-2	ACT-1	
Boy's Washroom	103	PT-2	CT-1/MT-5	PT-2	ACT-1/XP	Existing exposed wood roof deck and glulams to receive paint finish - white
Girl's Washroom	104	PT-2	CT-1/MT-6	PT-2	ACT-1/XP	Existing exposed wood roof deck and glulams to receive paint finish - white

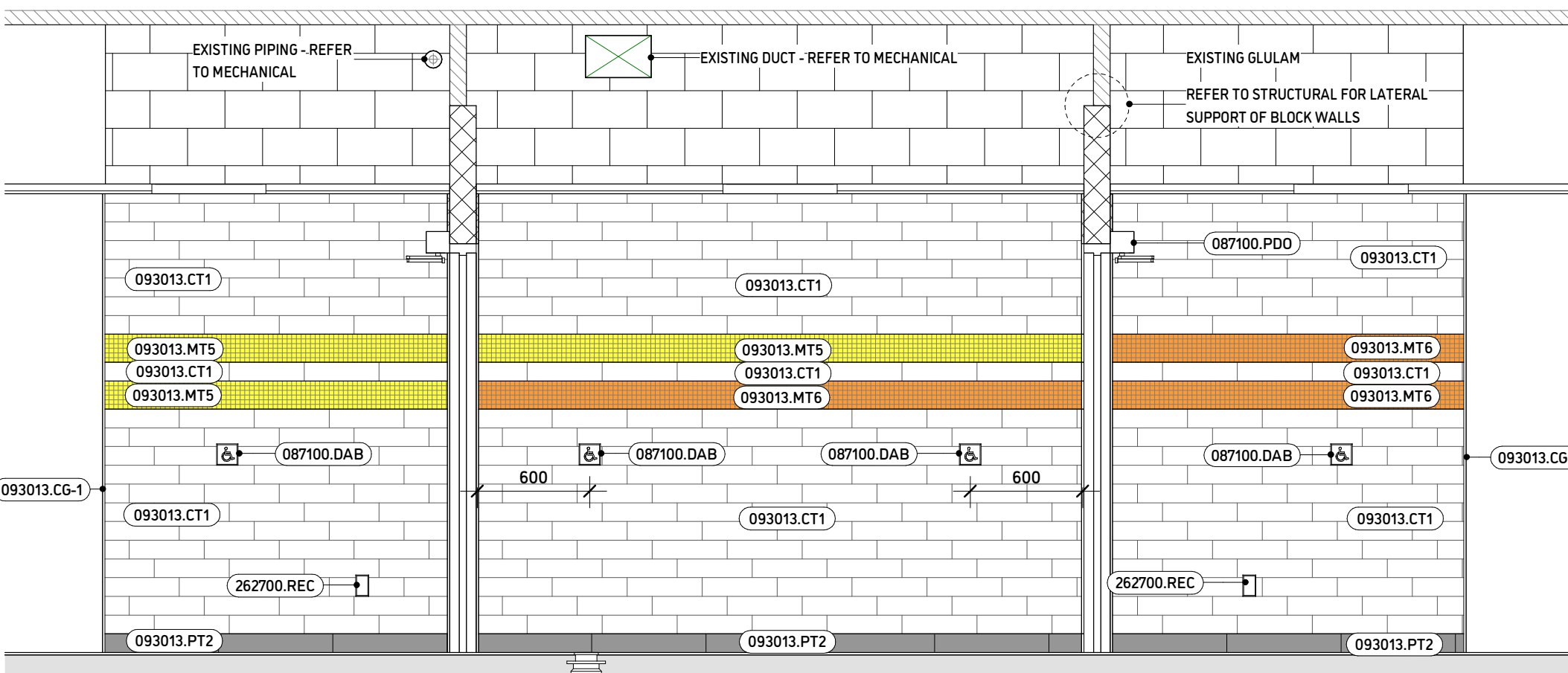




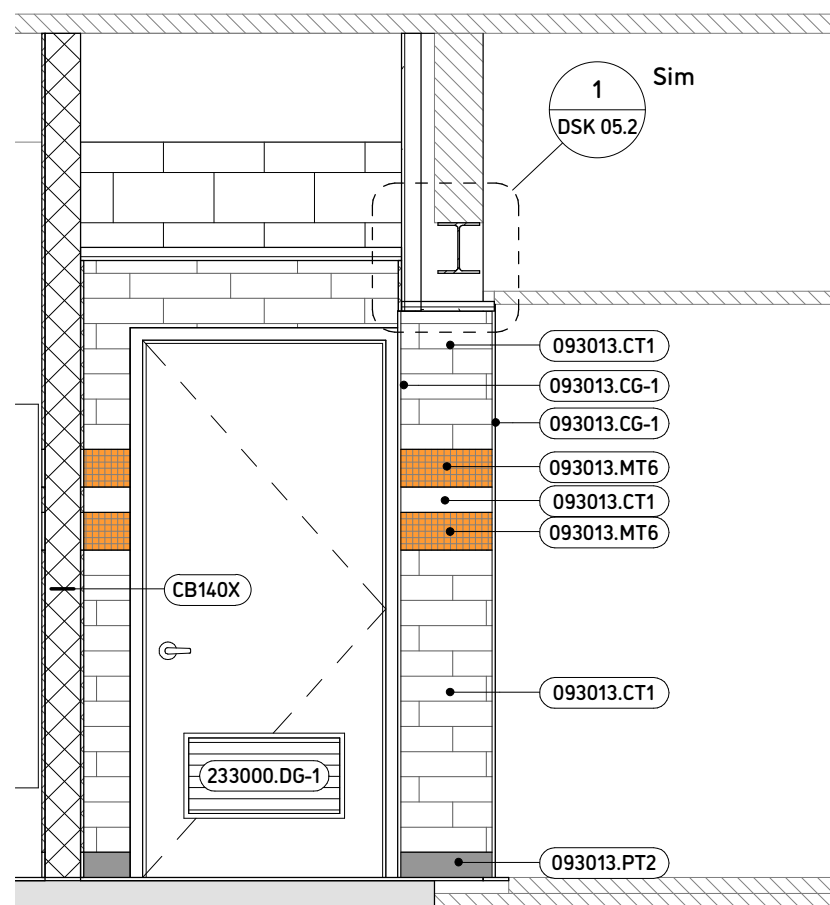
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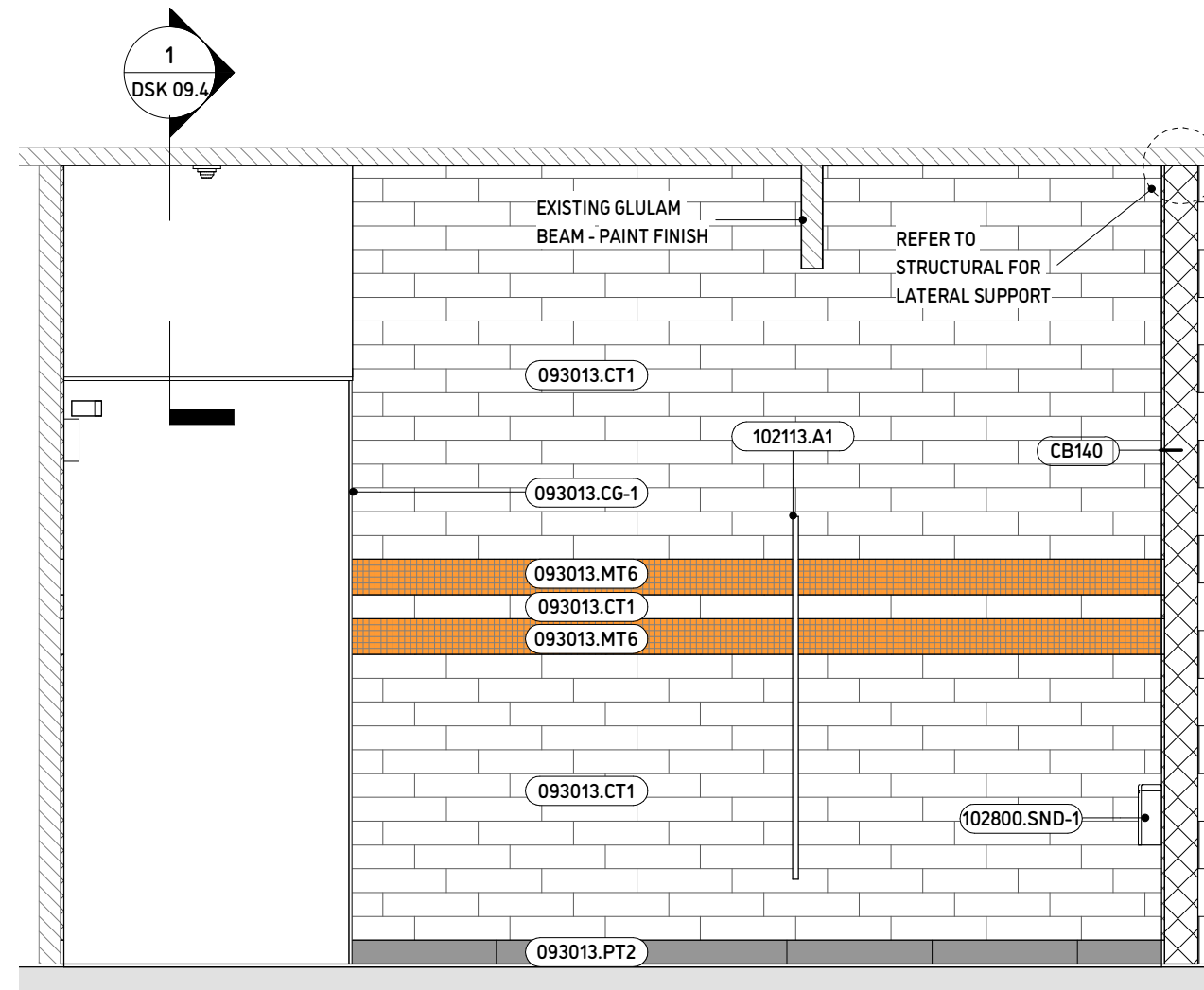
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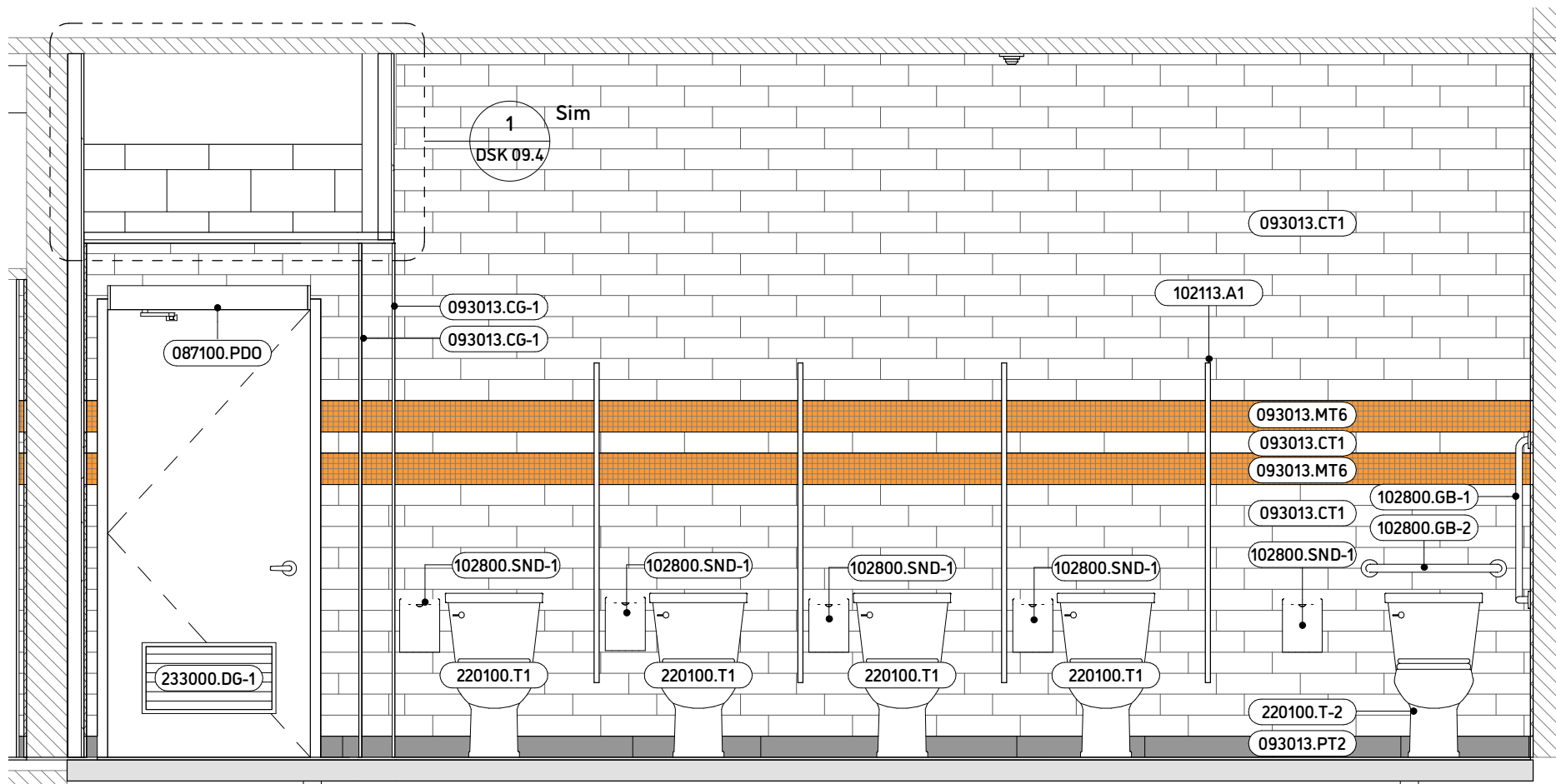
3 Rm 103-104 Vest South  
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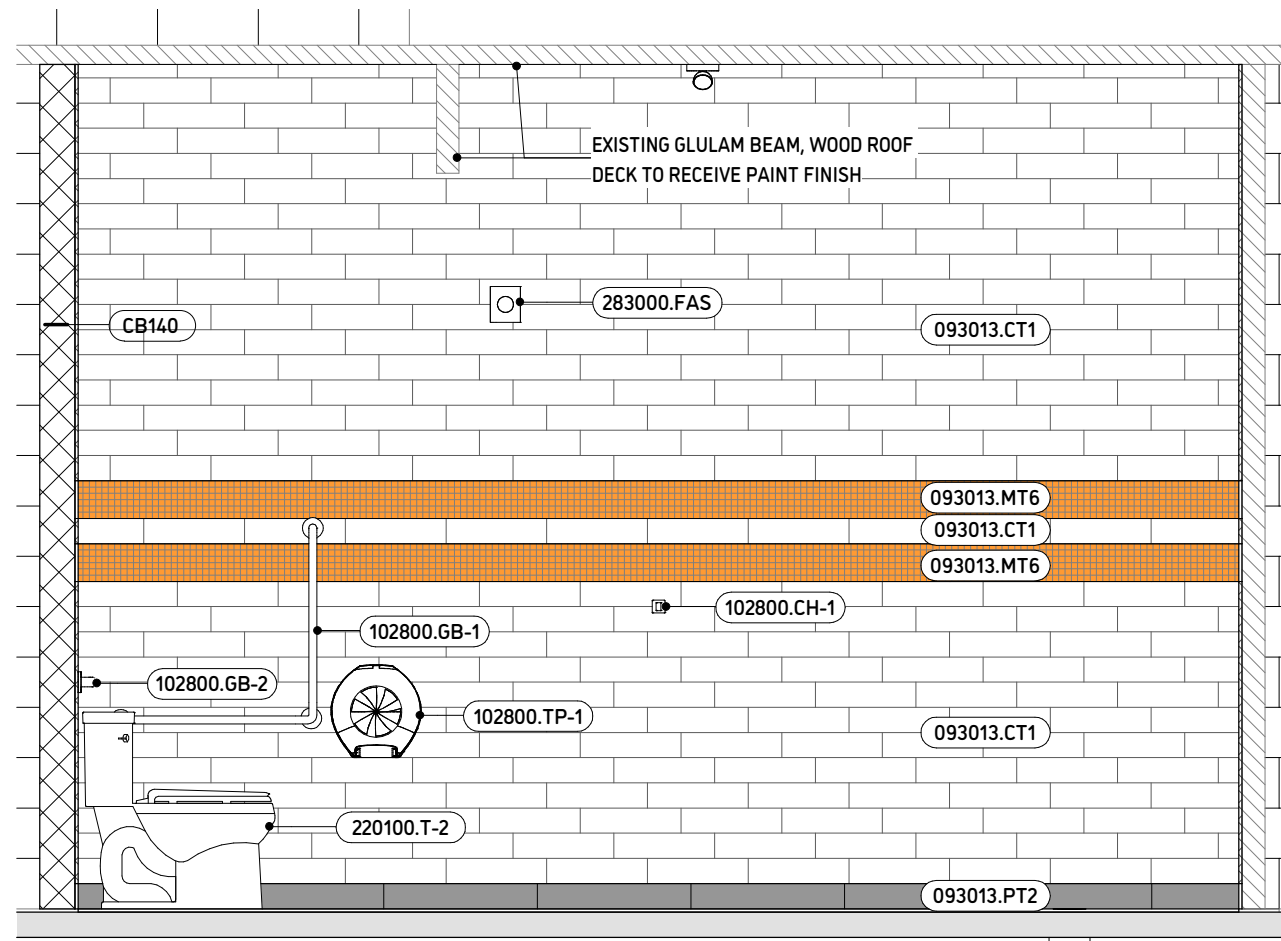
4 Rm 103-104 Vest West  
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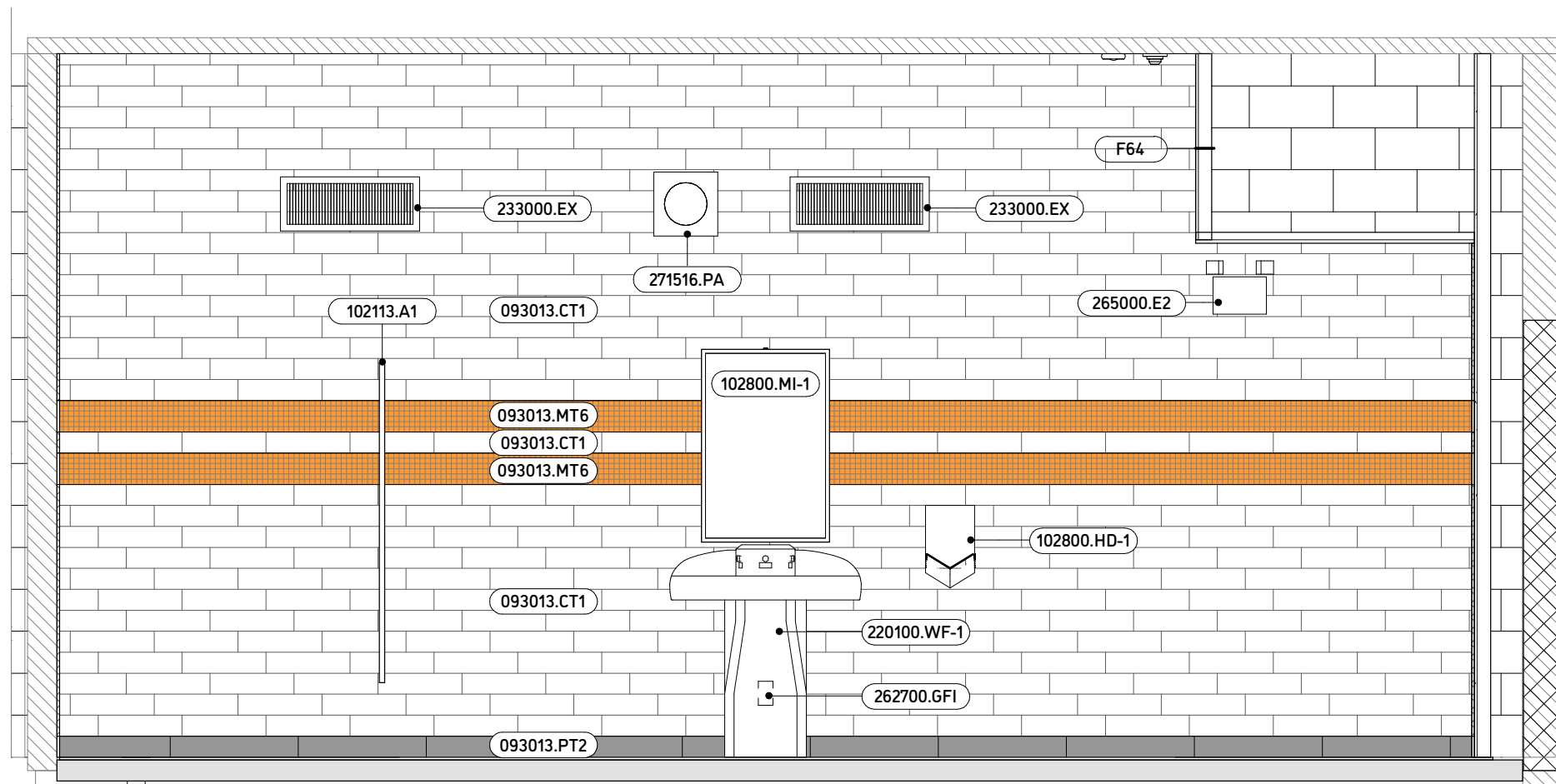
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1:30



6 Rm 104 East  
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7 Rm 104 South  
1:30



8 Rm 104 West  
1:30

## FINISHES - GENERAL NOTES

1. TILE PRE-INSTALLATION MEETING. A PRE-INSTALLATION MEETING IS TO BE COORDINATED BY THE CONTRACTOR AND THEIR TILE TRADE(S), THE ARCHITECT AND THE OWNER PRIOR TO COMMENCING TILE INSTALLATION. REFER TO SPECIFICATION SECTION 01 31 19 FOR FURTHER INFORMATION.
2. KEYNOTE NUMBERS RELATE TO THE SPECIFICATION SECTIONS - REFER TO APPROPRIATE SPECIFICATION SECTION FOR FURTHER INFORMATION.
3. FIXTURES AND ACCESSORIES HAVE BEEN REMOVED FROM VIEW IN FINISH PLANS FOR CLARITY. REFER TO FLOOR PLANS FOR FURTHER INFORMATION.
4. COORDINATE PLUMBING FIXTURE FINISHED HEIGHTS WITH FINISHED FLOOR ELEVATIONS FOR FLUSH INSTALL.
5. PAINTING. ALL EXISTING PAINTED SURFACES WITHIN AREA OF NEW WORK TO RECEIVE NEW PAINT FINISH - COLOURS TO MATCH EXISTING SCHOOL COLOUR SCHEME(S) INCLUDING WALLS, GYPSUM CEILINGS, DOORS AND FRAMES UNLESS OTHERWISE NOTED. DO NOT PAINT FIRE RATED DOOR GRILLES (TYP.).
6. REFER TO APPENDIX A: DETAILS FOR TYPICAL APPLICABLE DETAILS.
7. FOR TYPICAL TOILET STALL ACCESSORIES REFER TO APPENDIX A: DETAILS.

## KEYNOTES

Key Value	Keynote Text
087100.DAB	Door Actuator Button (Refer also to Electrical)
087100.PDO	Power Door Operator with hold open function. (Refer also to Electrical)
093013.CG-1	Tile Corner Trim CG-1 Schluter Rondo
093013.CT1	Ceramic Wall Tile 100x400 Arctic White Bright
093013.MT5	Glass Mosaic Tile 25x25 Vibrant Yellow
093013.MT6	Glass Mosaic Tile 25x25 Orange Peel
093013.PT2	Porcelain Tile Tile 305x610 Anthracite
102113.A1	Coat Hook
102800.CH-1	Stainless Steel 90 Degree Grab Bar
102800.GB-1	Stainless Steel 24" Straight Grab Bar
102800.GB-2	Hand Dryer (Refer to Electrical)
102800.HD-1	24" x 36" Tilt Mirror
102800.MI-1	Sanitary Napkin Disposal
102800.SND-1	Toilet Paper Holder
220100.T1	Toilet T-1
220100.T-2	Toilet T-2
220100.WF-1	Washfountain WF-1
233000.DG-1	Door Grille. Refer to Mechanical for size.
233000.EX	Exhaust Grille
262700.GFI	GFI receptacle - Refer to electrical.
262700.REC	Receptacle
265000.E2	EZ Emergency Light Fixture w/ Battery Unit Refer to Electrical
271516.PA	Public Address Speaker
283000.FAS	Fire Alarm Strobe



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## Leslie Frost Public School Washroom Renewal

Lindsay, Ontario

## TENDER and BUILDING PERMIT

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## Rm 103-104 FINISHES

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GENERAL NOTES:

1. READ STRUCTURAL DRAWINGS IN CONNECTION WITH OTHER CONTRACT DOCUMENTS
2. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE STRUCTURE DRAWINGS WITH THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION. ANY DISCREPANCIES OR ERRORS MUST BE REPORTED TO THE ARCHITECT / ENGINEER PRIOR TO COMMENCING WORK
3. DO NOT SCALE DRAWINGS
4. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
5. STRUCTURAL DESIGN IS BASED ON THE LATEST EDITION OF THE NATIONAL BUILDING CODE AND, SPECIFICALLY, DIV. B- PART 4 OF THE 2012 ONTARIO BUILDING CODE
6. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR THE TESTING OF CONCRETE, COMPACTION, INSPECTION OF STRUCTURAL REINFORCING AND STRUCTURAL STEEL FOR ALIGNMENT, BOLTS AND WELDED CONNECTIONS, AND FOR THE PROMPT SUBMISSION OF ALL REPORTS TO THE PROJECT ENGINEER AND ARCHITECT.
7. ANY TEMPORARY SHORING REQUIRED TO CONSTRUCT THE WORKS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT THE START OF THE PROJECT AND ARRANGE FOR ALL INSPECTIONS IN ACCORDANCE WITH CLAUSE 10.2 OF THE BUILDING CODE ACT AND DIV. C. PART 1 OF THE ONTARIO BUILDING CODE, PROVIDE MINIMUM 48 HOURS NOTICE WHEN AN INSPECTION IS REQUIRED. TULLOCH ENGINEER HUNTSVILLE MY BE CONTACTED BY PHONE AT (705)789-8751.
9. WHERE DEMOLITION OR RENOVATION OF EXISTING BUILDING IS INVOLVED, IT IS THE RESPONSIBILITY OF THE OWNER TO COMPLETE A DESIGNATED SUBSTANCE SURVEY. A COPY OF THE SURVEY SHALL BE FORWARDED TO THE ENGINEER AND TO THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA SPECIFICATIONS S16.1 (LATEST EDITION) AND CSA SPECIFICATIONS G40.1 TYPE350W (LATEST EDITION) FOR BEAMS AND 350W FOR HSS (CLASS C).
2. THE WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE CSA W59 AND THE WELDING COMPANY AND WELDERS SHALL BE QUALIFIED UNDER THE REQUIREMENTS OF CSA W57 (LATEST EDITION) FOR THE APPROPRIATE POSITION.
3. PREPARE AND SUBMIT FOR APPROVAL, FULLY DETAILED AND DIMENSIONED DRAWINGS AND ERECTION DIAGRAMs, FOUR COPIES SHALL BE PROVIDED TO THE ENGINEER FOR APPROVAL, FABRICATION, AND ERECTION. DRAWINGS SHALL BE SEALED BY THE FABRICATORS ENGINEER. ADDITIONAL COPIES OF THE DRAWINGS SHALL BE PROVIDED AS REQUIRED.
4. BOLTED CONNECTIONS SHALL BE MADE USING FRICTION TYPE CONNECTIONS AND HIGH TENSILE STRENGTH BOLTS (A325 MINIMUM).
5. PROVIDE AND REMOVE TEMPORARY BRACING NECESSARY TO KEEP THE STRUCTURE TRUE AND PLUMB DURING CONSTRUCTION.
6. ALL CONNECTIONS TO BE STANDARD FRAME BEAM CONNECTORS AND ARE TO BE DESIGNED AND STAMPED BY THE FABRICATOR'S ENGINEER AS PER CSA S16.1
7. STEEL SHALL BE THOROUGHLY CLEANED AND BE GIVEN ONE SHOP COAT OF ANTI-CORROSIVE PRIMER, AREAS EFFECTED BY WEATHERING, DAMAGE DUE TO HANDLING ETC., SHALL HAVE THE RUST REMOVED AND BE "TOUCHED UP" IN THE FIELD.
8. ALL OF THE BASE PLATES FOR COLUMNS AND BEARING PLATES FOR THE BEAMS SHALL BE GROUTED WITH MINIMUM OF 38MM (1½") OF 35 MPa (5100 PSI) NON-SHRINK GROUT.
9. NO SPLICES IN BEAMS AND COLUMNS WILL BE ALLOWED WITHOUT WRITTEN APPROVAL BY THE ENGINEER. BUTT WELDS IN SPLICES AND MOMENT CONNECTIONS MUST BE ULTRASONICALLY TESTED OR X-RAYED AND PASSED BY AN INDEPENDENT TESTING COMPANY.
10. CO-ORDINATE WITH MECHANICAL ENGINEER, ELECTRICAL ENGINEER, AND ALL SUB-TRADES WHOSE WORK AFFECTS THE DETAILING, FABRICATION AND ERECTION OF THE STRUCTURAL STEEL. DO NOT CUT OPENINGS IN STRUCTURAL STEEL MEMBERS WITHOUT ENGINEER APPROVAL.
11. NO HOLES SHALL BE CUT IN THE BEAMS OR COLUMNS.

FOUNDATIONS:

1. FOUND ALL FOOTINGS ON NATURALLY CONSOLIDATED, UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING 150 Kpa (3000 psf). BEARING CAPACITY SHALL BE CONFIRMED BY CBO OR ENGINEER
2. NO FOOTINGS SHALL BE POURED UNTIL THE ENGINEER HAS APPROVED THE FOUNDATION CONDITIONS.
3. THE LINE SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 AND A RUN OF 10.
4. ERECT, MAINTAIN, AND IF REQUIRED, REMOVE A SUPPORTING SHORINGS SYSTEM ALONG THE SIDES OF THE EXCAVATION.

CONCRETE:

1. CONCRETE IS SPECIFIED USING ALTERNATIVE NUMBER OF CSA A23.1 TABLE 2 AS FOLLOWS:

	EXTERIOR FOUNDATIONS	INTERIOR FLOOR SLAB
EXPOSED CLASS (TABLE 1)	C-1	N
AIR CONTENT CATEGORY (TABLE 4)	1	N/A
MAX. W/C RATIO (TABLE 2)	0.40	0.55
CURING TYPE (TABLE 19)	2	1
MIN. COMPRESSIVE STRENGTH @ 28 DAYS	35 MPa	30 MPa

2. AT LEAST TWO (2) WEEKS PRIOR TO THE PLACEMENT OF CONCRETE THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE ENGINEER FOR REVIEW:
  - A VALID 'CERTIFICATE OF READY MIXED CONCRETE PRODUCTION FACILITIES' OR A VALID 'CERTIFICATE OF MOBILE MIX CONCRETE PRODUCTION FACILITIES' AS ISSUED BY THE 'READY MIXED CONCRETE ASSOCIATION OF ONTARIO' TO THE PLANT BEING USED.
  - A COMPLETED 'CONCRETE MIXED FINAL SUBMISSION FORM'
  - A QUALITY PLAN THAT DESIGNATES A SPECIFIED SLUMP OR SOME OTHER MEASURE OF WORKMANSHIP
  - TEST RESULTS TO SHOW COMPLIANCE WITH CSA A23.1
  - AIR VOID SYSTEM OF HARDENED CONCRETE.
  - STATISTICAL STRENGTH TEST ANALYSIS TO CONFIRM THE STRENGTH LEVEL FOR EACH CLASS OF CONCRETE, INCLUDING THE EXPECTED 7/28 DAY STRENGTH RATIO
3. FABRICATION AND PLACEMENT OF REINFORCING STEEL TO BE IN ACCORDANCE WITH CSA A23.1 AND THE REINFORCING STEEL INSTITUTE OF CANADA'S 'REINFORCING STEEL MANUAL OF STANDARD PRACTICE'.
4. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA G30.18 M52, Fy=400 MPa (GRADE 400)
5. CONCRETE SHALL NOT BE POURED UNTIL REBAR HAS BEEN INSPECTED BY THE ENGINEER.
6. WHERE REBARS JOIN AT CORNERS PROVIDE CORNER BARS FOR LAPS, UNLESS NOTED OTHERWISE.
7. CONCRETE COVER FOR REINFORCING STEEL AS PER TABLE 17 OF CSA A23.1
  - ALL CONCRETE CAST AGAINST EARTH 76MM
  - ALL CONCRETE CAST IN FORMS BUT EXPOSED TO EARTH OR WEATHER 50MM
  - BARS 20M AND SMALLER IN WALLS AND SLABS 32MM
  - CONCRETE NOT EXPOSED TO EARTH AND WEATHER 25MM OR 1.5 NOMINAL BAR DIAMETER
8. ALL REINFORCING BARS SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BY PRECAST CONCRETE, ADDITION BARS, TIES, TIES OR APPROVED CHAIRS AGAINST DISPLACEMENT.
9. CONTINUOUS AND TEMPERATURE REINFORCING BARS SPLICES TO BE LAPPED 40 BAR DIAMETERS OR A MINIMUM OF 600 AT SPLICES AND CORNERS, UNLESS OTHERWISE SHOWN ON SECTION OR TYPICAL DETAILS. LAP CONTINUOUS TOP BARS AT CENTRE BETWEEN SUPPORTS AND CONTINUOUS ENDS WITH STANDARD HOOKS.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CONCRETE IS PLACED AND CURED IN CONFORMANCE WITH THE REQUIREMENT OF CSA A23.1-14. THE CONTRACTOR IS RESPONSIBLE FOR ALL HEATING AND HOARDING REQUIRED.
11. ALL EXTERIOR EDGES TO BE CHAMFERED 19MM UNLESS NOTED OTHERWISE.

CEMENTITIOUS GROUT

1. CEMENTITIOUS GROUT UNDER BASE PLATES TO BE SIKAGROUT 212.

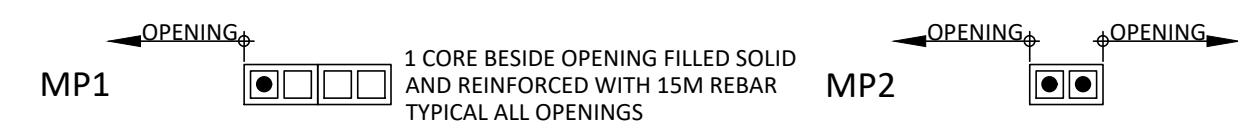
CONCRETE ANCHORS

1. ALL CONCRETE ANCHORS TO BE HILTI HAS ROD HOT DIPPED GALVANIZED (DIAMETER AS NOTED ON DRAWINGS).
2. ALL CONCRETE ANCHORS TO BE COMPLETE WITH HOT DIPPED GALVANIZED FLAT WASHERS, NUTS, LOCK NUTS, ETC. AS SPECIFIED ON THE DRAWINGS
3. ALL EPOXY ADHESIVE SHALL BE HILTI HIT-HY 200/HIT ICE.
4. INSTALL AS PER MANUFACTURE'S SPECIFICATIONS.

MASONRY

1. ALL MASONRY WORK SHALL CONFORM TO NATIONAL BUILDING CODE LATEST EDITION AND CSA STANDARDS S 304.1 - 'DESIGN OF MASONRY STRUCTURES', LATEST EDITION.
2. ALL CONCRETE MASONRY UNITS SHALL CONFORM TO CAN/CSA A165 SERIES-04 EXCEPT WHERE OTHERWISE SPECIFIED. PROVIDE MASONRY BLOCK WITH A MINIMUM COMPRESSIVE STRENGTH OF 15 MPa
3. UNTELS OVER ALL OPENINGS IN NON LOAD BEARING MASONRY WALLS, UNLESS OTHERWISE SHOWN ON STRUCTURAL DRAWINGS.
4. ALL STEEL UNTELS TO HAVE MINIMUM OF 150MM (6") BEARING ON EACH SIDE OF OPENING.
5. PROVIDE MINIMUM OF 2 COURSES OF 100% FILLED SOLID BLOCK 16" LONG MINIMUM FILLED WITH 20 MPa CONCRETE, CENTERED UNDER EACH BEAM AND JOIST BEARING PLATE.
6. MINIMUM BEAM BEARING PLATE UNLESS NOTED FOR JOIST OR BEAM SUPPLIED BY STEEL FABRICATOR  
SP1 - 150MM CONC BLOCK - 250 x 12 x 125  
SP2 - 200MM CONC BLOCK - 250 x 12 x 178  
EACH WITH 1-12MMØ ANCHORS
7. FILL BLOCKS SOLID BELOW BEARING PLATES TWO COURSES, AND ALL LINTEL BLOCKS WITH TYPE M MORTAR 17.5 MPa
8. LOAD BEARING AND NON-LOAD BEARING WALLS TYPE S MORTAR 12.5 MPa
9. PROVIDE HORIZONTAL REINFORCING AT EVERY 2nd BLOCK COURSE USING HEAVY DUTY BLOCK-LOC LADDER REINFORCING.

REINFORCED MASONRY PIERS



MASONRY

1. OVER ALL OPENING AND RECESSES IN MASONRY WALLS, INCLUDING THOSE FOR MECHANICAL AND ELECTRICAL SERVICES OR EQUIPMENT, PROVIDE AND INSTALL MASONRY OR STEEL UNTELS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LINTEL SCHEDULE
2. OBTAIN THE ENGINEER'S PERMISSION FOR ALL OPENINGS, SLEEVES, AND SLOTS THROUGH STRUCTURAL COMPONENTS NOT SHOWN ON STRUCTURAL DRAWINGS.
3. WHERE DOWELS, ANCHOR BOLTS, ETC., ARE SHOWN PROJECTING INTO MASONRY, GROUT THESE TIGHT INTO MASONRY VOIDS WITH CONCRETE OR CEMENT MORTAR.
4. PROVIDE A MINIMUM OF 400MM (16") DEPTH OF 100% SOLID MASONRY UNITS FOR BEARING OF STEEL, CONCRETE, OR MASONRY UNTELS AND FOR MINIMUM OF 200MM (8") PAST BEARING PLATE EACH SIDE.
5. ALL MASONRY MUST BE SET WITH FULLY FILLED JOINTS USING MORTAR AS DEFINED IN THE NATIONAL BUILDING CODE AND/OR CSA A179M. MORTAR TO BE TYPE 'S' UNLESS NOTED OTHERWISE.
6. PROVIDE A MINIMUM OF 38MM (1½") PORTLAND CEMENT GROUT UNDER ALL WALL PLATES AND BASE PLATES.
7. GROUT SHALL ALSO BE SUPPLIED IN CONCRETE BLOCK WALLS WHEREVER HORIZONTAL OR VERTICAL REINFORCING STEEL IS SPECIFIED. FILL CORES SOLID WHEREVER GROUT IS REQUIRED.
8. ALL MASONRY GROUT SHALL CONFORM TO CA/CSA A179-04 AND SHALL BE FINE TYPE GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 10 MPa.
9. THE CONCRETE BLOCK SHALL CONFORM TO CSA STANDARD CAN3-A165 SERIES-04
10. THE MASONRY WIRE REINFORCING SHALL CONFORM TO CSA A370-04.
11. MASONRY VENEER CONNECTORS SHALL CONFORM TO AN BE INSTALLED IN ACCORDANCE WITH CSA A370-04
12. NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURE BELOW 5 DEGREES CELSIUS UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE WORK WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
13. ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARDS A371-04.
14. PROVIDE CONTINUOUS TRUSS TYPE JOINT REINFORCING AT 400MM (16") O.C. AND USE "CORNER-LOK" AT ALL WALL INTERSECTIONS. REINFORCING TO BE HOT DIP GALVANIZED AT ASTM A 153 CLASS B2. LONGITUDINAL WIRES TO BE 4.76MM (⅜") DIAMETER, AND DIAGONAL WIRES TO BE 3.66MM DIAMETER (9 GA).
15. ALL METAL ANCHORS TO BE SECURE WALLS EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED.
16. ANCHOR ALL MASONRY TO COLUMNS WITH STEEL STRAP PLATE 40 X 5 X 525MM, 50MM HOOKS AT 600MM O.C. (PLATE 1½" X ⅜" X 21", 2" HOOKS AT 24") UNLESS NOTED.
17. PROVIDED UNTELS PER LINTEL SCHEDULE.
18. VERTICAL REINFORCING SHALL BE CONTINUOUS. LAB BARS 450MM (18")
19. REINFORCE ALL OPENINGS THROUGH MASONRY WALLS WITH TWO (2) 15M VERTICAL BARS EACH SIDE OF THE OPENING AND EXTENDING 600MM (16") PAST OPENING.
20. PROVIDE ONE COURSE BOND BEAM COMPLETE WITH TWO (2) 15M CONTINUOUS FOR ALL BEARING WALLS UNDER ROOF STRUCTURES AND ALL FLOOR STRUCTURES.

WOOD

1. THE STRUCTURAL TIMBER AND LUMBER SHALL BE NO. 1 OR 2 GRADE SPECIES SPF OR BETTER UNLESS NOTED OTHERWISE.
2. THE DESIGN OF THE BEAMS, COLUMNS AND UNTELS IS BASED ON THE LIMIT STATES DESIGN SPECIFIED UNDER CSA STANDARD 086. ANY SUBSTITUTIONS OF SPECIES, GRADE OR GROUP MUST BE APPROVED BY THE ENGINEER PRIOR TO THE COMMENCING OF WORK.
3. THE LUMBER WAS DESIGNED FOR A MOISTURE CONTENT GREATER THAN 15% AT THE TIME OF MANUFACTURE AND LESS THAN 15% IN SERVICE.
4. DURING CONSTRUCTION, ENSURE ALL MEMBERS ARE IN GOOD BEARING CONTACT.
5. CONNECTION HARDWARE IS TO RECEIVE ONE COAT OF ZINC CHROMIATE PRIMER OR EQUAL. ENSURE THAT ALL HARDWARE AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE COMPATIBLE WITH THE PRESSURE TREATED CHEMICALS.
6. ALL PLYWOOD JOINTS ARE TO BE STAGGERED. NAIL ALL FLOOR, ROOF AND WALL SHEATHING AT 150MM (6") O.C. AT EDGES AND 300MM (1') CENTRES ELSEWHERE UNLESS NOTED OTHERWISE.
7. ALL PLYWOOD SHALL CONFORM TO CSA STANDARD 0121 OR 0151.
8. THE BEARING SHOWN ON THE DRAWINGS IS THE MAXIMUM WIDTH TO BE PROVIDED AND THE TRUSS

MANUFACTURER MUST DESIGN THE TRUSSES TO SUIT THE BEARING WIDTH.

9. PROVIDE STANDARD JOIST HANGERS AS REQUIRED BY SIMPSON, RSC OR APPROVED EQUIVALENT.
10. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
11. MAXIMUM BRIDGING SPACING FOR SWAN LUMBER JOISTS SHALL BE 2300MM (7'-6") O.C..
12. SPIKE EACH LAMINATION OF BUILD-UP BEAMS @ 300MM (1') O.C. AS FOLLOWS:
  - 1 ROW OF 90MM (3½") LONG NAILS FOR 140MM (5½") DEPTH.
  - 2 ROWS OF 90MM (3½") LONG NAILS FOR GREATER DEPTH.
13. SPIKE AND GLUE BUILD-UP POSTS @22-MM (8½") O.C. AS PER CODE AS FOLLOWS:
  - 1 ROW FOR 38X89 (2"x4")
  - 2 ROWS FOR LARGER SIZES
14. CONTINUITY OF POST MUST BE MAINTAINED TROUGH FLOORS BY SOLID BLOCKING OR POST EXTENSIONS.

SUBMITTALS

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SUBMITTAL OF ALL REQUIRED SHOP OR FABRICATION DRAWINGS IN A TIMELY MANNER.
2. ALL STRUCTURAL SUBMITTALS SUBMITTED FOR REVIEW MUST FIRST BE REVIEW BY AND STAMPED BY THE GENERAL CONTRACTOR.
3. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW:

DRAWING	P.ENG. SEAL
A. REINFORCING STEEL	NO
B. CONCRETE MIX DESIGN	NO
C. STRUCTURAL STEEL	NO
4. WHERE NOTED IN THE ABOVE TABLE, STRUCTURAL SUBMITTALS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
5. ALL STRUCTURAL SUBMITTALS WILL BE REVIEWED BY THE ARCHITECT AND THE ENGINEER SOLELY FOR THE CONFORMANCE WITH THE DESIGN INTENT AND THE CONSTRUCTION DOCUMENTS.
6. ALL SUBMITTALS SHALL CONSIST OF ONE ELECTRONIC PDF COPY OR FOUR PRINTS. ONE COPY WILL BE RETAINED BY THE ENGINEER.

MATERIALS TESTING AND INSPECTION

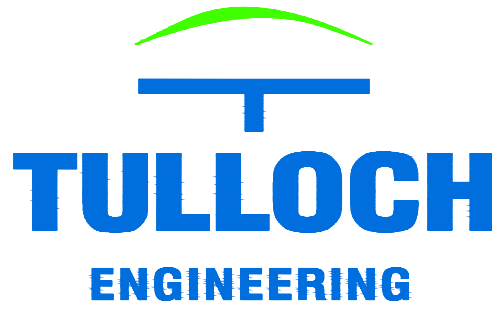
THE CONTRACTOR SHALL INCLUDE COSTS TO ENSURE THAT THE FOLLOWING QUALITY CONTROL ACTIVITIES ARE UNDERTAKEN DURING THE COURSE OF WORK:

1. COMPACTION TESTING AS SPECIFIED ON THE DRAWINGS
2. REBAR INSPECTION PRIOR TO CONCRETE PLACEMENT.
3. CONCRETE TESTING IN ACCORDANCE WITH CSA A23.1 AND A23.2.

CONTACT TULLOCH ENGINEERING TO OBTAIN PRICING.

FINAL CLEAN UP

1. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, THE BUILDING ERECTION CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL WASTE CONSTRUCTION MATERIALS, DEBRIS, ETC. FROM THE SITE.
2. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP, WIPE AND POWER WASH ALL SURFACES ON THE INTERIOR AND EXTERIOR OF THE BUILDING.



No.	DATE	REVISION
0	2021/03/05	ISSUED TO ARCHITECT
1	2021/03/25	ISSUED TO ARCHITECT
2	2021/04/20	ISSUED FOR TENDER



TLDSB  
1271 CEDAR LANE  
BRACEBRIDGE, ONT

PROJECT ADDRESS:

LESLIE FROST  
PUBLIC SCHOOL  
LINDSAY, ONT

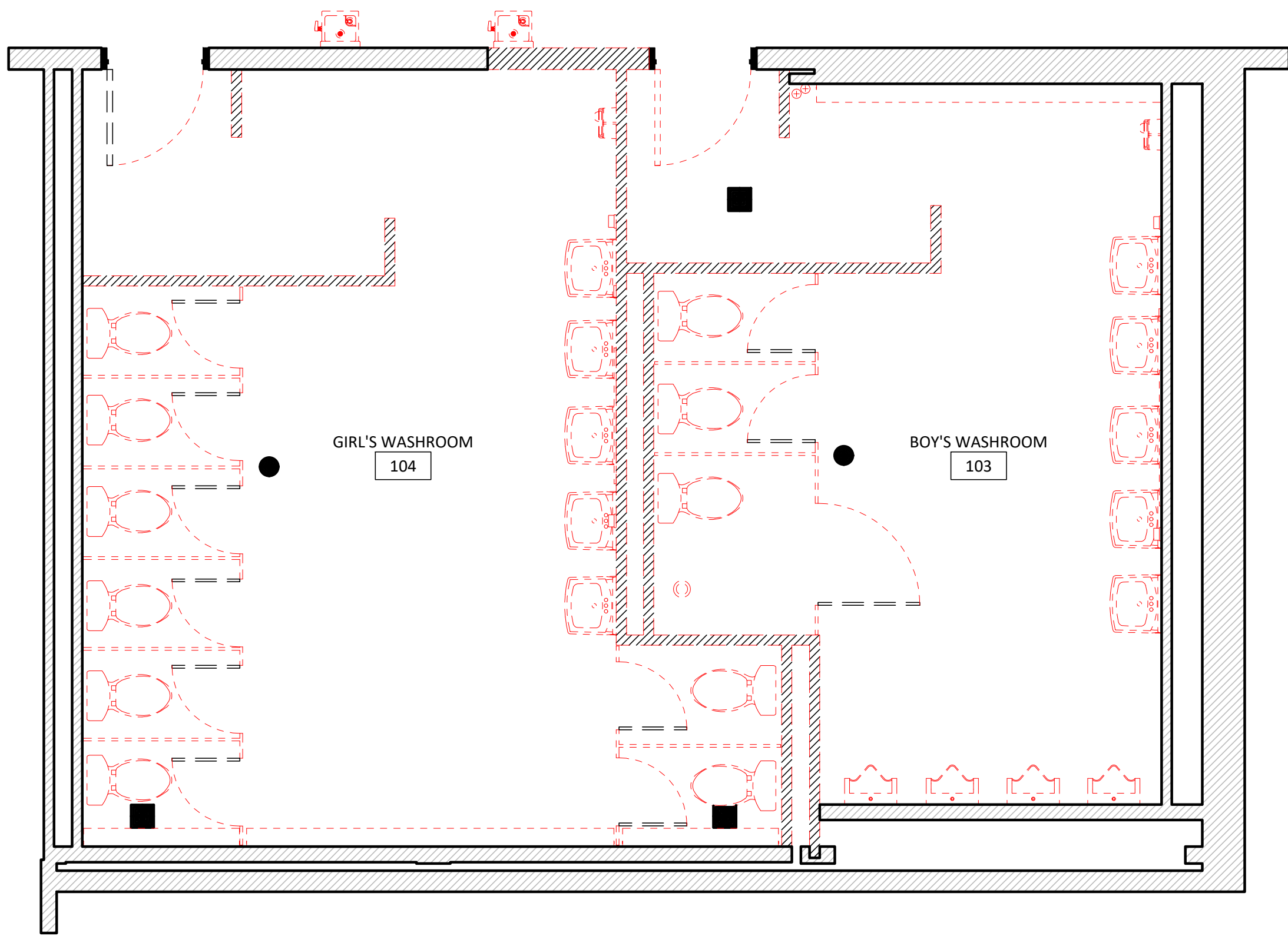
DRAWING TITLE:

STRUCTURAL  
UPGRADES & REPAIRS  
GENERAL NOTES

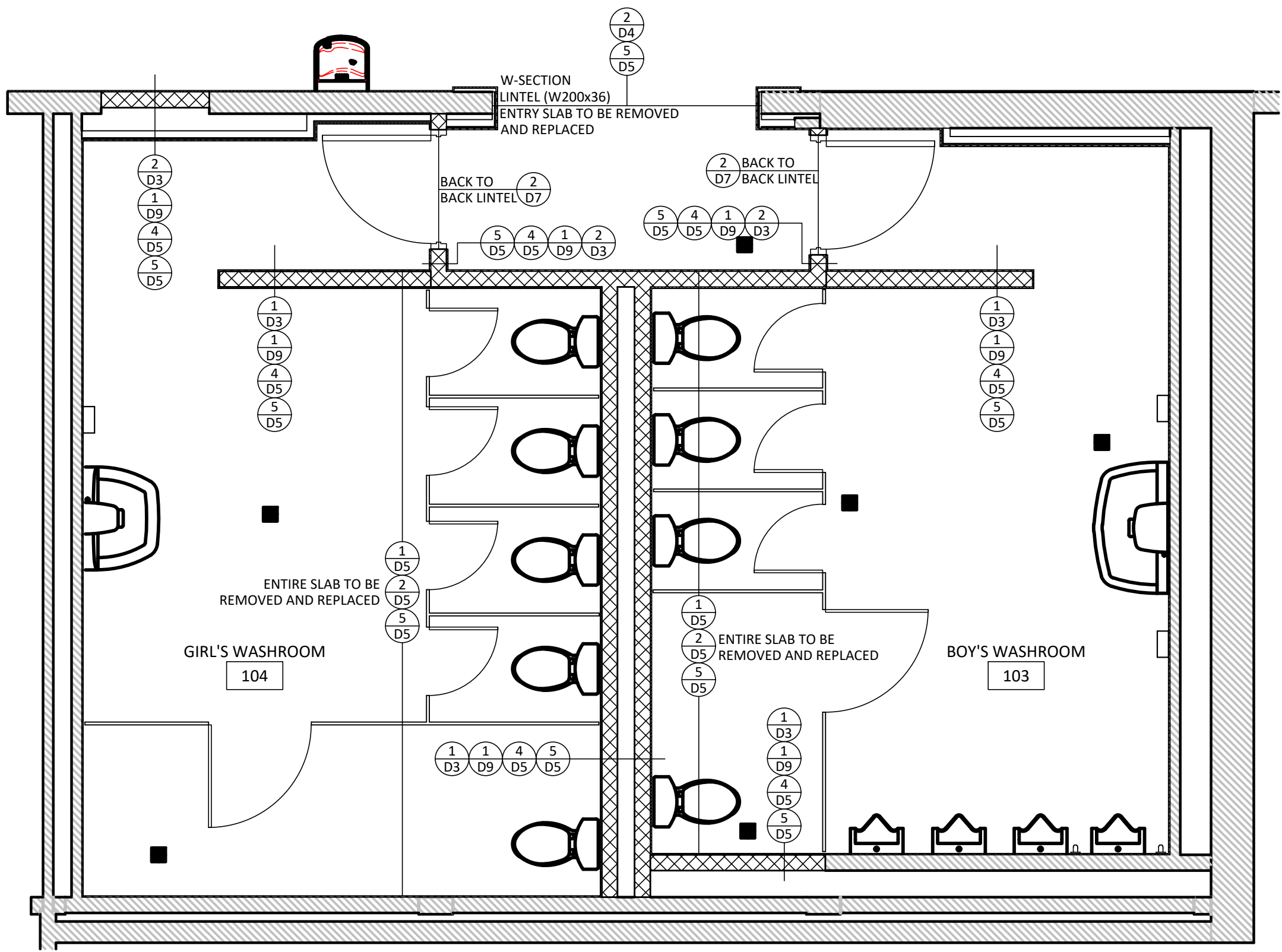
DRAWN	DESIGNED	CHECKED	APPROVED
HD	FP	FP	FP
SCALE AS NOTED		DATE (M/D/Y) 2021/01/20	
PROJECT No. 20-1636	REVISION 2	DRAWING G1	



No.	DATE	REVISION
0	2021/03/05	ISSUED TO ARCHITECT
1	2021/03/25	ISSUED TO ARCHITECT
2	2021/04/20	ISSUED FOR TENDER



1 ROOM 103 AND 104 - EXISTING CONDITIONS  
S1 1:40



2 ROOM 103 AND 104 - PROPOSED PLAN  
S1 1:40



TLDSB  
1271 CEDAR LANE  
BRACEBRIDGE, ONT

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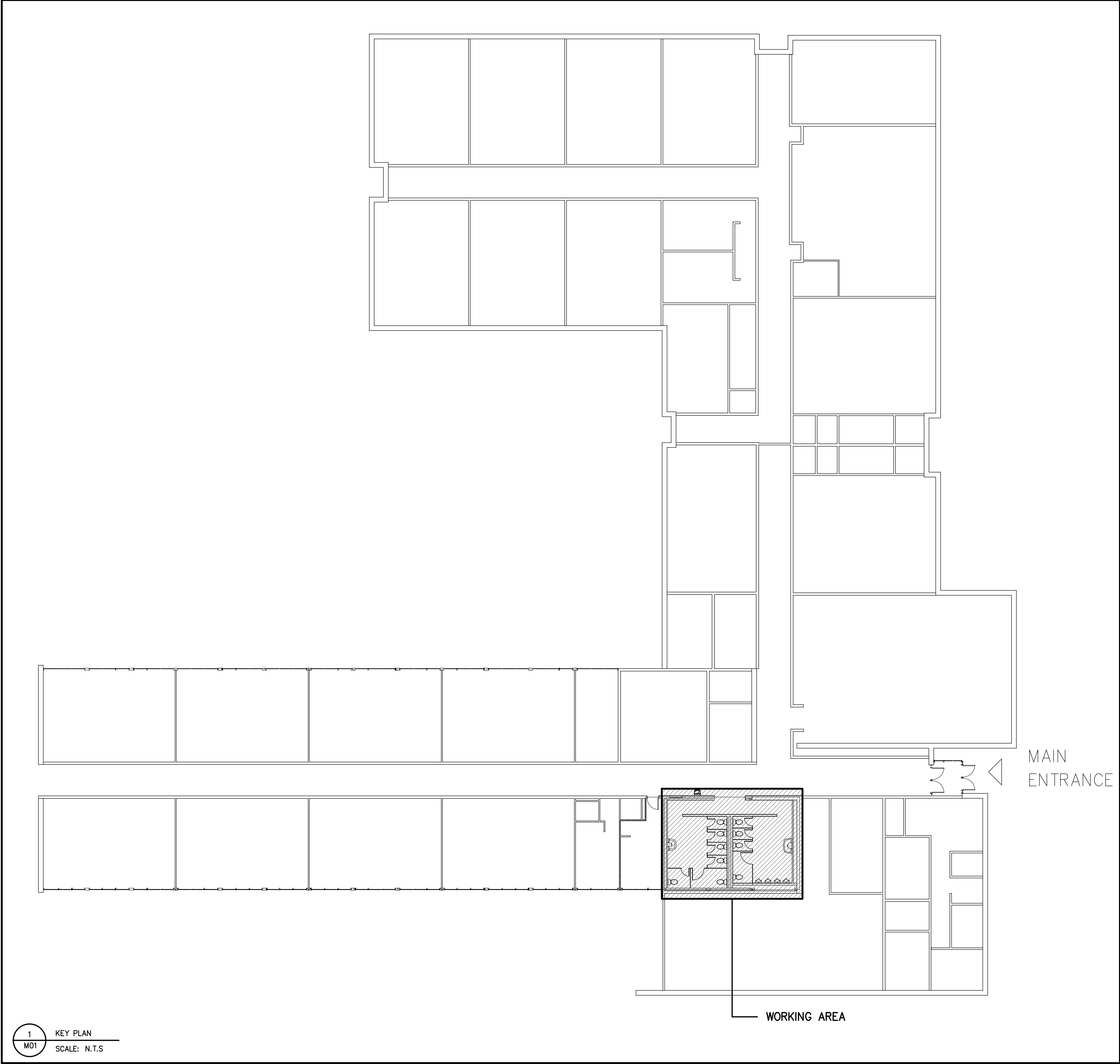
DRAWING TITLE:

STRUCTURAL  
UPGRADES & REPAIRS  
ROOM 103 AND 104

DRAWN	DESIGNED	CHECKED	APPROVED
HD	FP	FP	FP
SCALE		DATE (M/D/Y)	
AS NOTED		2021/01/20	
PROJECT No.	REVISION	DRAWING	
20-1636	2	S1	



PLUMBING FIXTURE SPECIFICATION	
1.	<p><b>"T-1", FLOOR MOUNTED TOILET – VITREOUS CHINA – TANK TYPE</b></p> <p>AMERICAN STANDARD CADET FLOWSE ELONGATED PRESSURE-ASSISTED #2462.100 TOILET, 381 MM HIGH, VITREOUS CHINA WITH EVERCLEAN SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAUSING BACTERIA MOLD AND MILDEW, WHITE FINISH, FLOOR MOUNTED, CADET FLUSHING SYSTEM WITH POWERWASH RIM SIPHON FLUSHING SYSTEM WHICH SCRUBS BOWL WITH EVERY FLUSH, 4.2 L (1.1 US GAL) PER FLUSH, 305 MM X 254 MM (12" X 10") WATER SURFACE, TWO PIECE, "SPEED CONNECT" TANK ASSEMBLY, LINED TANK, 305 MM (12") ROUGH-IN, ELONGATED BOWL, 54 MM (2-1/8") FULLY GLAZED INTERNAL TRAPWAY, FLOOR OUTLET, BOLT CAPS, PROVIDE BOLTED TANK COVER IF REQUIRED, CENTOCO #820STS.001 TOILET SEAT, EXTRA HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC, WITH COVER, STAINLESS STEEL CHECK HINGES, METAL FLAT WASHERS STAINLESS STEEL POSTS AND NUTS</p> <p>MCQUIRE #LFH172BV TOILET SUPPLY, CHROME PLATED FINISH POLISHED BRASS, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOPS, 13 MM (1/2") I.D. INLET X 127 MM (5") LONG RIGID HORIZONTAL INTEGRAL COPPER SWEAT TUBE NIPPLES, COMBINATION V.P. LOOSE KEY HANDLES, ESCUTCHEON AND FLEXIBLE COPPER RISERS, PROVIDE FLOOR FLANGE, (SAME MATERIAL AS THE CONNECTING PIPE DRAIN), WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.</p>
2.	<p><b>"T-2", FLOOR MOUNTED TOILET – VITREOUS CHINA – TANK TYPE – BARRIER FREE</b></p> <p>AMERICAN STANDARD CADET FLOWSE RIGHT-HEIGHT ELONGATED PRESSURE-ASSISTED #2467.100 TOILET, 419 MM HIGH, VITREOUS CHINA WITH EVERCLEAN SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAUSING BACTERIA MOLD AND MILDEW, WHITE FINISH, FLOOR MOUNTED, CADET FLUSHING SYSTEM WITH POWERWASH RIM SIPHON FLUSHING SYSTEM WHICH SCRUBS BOWL WITH EVERY FLUSH, 4.2 L (1.1 US GAL) PER FLUSH, 305 MM X 254 MM (12" X 10") WATER SURFACE, TWO PIECE, "SPEED CONNECT" TANK ASSEMBLY, LINED TANK, 305 MM (12") ROUGH-IN, ELONGATED BOWL, 54 MM (2-1/8") FULLY GLAZED INTERNAL TRAPWAY, FLOOR OUTLET, BOLT CAPS, PROVIDE BOLTED TANK COVER IF REQUIRED, CENTOCO #820STS.001 TOILET SEAT, EXTRA HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC, WITH COVER, STAINLESS STEEL CHECK HINGES, METAL FLAT WASHERS STAINLESS STEEL POSTS AND NUTS</p> <p>MCQUIRE #LFH172BV TOILET SUPPLY, CHROME PLATED FINISH POLISHED BRASS, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOPS, 13 MM (1/2") I.D. INLET X 127 MM (5") LONG RIGID HORIZONTAL INTEGRAL COPPER SWEAT TUBE NIPPLES, COMBINATION V.P. LOOSE KEY HANDLES, ESCUTCHEON AND FLEXIBLE COPPER RISERS, PROVIDE FLOOR FLANGE, (SAME MATERIAL AS THE CONNECTING PIPE DRAIN), WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.</p>
3.	<p><b>"U-1", WALL HUNG URINAL – FOR FLUSHOMETER – EXPOSED – BATTERY POWERED</b></p> <p>AMERICAN STANDARD WASHBROOK FLOWSE #6590.001.020 URINAL, VITREOUS CHINA, OPERATES IN THE RANGE OF 0.5 L TO 3.8 L (0.125 US GAL TO 1.0 US GAL) PER FLUSH, WALL HUNG, EXTENDED SIDES FOR PRIVACY, WASHDOWN ACTION, WASHBROOK FLOWSE, FLUSHING RIM, 19 MM (3/4") DIA. TOP SPUD, ELONGATED RIM, INTEGRAL P--TRAP, OUTLET CONNECTION 51 MM (2"), 2 WALL HANGERS, #7301242--100 CHROME PLATED, NON-METALLIC STRAINER, WHITE FINISH. CONTRACTOR SHALL CONFIRM ARCH. DRAWING FOR EXACT MOUNTING HEIGHT.</p> <p>MOEN COMMERCIAL MODEL 8315 CHROME PLATED, M POWER VERSION, CAST BRASS BODY, 3/4" TOP SPUD WITH A 3/4" IPS SUPPLY, PISTON FLUSHING MECHANISM WITH ADJUSTABLE SENSOR RANGE AND FLOW CONTROL, LOW BATTERY INDICATOR LIGHT, SELF-CLEANING FILTER SYSTEM, MECHANICAL MANUAL OVERRIDE BUTTON AND VANDAL RESISTANT POLYCARBONATE SENSOR LENS, 0.5GPF (1.9L/FLUSH)</p> <p>WATTS #CA-321 FIXTURE CARRIER, MOUNTED ON CONCRETE FLOOR, EPOXY COATED TOP AND BOTTOM UNIVERSAL STEEL HANGER PLATES, HEAVY GAUGE EPOXY COATED STEEL OFFSET UPRIGHTS WITH WELDED FEET SUPPORTS. FOR ONE UNIT: 102 MM (4") FOR TWO TO SIX UNITS IN A ROW: 152 MM (6") FINISHED METAL STUD WALL TO BACK OF PIPE SPACE. WATTS #MUCO URINAL WALL ACCESS CLEANOUT, TWO (2) PIECE EXPANDABLE PLUG WITH 102 MM (4") DIAMETER STAINLESS STEEL ACCESS COVER, SECURED WITH VANDAL PROOF STAINLESS STEEL SCREW, CHAMPION M-X SERIES #M-XHUB DRAIN COUPLING, COUPLING, NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISI STAINLESS STEEL EYELET, ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564, TYPE 304 AISI STAINLESS STEEL SHIELD, PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PSI MAXIMUM LINE PRESSURE AT 80 INCH LB MIN TO 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD. PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN; SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE.</p>
4.	<p><b>"U-2", BARRIER FREE – WALL HUNG URINAL – FOR FLUSHOMETER – EXPOSED – BATTERY POWERED</b></p> <p>AMERICAN STANDARD WASHBROOK FLOWSE #6590.001.020 URINAL, VITREOUS CHINA, OPERATES IN THE RANGE OF 0.5 L TO 3.8 L (0.125 US GAL TO 1.0 US GAL) PER FLUSH, WALL HUNG, EXTENDED SIDES FOR PRIVACY, WASHDOWN ACTION, WASHBROOK FLOWSE, FLUSHING RIM, 19 MM (3/4") DIA. TOP SPUD, ELONGATED RIM, INTEGRAL P--TRAP, OUTLET CONNECTION 51 MM (2"), 2 WALL HANGERS, #7301242--100 CHROME PLATED, NON-METALLIC STRAINER, WHITE FINISH. CONTRACTOR SHALL CONFIRM ARCH. DRAWING FOR EXACT MOUNTING HEIGHT AND GRAB BARS AND BARRIER FREE REQUIREMENT.</p> <p>MOEN COMMERCIAL MODEL 8315 CHROME PLATED, M POWER VERSION, CAST BRASS BODY, 3/4" TOP SPUD WITH A 3/4" IPS SUPPLY, PISTON FLUSHING MECHANISM WITH ADJUSTABLE SENSOR RANGE AND FLOW CONTROL, LOW BATTERY INDICATOR LIGHT, SELF-CLEANING FILTER SYSTEM, MECHANICAL MANUAL OVERRIDE BUTTON AND VANDAL RESISTANT POLYCARBONATE SENSOR LENS, 0.5GPF (1.9L/FLUSH)</p> <p>WATTS #CA-321 FIXTURE CARRIER, MOUNTED ON CONCRETE FLOOR, EPOXY COATED TOP AND BOTTOM UNIVERSAL STEEL HANGER PLATES, HEAVY GAUGE EPOXY COATED STEEL OFFSET UPRIGHTS WITH WELDED FEET SUPPORTS. FOR ONE UNIT: 102 MM (4") FOR TWO TO SIX UNITS IN A ROW: 152 MM (6") FINISHED METAL STUD WALL TO BACK OF PIPE SPACE. WATTS #MUCO URINAL WALL ACCESS CLEANOUT, TWO (2) PIECE EXPANDABLE PLUG WITH 102 MM (4") DIAMETER STAINLESS STEEL ACCESS COVER, SECURED WITH VANDAL PROOF STAINLESS STEEL SCREW, CHAMPION M-X SERIES #M-XHUB DRAIN COUPLING, COUPLING, NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISI STAINLESS STEEL EYELET, ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564, TYPE 304 AISI STAINLESS STEEL SHIELD, PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PSI MAXIMUM LINE PRESSURE AT 80 INCH LB MIN TO 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD. PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN; SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE.</p>
5.	<p><b>"WF-1", TRI-FOUNT FLOOR MOUNTED WASHFOUNTAIN, 15A PLUG</b></p> <p>FLOOR MOUNTED, ACCESSIBLE, 3 USER WASHFOUNTAIN: CONSTRUCTED WITH INTEGRAL CONTINUOUS BOWL, COMPACT DECK, AND BACKSPASH LEDGE CONTAINING CONCEALED, VANDAL-RESISTANT SPRAY HEAD AND INTEGRATED LIQUID SOAP DISPENSER. UNIT INCLUDES WASTE AND SUPPLY CONNECTIONS TO WALL WITH STOP, STRAINER, AND CHECK VALVES, AND STEEL SUPPORT FRAME, CONCEALED BY TAMPER-RESISTANT STAINLESS STEEL ACCESS PANEL. ADA/ABA, AND ANSI A117.1 COMPLIANT. IPC/CUPC-CERTIFIED BY IAPMO.</p> <p>1. BASIS OF DESIGN MANUFACTURER/MODEL: BRADLEY, MULTI-FOUNT WASHFOUNTAIN SYSTEM, MF2933.</p> <p>2. UNIT SIZE: 36 BY 26 INCH (914 BY 660 MM)</p> <p>3. MOUNTING HEIGHT: OBC</p> <p>4. SPRAY HEAD: INDEPENDENT WATER STREAM FORMER WITH FLOW RATE OF 0.5 GPM (0.032 L/S) AT OPERATING RANGE OF 20 TO 80 PSI (138 TO 552 KPA).</p> <p>A. SPRAY HEAD VALVE OPERATION: INFRARED SENSING (IRP) MODULE AND SOLENOID WITH ADJUSTABLE TURN OFF DELAY AND AUTOMATIC SHUT-OFF, WITH 120VAC/12VDC PLUG-IN ADAPTER, RECEPTACLES TO BE CONCEALED BEHIND WASHSINK.</p> <p>5. SOAP DISPENSER: LSD (TWO INTEGRAL LIQUID SOAP DISPENSERS)</p> <p>6. WATER SUPPLY: TMA (NAVIGATOR THERMOSTATIC MIXING ASSEMBLY (HOT &amp; COLD SUPPLIES)</p> <p>7. COLOR: SUBMIT COLOUR SAMPLE FOR ARCHITECT REVIEW AND APPROVAL.</p>
6.	<p><b>"WF-2", QUADRA-FOUNT FLOOR MOUNTED WASHFOUNTAIN, 15A PLUG</b></p> <p>FLOOR MOUNTED, ACCESSIBLE, 4 USER WASHFOUNTAIN: CONSTRUCTED WITH INTEGRAL CONTINUOUS BOWL, COMPACT DECK, AND BACKSPASH LEDGE CONTAINING CONCEALED, VANDAL-RESISTANT SPRAY HEAD AND INTEGRATED LIQUID SOAP DISPENSER. UNIT INCLUDES WASTE AND SUPPLY CONNECTIONS TO WALL WITH STOP, STRAINER, AND CHECK VALVES, AND STEEL SUPPORT FRAME, CONCEALED BY TAMPER-RESISTANT STAINLESS STEEL ACCESS PANEL. ADA/ABA, AND ANSI A117.1 COMPLIANT. IPC/CUPC-CERTIFIED BY IAPMO.</p> <p>1. BASIS OF DESIGN MANUFACTURER/MODEL: BRADLEY, MULTI-FOUNT WASHFOUNTAIN SYSTEM, MF2944.</p> <p>2. UNIT SIZE: 46 BY 26 INCH (1168 BY 680 MM)</p> <p>3. MOUNTING HEIGHT: OBC</p> <p>4. SPRAY HEAD: INDEPENDENT WATER STREAM FORMER WITH FLOW RATE OF 0.5 GPM (0.032 L/S) AT OPERATING RANGE OF 20 TO 80 PSI (138 TO 552 KPA).</p> <p>A. SPRAY HEAD VALVE OPERATION: INFRARED SENSING (IRP) MODULE AND SOLENOID WITH ADJUSTABLE TURN OFF DELAY AND AUTOMATIC SHUT-OFF, WITH 120VAC/12VDC PLUG-IN ADAPTER, RECEPTACLES TO BE CONCEALED BEHIND WASHSINK.</p> <p>5. SOAP DISPENSER: LSD (TWO INTEGRAL LIQUID SOAP DISPENSERS)</p> <p>6. WATER SUPPLY: TMA (NAVIGATOR THERMOSTATIC MIXING ASSEMBLY (HOT &amp; COLD SUPPLIES)</p> <p>7. COLOR: SUBMIT COLOUR SAMPLE FOR ARCHITECT REVIEW AND APPROVAL.</p>
7.	<p><b>"DF-1", SINGLE-LEVEL DRINKING FOUNTAIN, HANDS FREE, FILTERED, REFRIGERATED, STAINLESS</b></p> <p>ELKAY EH20 BOTTLE FILLING STATION WITH SINGLE ADA COOLER, MODEL L20BWSK, WALL HUNG WATER COOLER, SINGLE-LEVEL, CHILLING CAPACITY OF 8.0 GPH OF 50 °F DRINKING WATER AT 80 °F AMBIENT AND 80 °F INLET WATER, VISUAL FILTER MONITOR, FILTERED, ANTIMICROBIAL, STAINLESS STEEL COOLER CABINET, LAMINAR FLOW PROVIDES MINIMAL BACK SPLOSH, LEAD-FREE DESIGN, ELECTRONIC BOTTLE FILLER SENSOR AND SENSOR BUBBLER, REAL DRAIN SYSTEM ELIMINATES STANDING WATER, STAINLESS STEEL BOTTLE FILLER, QUICK FILL RATE OF 1.1 GPM, INNOVATIVE GREEN TICKER COUNTS BOTTLES SAVED FROM WASTE, CURRENT OF 6.0 AMPS, POWER CONSUMPTION: 370W, GREEN SPEC LISTED, PROVIDE ELECTRICAL DUPLEX BOX WITH GFI. MCQUIRE #LFHSTLK DRINKING FOUNTAIN SUPPLIES, CHROME PLATED FINISH POLISHED BRASS, STRAIGHT STOPS, V.P. LOOSE KEYS, LOW LEAD. WATTS #CA-421 WATER COOLER CARRIER, MOUNTED ON CONCRETE FLOOR, UNIVERSAL STEEL HANGER SUPPORT PLATES WITH INTEGRAL MOUNTING BRACKETS, HEAVY GAUGE STEEL UPRIGHTS WITH INTEGRAL WELDED FEET.</p>
8.	<p><b>"HD", HUB DRAIN</b></p> <p>WATTS #FD-100-C-DD-50 FLOOR DRAIN – EPOXY COATED, CAST IRON BODY, REVERSIBLE FLASHING CLAMP WITH PRIMARY AND SECONDARY WEEPHOLES, TRAP PRIMER CONNECTION WITH PLUG, 2"Ø (50 MM), NO HUB OUTLET. WATTS –DD-50 5" (127 MM) DIAMETER CAST IRON, HUB FUNNEL.</p>
9.	<p><b>"FD", FLOOR DRAIN</b></p> <p>WATTS #FD-100-C-L5-1-5-6-7 FLOOR DRAIN – EPOXY COATED, CAST IRON BODY, REVERSIBLE FLASHING CLAMP WITH PRIMARY AND SECONDARY WEEPHOLES, SEDIMENT BUCKET, VANDAL PROOF, TRAP PRIMER CONNECTION WITH PLUG, NO HUB OUTLET. WATTS –L5-1 5" X 5" (127 MM X 127 MM) NICKEL BRONZE, HEAVY DUTY, SQUARE STRAINER. VERIFY EXISTING SANITARY CONNECTION SIZE FOR NEW FLOOR DRAIN REPLACE EXISTING.</p>
10.	<p><b>"CO", CLEANOUT</b></p> <p>WATTS #CO-200-S CLEANOUT – EPOXY COATED, CAST IRON BODY, 5-1/8" (130 MM) SQUARE ADJUSTABLE GASKETED HEAVY DUTY NICKEL BRONZE TOP, ABS PLUG WITH NEOPRENE GASKET, VANDAL PROOF, NO HUB OUTLET.</p>



PROJECT GENERAL NOTES:	
1.	PRIOR TO CONSTRUCTION, PERFORM AIR BALANCE TEST FOR EXISTING AIR DISTRIBUTION SYSTEM (INCLUDING EXISTING CENTRAL/ROOF EXHAUST FAN TOTAL CFM) WITHIN THE PROJECT WORKING AREA. SUBMIT REPORT.
2.	PRIOR TO CONSTRUCTION, PERFORM DRAINAGE LINE INSPECTION AND CAMERA TEST FOR EXISTING DRAINAGE SYSTEM WITHIN THE PROJECT WORKING AREA. SUBMIT VIDEO AND MEASURED DRAWING.
3.	PRIOR TO COMPLETION, PERFORM AIR BALANCE TEST FOR THE AIR DISTRIBUTION SYSTEM WITHIN THE PROJECT WORKING AREA. SUBMIT REPORT.
4.	PRIOR TO COMPLETION, PERFORM DRAINAGE LINE CAMERA TEST FOR THE UNDERGROUND DRAINAGE SYSTEM WITHIN THE PROJECT WORKING AREA. SUBMIT VIDEO AND WRITTEN REPORT.

GRILLE & DIFFUSER SCHEDULE					
REF. LETTER	TYPE	MAKE/MODEL	DAMPER	FINISH	REMARKS
A	EXHAUST AIR GRILLE	E.H. PRICE MODEL 630	N	B-12	ALUMINIUM LOUVRED FACE GRILLE, SIZE AS SHOWN ON DRAWING
NOTES: 1. COLOUR TO ARCHITECT'S CHOICE.					

PLUMBING FIXTURE SCHEDULE						
TYPE	FIXTURE	D.H.W.	D.C.W.	VENT	SANITARY	NOTES
T-1	TOILET	–	3/4"	1-1/2"	3"	FLOOR MOUNTED, TANK TYPE, 1.6 GPF
T-2	TOILET	–	3/4"	1-1/2"	3"	BARRIER FREE, FLOOR MOUNTED, TANK TYPE, 1.6 GPF
WF-1	WASH FOUNTAIN	1/2"	1/2"	1-1/4"	1-1/2"	BARRIER FREE, INFRARED SENSOR FAUCET, MULTI-USER, INTEGRATED SOAP DISPENSERS
WF-2	WASH FOUNTAIN	1/2"	1/2"	1-1/4"	1-1/2"	BARRIER FREE, INFRARED SENSOR FAUCET, MULTI-USER, INTEGRATED SOAP DISPENSERS
U-1	URINAL	–	3/4"	1-1/4"	2"	WALL MOUNTED, FLUSH VALVE, NO-TOUCH, 0.5 GPF
U-2	URINAL	–	3/4"	1-1/4"	2"	BARRIER FREE, WALL MOUNTED, FLUSH VALVE, NO-TOUCH, 0.5 GPF
DF-1	DRINKING FOUNTAIN	–	1/2"	1-1/4"	1-1/4"	BARRIER FREE, HANDS-FREE, SINGLE LEVEL

MECHANICAL DRAWING LIST	
DWG. NO.	DRAWING TITLE
M01	MECHANICAL LEGEND, DRAWING LIST, KEY PLAN, SCHEDULE AND PLUMBING FIXTURE SPECIFICATION
M02	MECHANICAL PLAN – RM 235–236–237
M03	MECHANICAL PLAN – RM 336–337–338

HVAC LEGEND	
SYMBOL	DESCRIPTION
	DUCTWORK (SINGLE LINE)
	FLEXIBLE DUCT
	CONTROL WIRE
	POSITIVE PRESSURE DUCT UP
	RETURN/EXHAUST DUCT UP
	SUPPLY DUCT DOWN
	RETURN/EXHAUST DUCT DOWN
	THERMOSTAT
	TIME SWITCH
	DOOR GRILLE
	DOOR UNDERCUT
	BALANCING DAMPER
	FIRE DAMPER
	MOTORIZED DAMPER
	SQUARE SUPPLY AIR DIFFUSER
	RETURN OR EXHAUST AIR GRILLE
	DENOTE AIR FLOW RATE XX L/S
	DIFFUSER/GRILLE TYPE
	X - TYPE
	Y - SIZE (MM)
	Z - AIR VOLUME (L/S)

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	DOMESTIC COLD WATER (DCW)
	DOMESTIC HOT WATER (DHW)
	DOMESTIC HOT WATER RECIRCULATION (DHW-R)
	BURIED SANITARY DRAIN OR IN CEILING SPACE/FLOOR BELOW
	SUSPENDED SANITARY DRAIN
	BURIED STORM DRAIN OR IN CEILING SPACE/FLOOR BELOW
	SUSPENDED STORM DRAIN
	CLEANOUT PLUG
	FLOOR CLEANOUT
	VALVE SHUT-OFF
	CAPPED CONNECTION
	FLOOR DRAIN
	PIPE CUT
	PIPE DOWN
	PIPE UP
	SANITARY ROUGH-IN

ABBREVIATIONS	
ABBREV.	DESCRIPTION
DN	DOWN
S/A	SUPPLY AIR
R/A	RETURN AIR
E/A	EXHAUST AIR
F/A	FRESH AIR
RWL	RAIN WATER LEADER
NIC	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR
CTE	CONNECT TO EXISTING
RE	DENOTES EXISTING DEVICE(S) IN RELOCATED POSITION
R	DENOTES EXISTING DEVICE(S) TO BE RELOCATED
D	DENOTES EXISTING DEVICE(S) TO BE REMOVED
EX	DENOTES EXISTING DEVICE(S) TO REMAIN
N	DENOTES PROVIDE NEW DEVICE(S)
(1)	DENOTES DRAWING REFERENCE NOTE # 1
	EXISTING SERVICES OR EQUIPMENTS TO BE REMOVED
	EXISTING SERVICES OR EQUIPMENTS TO BE RELOCATED
	REFER TO DETAIL No. ON DRAWING No.



77 MAIN ST EAST HUNTSVILLE ONTARIO P1H2B9

Trillium Lakelands  
District School Board  
Leslie Frost PS  
Washroom  
Renovation

WO# 041702

51 Angeline St S,  
Lindsay, ON K9V 3L1



DATE: 2021-04  
PROJECT NO: 20065-B4  
DRAWN: MT  
CHECKED: ML

Revisions  
1. ISSUED FOR REVIEW 2021-03-05  
2. ISSUED FOR PERMIT&TENDER 2021-04-19

MECHANICAL LEGEND,  
DRAWING LIST, KEY  
PLAN, SCHEDULE AND  
PLUMBING FIXTURE  
SPECIFICATION

N.T.S

Scale

Sheet

M01



Trillium Lakelands  
District School Board  
Leslie Frost PS  
Washroom  
Renovation

WO# 041702

51 Angeline St S,  
Lindsay, ON K9V 3L1

Seal



**AIRFLOW TEST**

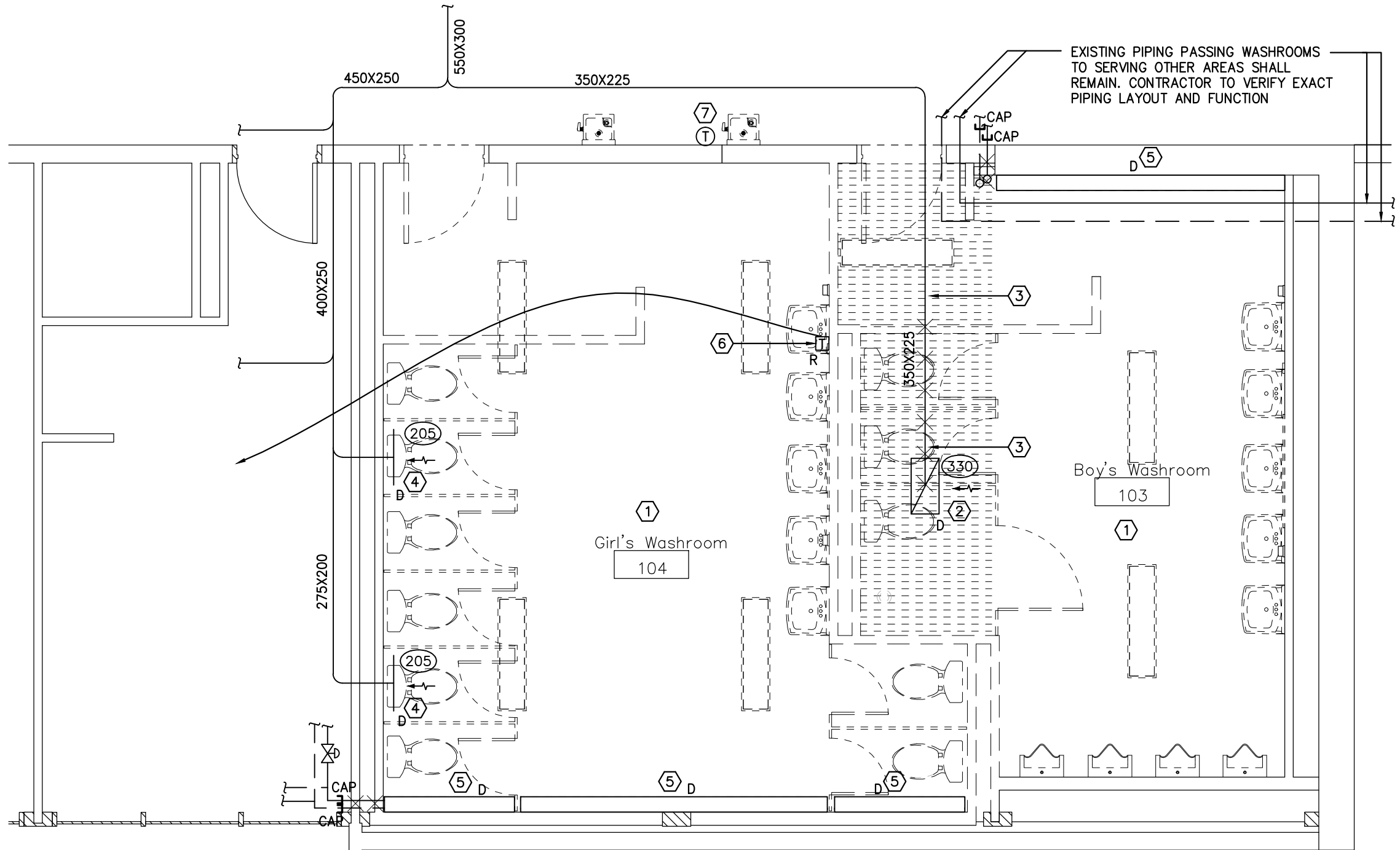
1. ALL EXISTING AIRFLOW RATE AND DUCT SIZE INDICATED ON THIS DRAWING BASED ON BASE BLDG. MECHANICAL SYSTEM DRAWING FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXACT LAYOUTS AND SIZES ON SITE.
2. WITHIN WORKING AREA, PRIOR TO DEMOLITION, PERFORM AIRFLOW TEST OF ALL EXISTING RETURN/EXHAUST AIR GRILLE. SUBMIT EXISTING AIR FLOW TEST REPORT AND EXISTING MECHANICAL DRAWING SHOWING AIRFLOW RATE, DUCT LAYOUT AND SIZE, GRILLE LAYOUT AND SIZE, FIRE DAMPER LOCATION AND SIZE.
3. RE-BALANCE AIRFLOW RATE AS NOTED ON DRAWING. REPLACE EXISTING DAMAGED DUCTWORK WHEN REQUIRED. EXISTING AIRFLOW SERVING OTHER AREAS TO REMAIN. SUBMIT AIR BALANCE REPORT WITH DRAWING.

**GENERAL NOTES**

1. ALL EQUIPMENTS SHOWN ON THIS DRAWING SHALL BE NEW UNLESS OTHERWISE NOTED.
2. COORDINATE ARCHITECTURAL REFLECTED CEILING PLAN FOR LOCATIONS OF GRILLES AND DIFFUSERS.
3. CONTRACTOR TO VERIFY EXISTING FIRE DAMPER LOCATIONS WITHIN SCOPE AREA. PROVIDE FIRE DAMPERS ON EXISTING DUCTS WHERE DUCTS PENETRATE FIRE SEPARATIONS WHEN REQUIRED.

**DRAWING NOTES**

- ① PROVIDE NEW SIDE WALL GRILLE CONNECT TO EXISTING DUCTWORK. TEST/BALANCE AIRFLOW RATE. FLOW RATE SHOWN IN L/S AS A MINIMUM REQUIRED VALUE.
- ② REPLACE EXISTING EXHAUST GRILLE WITH NEW, NEW GRILLE SIZE TO MATCH EXISTING. MODEL E.H.PRICE 630 OR APPROVED EQUAL. TEST/BALANCE AIRFLOW RATE. FLOW RATE SHOWN IN L/S AS A MINIMUM REQUIRED VALUE.
- ③ CONTRACTOR TO VERIFY EXACT LOCATION & WIRING OF EXISTING T-STAT, RELOCATE & RE-CALIBRATE IF REQUIRED TO AVOID PROPOSED WASHROOM ENTRANCE OPENING.
- ④ PROVIDE NEW FIRE RATED DOOR GRILLE C/W UL LISTED FUSIBLE LINK AT LOW LEVEL MODEL AIR LOUVERS 1900A OR APPROVED EQUAL. SIZE AS NOTED ON DRAWING. ALUMINUM FINISH.
- ⑤ PROVIDE FIRE DAMPER WHEN DUCT PENETRATES FIRE-RATED SEPARATION.



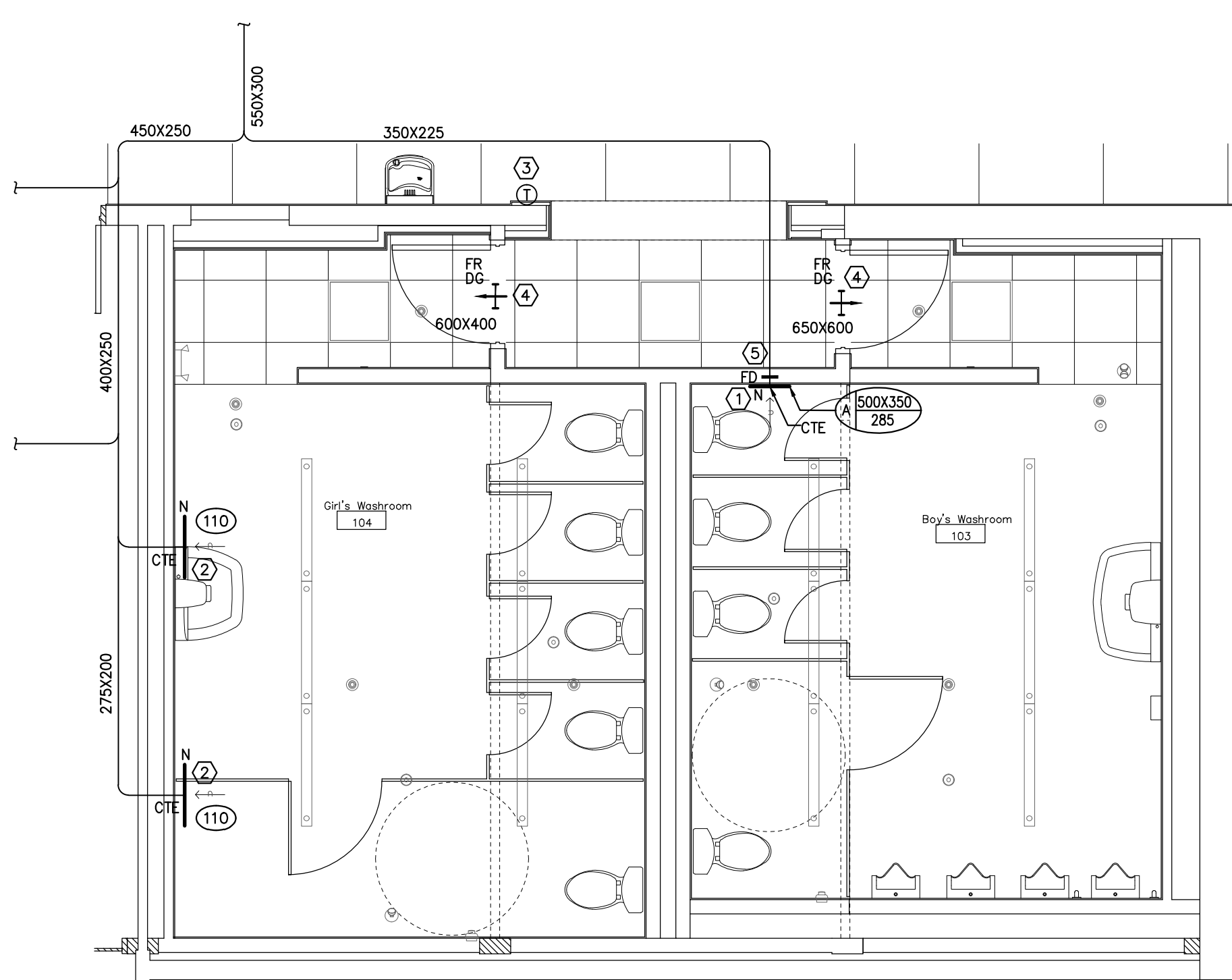
**AIRFLOW TEST**

1. ALL EXISTING AIRFLOW RATE AND DUCT SIZE INDICATED ON THIS DRAWING BASED ON BASE BLDG. MECHANICAL SYSTEM DRAWING FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXACT LAYOUTS AND SIZES ON SITE.
2. WITHIN WORKING AREA, PRIOR TO DEMOLITION, PERFORM AIRFLOW TEST OF ALL EXISTING RETURN/EXHAUST AIR GRILLE. SUBMIT EXISTING AIR FLOW TEST REPORT AND EXISTING MECHANICAL DRAWING SHOWING AIRFLOW RATE, DUCT LAYOUT AND SIZE, GRILLE LAYOUT AND SIZE, FIRE DAMPER LOCATION AND SIZE.
3. PRIOR TO CONSTRUCTION, PERFORM DUCT CLEANING FOR ALL THE DUCT WORK WITHIN THE PROJECT WORKING AREA.

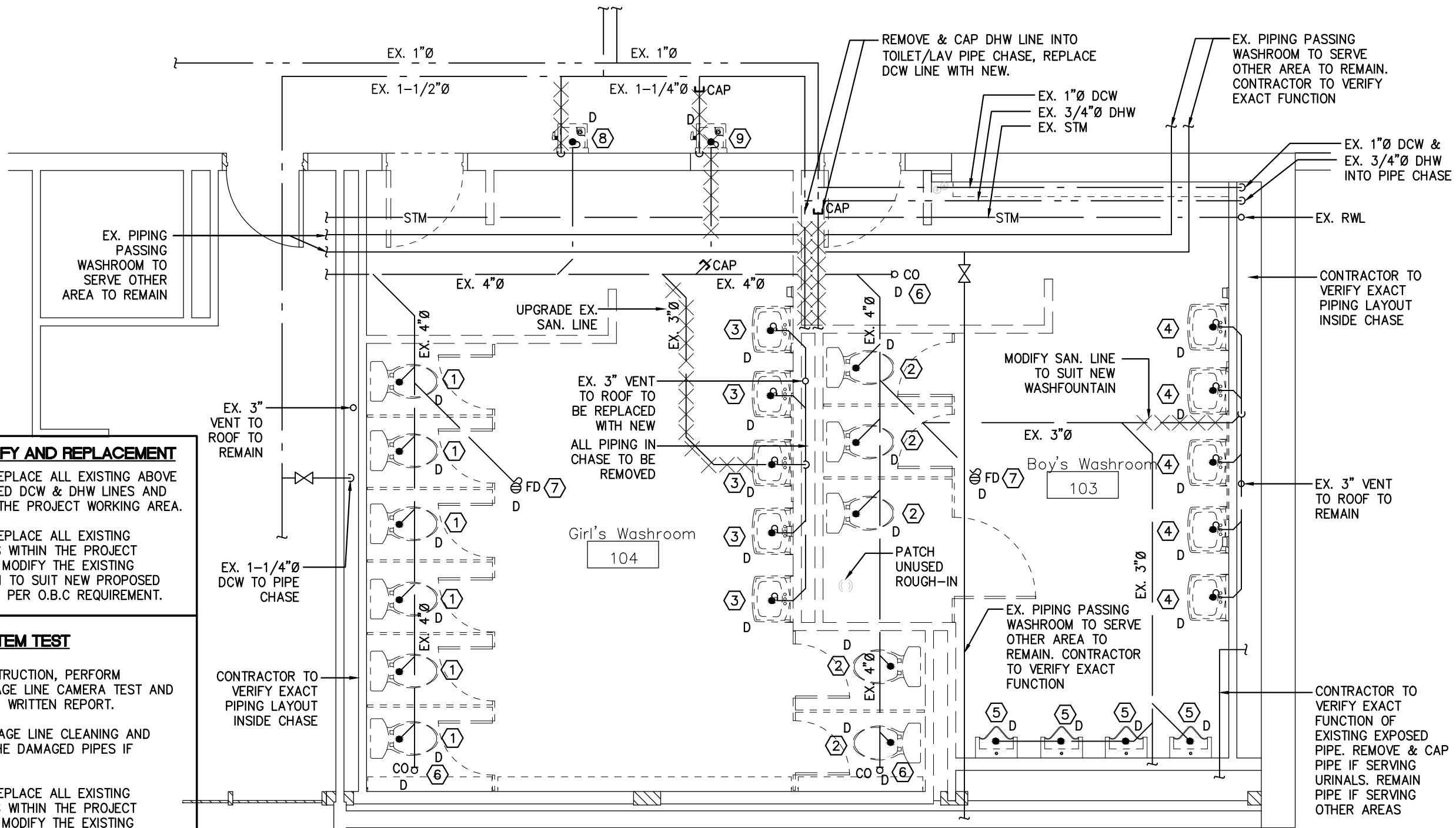
**GENERAL NOTES**

1. ALL EXISTING MECHANICAL SERVICE TO REMAIN UNLESS INDICATED OTHERWISE.
  2. CONTRACTOR TO EXAMINE AND VERIFY EXISTING MECHANICAL SYSTEM CONDITIONS AND LOCATIONS ON SITE.
- DRAWING NOTES**
- ① PROVIDE AIRFLOW TEST FOR EXISTING WASHROOM/CUSTODIAL ROOM EXHAUST SYSTEM.
  - ② EXISTING EXHAUST AIR GRILLE TO BE REMOVED. MODIFY/EXTEND EXISTING DUCTWORK FOR NEW GRILLE CONNECTION AS PER PROPOSED PLAN.
  - ③ REMOVE/MODIFY EXISTING DUCTWORK TO SUIT PROPOSED PLAN.
  - ④ EXISTING GRILLE TO BE REPLACED WITH NEW, SIZE TO MATCH EXISTING.
  - ⑤ EXISTING HYDRONIC HEATER TO BE REMOVED. CAP PIPING IN WALL/CEILING.
  - ⑥ CONTRACTOR TO VERIFY EXACT CONTROL VALVE LOCATION, PIPING LAYOUT & WIRING OF EXISTING T-STAT, RELOCATE & RE-CALIBRATE T-STAT TO CUSTODIAL ROOM TO CONTROL CUSTODIAL ROOM HEATERS.
  - ⑦ CONTRACTOR TO VERIFY EXACT LOCATION & WIRING OF EXISTING T-STAT, RELOCATE & RE-CALIBRATE IF REQUIRED TO AVOID PROPOSED WASHROOM ENTRANCE OPENING.

1  
M02  
EXISTING HVAC PLAN  
SCALE: 1:50



2  
M02  
PROPOSED HVAC PLAN  
SCALE: 1:50



**WATER PIPE VERIFY AND REPLACEMENT**

1. EXAMINE AND REPLACE ALL EXISTING ABOVE GROUND DAMAGED DCW & DHW LINES AND VALVES WITHIN THE PROJECT WORKING AREA.
2. EXAMINE AND REPLACE ALL EXISTING DAMAGED VENTS WITHIN THE PROJECT WORKING AREA. MODIFY THE EXISTING VENTING SYSTEM TO SUIT NEW PROPOSED LAYOUT AND AS PER O.B.C. REQUIREMENT.

**DRAINAGE SYSTEM TEST**

1. PRIOR TO CONSTRUCTION, PERFORM EXISTING DRAINAGE LINE CAMERA TEST AND SUBMIT VIDEO & WRITTEN REPORT.
2. PERFORM DRAINAGE LINE CLEANING AND REPLACE ALL THE DAMAGED PIPES IF REQUIRED.
3. EXAMINE AND REPLACE ALL EXISTING DAMAGED VENTS WITHIN THE PROJECT WORKING AREA. MODIFY THE EXISTING VENTING SYSTEM TO SUIT NEW PROPOSED LAYOUT AND AS PER O.B.C. REQUIREMENT.

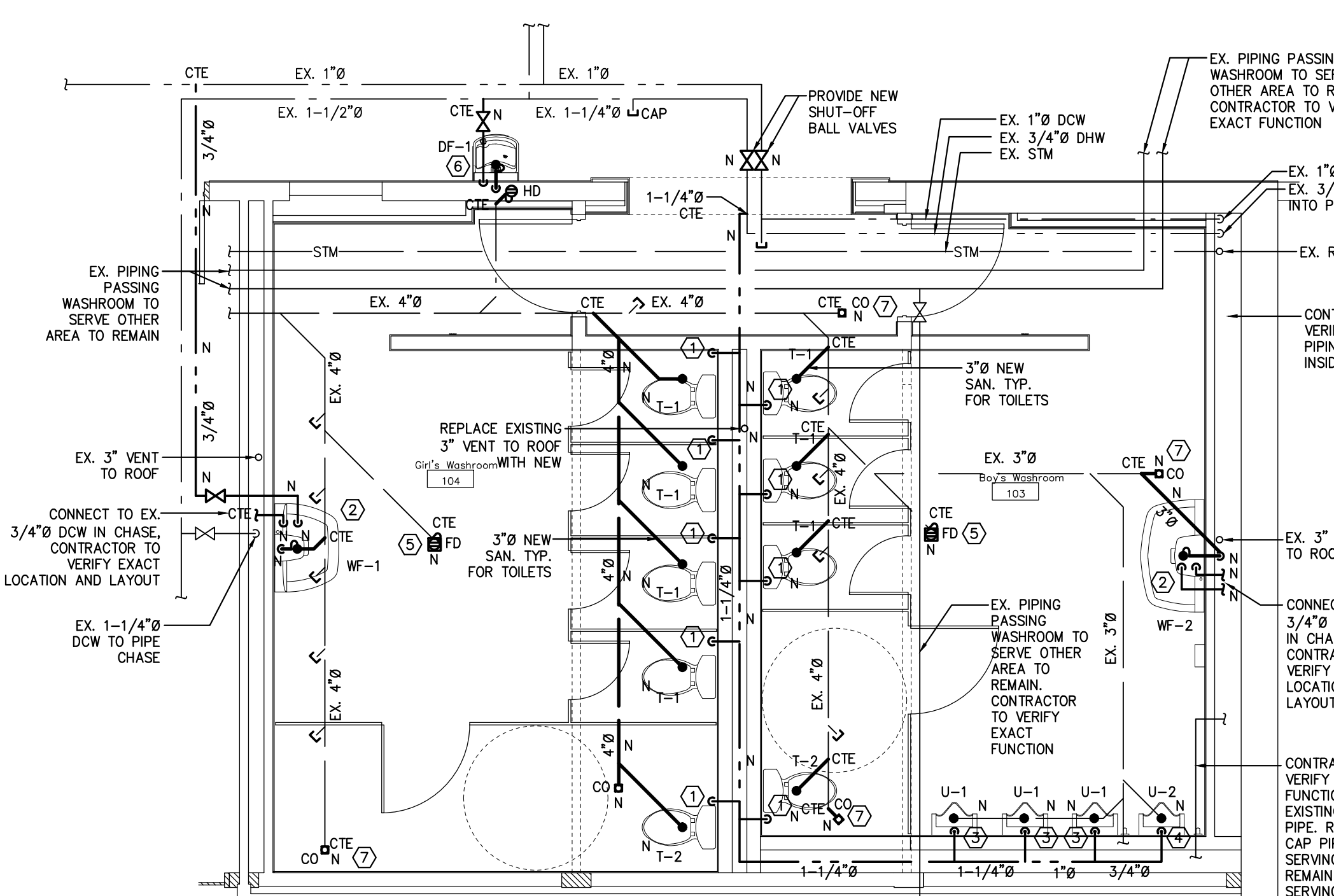
**GENERAL NOTES**

1. ALL EXISTING MECHANICAL SERVICE TO REMAIN UNLESS INDICATED OTHERWISE.
2. LAYOUT AND SIZE OF EXISTING PIPING SHOWN ON DRAWING ARE BASED ON BASE BUILDING DRAWING FOR REFERENCE ONLY. CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING MECHANICAL SYSTEM CONDITIONS AND LOCATIONS, INVERTS ON SITE.
3. RELOCATE ALL EXISTING ACCESS PANELS WHERE AFFECTED BY THE WORK.
4. ALL REMOVED FLUSH VALVES AND WASHFOUNTAINS SHALL BE RETURNED TO OWNER.

**DRAWING NOTES**

- ① EXISTING TOILET TO BE REMOVED. CAP ASSOCIATED PIPE IN WALL/CEILING OR UNDER SLAB.
- ② EXISTING TOILET TO BE REMOVED. CAP DRAINAGE PIPE UNDER SLAB & MODIFY PIPE FOR NEW TOILET CONNECTION.
- ③ EXISTING LAVATORY & ASSOCIATED PIPING TO BE REMOVED.
- ④ EXISTING LAVATORY TO BE REMOVED. CAP ASSOCIATED PIPE IN WALL/CEILING OR UNDER SLAB.
- ⑤ EXISTING URINAL TO BE REPLACED WITH NEW. REMOVE & CAP ASSOCIATED PIPES IN CHASE.
- ⑥ EXISTING CLEANOUT TO BE REMOVED. MODIFY SAN. LINE PER PROPOSED PLAN.
- ⑦ EXISTING FLOOR DRAIN TO BE REPLACED WITH NEW.
- ⑧ EXISTING DRINKING FOUNTAIN & DCW SUPPLY BRANCH TO BE REPLACED WITH NEW.
- ⑨ EXISTING DRINKING FOUNTAIN TO BE REMOVED. REMOVE & CAP ASSOCIATE PIPE IN WALL/CEILING OR UNDER SLAB. PROVIDE NEW HUB DRAIN FOR INDIRECTLY SANITARY CONNECTION AS PER PROPOSED PLAN.

3  
M02  
EXISTING PLUMBING AND DRAINAGE PLAN  
SCALE: 1:50



**WATER PIPE VERIFY AND REPLACEMENT**

1. EXAMINE AND REPLACE ALL EXISTING ABOVE GROUND DAMAGED DCW & DHW LINES AND VALVES WITHIN THE PROJECT WORKING AREA.
2. EXAMINE AND REPLACE ALL EXISTING DAMAGED VENTS WITHIN THE PROJECT WORKING AREA. MODIFY THE EXISTING VENTING SYSTEM TO SUIT NEW PROPOSED LAYOUT AND AS PER O.B.C. REQUIREMENT.

**DRAINAGE SYSTEM TEST**

1. PRIOR TO CONSTRUCTION, PERFORM EXISTING DRAINAGE LINE CAMERA TEST AND SUBMIT VIDEO & WRITTEN REPORT.
2. PERFORM DRAINAGE LINE CLEANING AND REPLACE ALL THE DAMAGED PIPES IF REQUIRED.
3. EXAMINE AND REPLACE ALL EXISTING DAMAGED VENTS WITHIN THE PROJECT WORKING AREA. MODIFY THE EXISTING VENTING SYSTEM TO SUIT NEW PROPOSED LAYOUT AND AS PER O.B.C. REQUIREMENT.

**DRAWING NOTES**

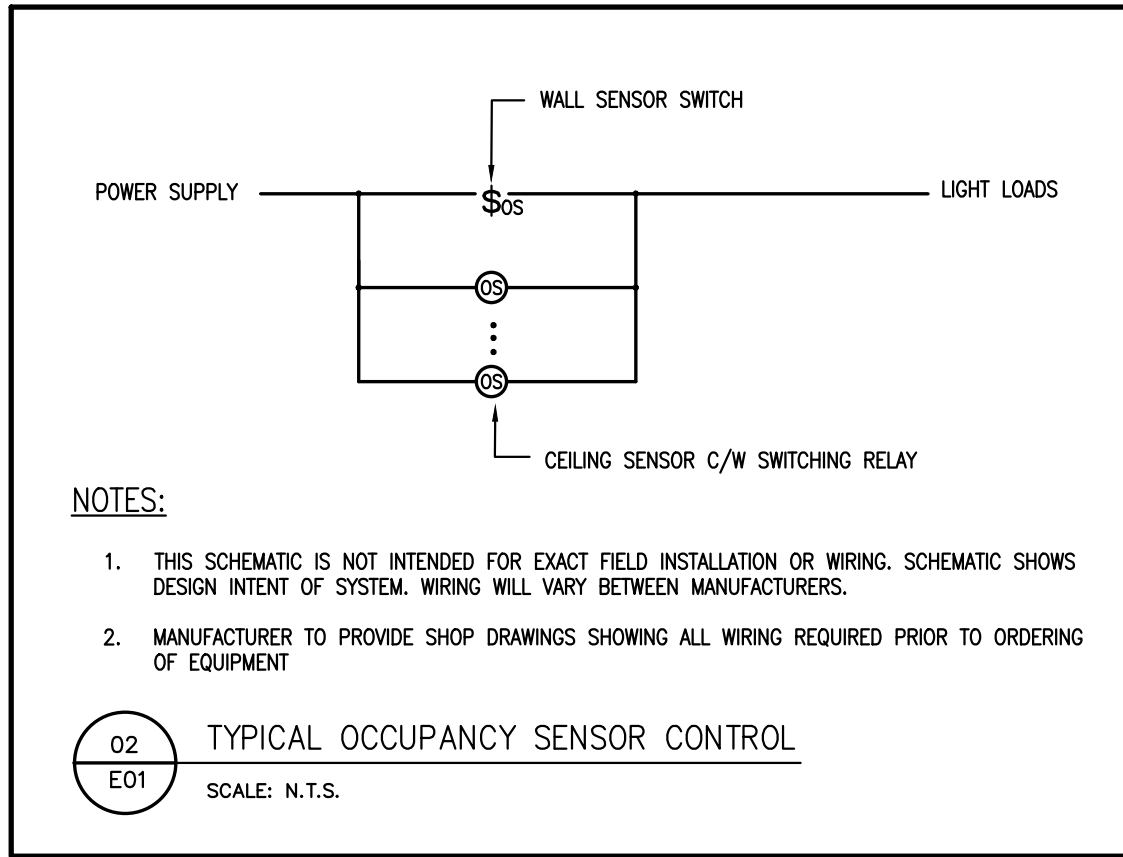
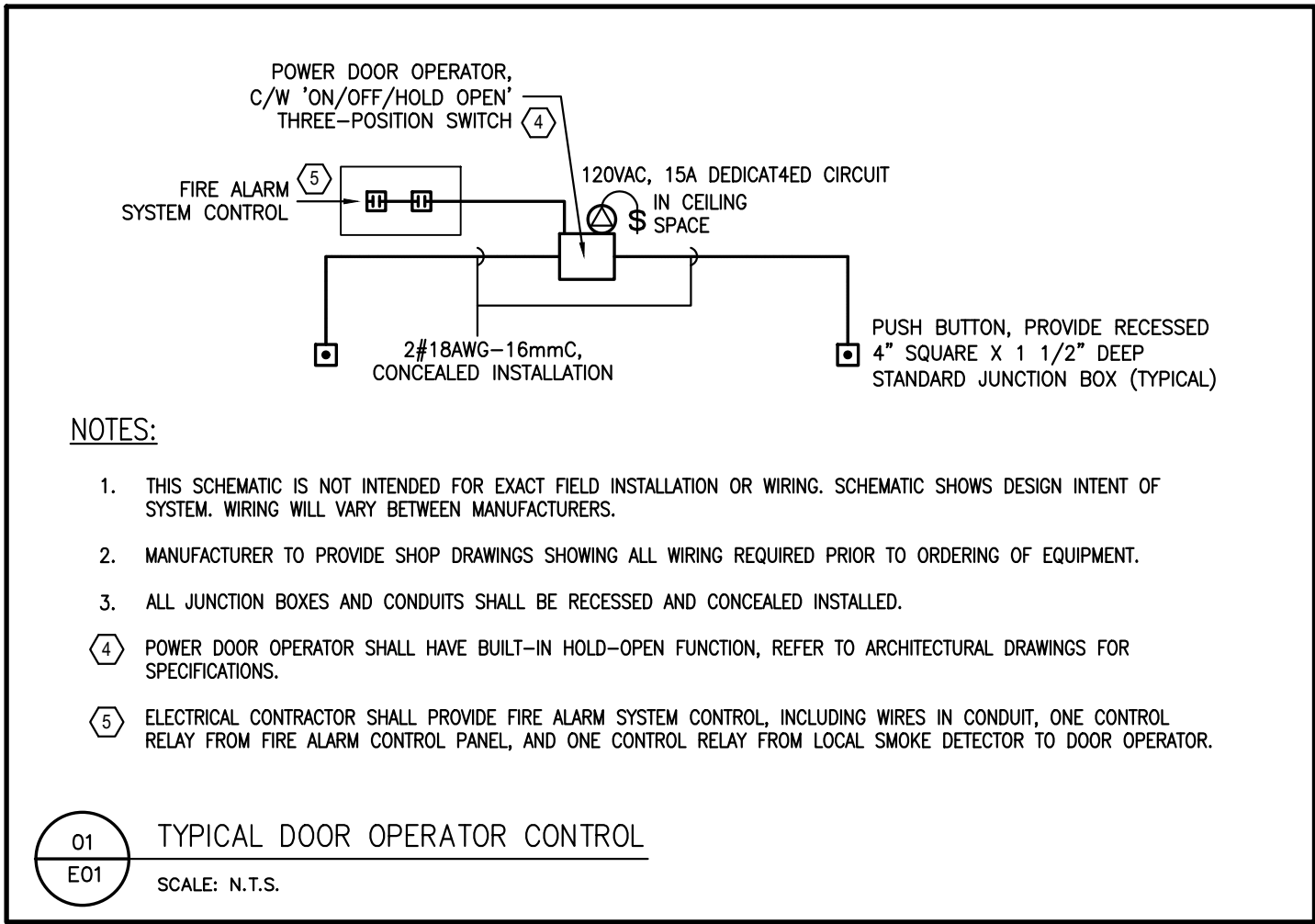
- ① PROVIDE 1/2" DCW LINE TO TOILET T-1 / T-2.
- ② PROVIDE 1/2" DCW & DHW LINE TO WASHFOUNTAIN WF-1.
- ③ PROVIDE 3/4" DCW TO URINAL U-1.
- ④ PROVIDE 3/4" DCW TO URINAL U-2.
- ⑤ PROVIDE NEW FLOOR DRAIN REPLACE EXISTING, FD PIPE SIZE TO MATCH EXISTING.
- ⑥ PROVIDE 12" DCW LINE TO NEW DRINKING FOUNTAIN "DF-1" AND NEW INDIRECT HUB DRAIN "HD" CONNECTION TO EXISTING SAN. BRANCH. PROVIDE NEW SAN. PIPES TO REPLACE EXISTING IF REQUIRED. REFER TO ARCH. DWG FOR EXACT MOUNTING HEIGHT.
- ⑦ PROVIDE NEW CLEANOUT, MODIFY/EXTEND EXISTING SAN. LINE WHEN REQUIRED.

4  
M02  
PROPOSED PLUMBING AND DRAINAGE PLAN  
SCALE: 1:50

**GENERAL NOTES**

1. ALL EQUIPMENTS SHOWN ON THIS DRAWING SHALL BE NEW UNLESS OTHERWISE NOTED.
2. ALL DOMESTIC COLD WATER AND DOMESTIC HOT WATER PIPES SHALL BE MINIMUM 200 UNLESS INDICATED OTHERWISE.
3. CONTRACTOR TO VERIFY EXACT LOCATION, SIZE AND CONDITION OF EXISTING WATER. SUPPLY PIPING SERVING SCOPE AREA ON SITE FOR NEW CONNECTION.
4. READ IN CONJUNCTION WITH ARCHITECTURAL PLANS FOR PLUMBING FIXTURES INSTALLATION.
5. DOCUMENT ALL THE ACCESS PANELS LOCATIONS ON AS-BUILT DRAWINGS.
6. PERFORM STRUCTURAL COORDINATION FOR MASONRY MODIFICATIONS. REFER TO STRUCTURAL DETAILS FOR MODIFYING OR TRENCHING THE BLOCK WALLS TO RUN NEW CONCEALED SERVICES.
7. PROVIDE ISOLATING BALL VALVES ON MAIN AND/OR BRANCH LINES AND FOR ALL EQUIPMENT SERVED WITH HOT AND COLD WATER LINES. ALL VALVES SHALL BE SUITABLE FOR THE OPERATING PRESSURE OF THE SYSTEM IN WHICH THEY ARE INSTALLED.
8. PROVIDE INSULATION FOR ALL COLD & HOT WATER PIPING.
9. FOR ALL PLUMBING CONNECTIONS TO EXISTING SYSTEM INVOLVING MASONRY MODIFICATIONS, COORDINATE AND REFER TO STRUCTURAL DETAILS.
10. PROVIDE COMPLETE SANITARY VENT CONNECTION TO EXISTING VENT PIPES COMPLY WITH OBC REQUIREMENT.
11. ALL SANITARY DRAINAGE BELOW GRADE SHALL BE MINIMUM 750 UNLESS INDICATED OTHERWISE.
12. CONTRACTOR TO VERIFY EXACT LOCATION, SIZE & INVERT OF SAN. LINES SERVING THE SCOPE AREA ON SITE FOR NEW CONNECTION.
13. ALL NEW FLOOR DRAINS SHALL BE COMPLETE WITH TRAPS AND TRAP PRIMERS. CONTRACTOR TO VERIFY EXISTING TRAP PRIMER WHEN FLOOR DRAIN IS REPLACED. PROVIDE NEW TRAP PRIMER WHEN REQUIRED.
14. PROVIDE NECESSARY DRAINAGE PIPE REPLACEMENT/MODIFICATION/EXTENSION FOR NEW PLUMBING FIXTURE RECONNECTION.
15. CONNECTION WORK FOR NEW PLUMBING FIXTURE DRAINAGE TO EXISTING SANITARY LINE INCLUDES TRENCHING EXCAVATION AND REPAIRING THE EXISTING FLOOR.





LUMINAIRE SCHEDULE				
TYPE	DESCRIPTION	LAMP	BALLAST	REMARKS
F1	3.74" X 4" LINEAR DIRECT/INDIRECT LED FIXTURE, SUSPENDED MOUNTED WITH AIRCRAFT CABLES AT 2' BELOW CEILING. EXTRUDED ALUMINUM BODY WITH FLAT FROSTED ACRYLIC LENS, SUITABLE FOR WET LOCATIONS. WHITE FINISH. APPLICATION: WASHROOMS	33W, LED LAMP, 4000K 3993LM	120V ELECTRONIC LED DRIVER	PEERLESS #ARCLUX-LDX1 SERIES OR APPROVED EQUAL
F2	2' X 2' BACKLIT T-BAR CEILING RECESSED PANEL WITH ALUMINUM FRAME AND PMMA LENS, WHITE FINISH. APPLICATION: WASHROOMS	30W, LED LAMP, 4000K 3825LM	120V ELECTRONIC LED DRIVER	RAB DESIGN #CPL22-LED30 SERIES OR APPROVED EQUAL
E1	EMERGENCY REMOTE UNIT, C/W ONE(1) OR TWO(2) 6W MR16 LED HEADS, CEILING OR SURFACE MOUNTED, WITH A CLEAR POLYCARBONATE UV AND IMPACT RESISTANT LENS, DIE CAST ALUMINUM BACK PLATE, WHITE FINISH, 12VDC.	2 X 6W MR16 LED		EMERGI-LITE #EF40 SERIES OR APPROVED EQUAL
E2	EMERGENCY LIGHTING BATTERY UNIT, 1/2HR BATTERY, C/W ONE(1) OR TWO(2) 6W MR16 LED HEADS, WALL MOUNTED, WHITE FINISH, 12VDC/120VAC OR TO MATCH EXISTING AS NOTED. MOUNT @ 200MM BELOW CEILING.			EMERGI-LITE #ESL SERIES OR APPROVED EQUAL
PROJECT NOTES:				
1. ALL WIRES/CONDUITS SHALL BE CONCEALED IN WALLS, OR IN CEILING SPACES, EXCEPT IN ELEC/MECH ROOMS.				

DRAWING LIST	
DWG. NO.	DRAWING TITLE
E01	KEY PLAN, DRAWING LIST, LEGEND & DETAILS - ELECTRICAL
E02	ELECTRICAL LAYOUTS - ROOM 103 & 104

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	LED LUMINAIRES, RECESSED IN CEILING, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	LED LUMINAIRES, SURFACE MOUNTED ON CEILING, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	FLUORESCENT OR LED STRIP LUMINAIRES, LETTER DENOTES FIXTURE TYPE PER SCHEDULE
	120V SINGLE POLE TOGGLE SWITCHES, RESPECTIVELY WITH ONE, TWO, OR THREE GANG COVER PLATE, AMPERAGE RATING TO MATCH CIRCUIT BREAKER
	CEILING MOUNTED OCCUPANCY SENSOR FOR LIGHTING CONTROL
	WALL MOUNTED DUPLEX RECEPTACLE, U-GROUND, CSA 5-15R TYPE (15A, 120V) UNLESS OTHERWISE NOTED
	15A, 125V DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE (CSA 5-15R)
	RECEPTACLES AS ABOVE RESPECTIVELY, BUT MOUNTED AT 8" ABOVE COUNTER TOP, OR 42" AFF, OR AS NOTED
	20A, 125V DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE (CSA 5-20R)
	DIRECT CONNECTION TO EQUIPMENT AS NOTED.
	DIRECT CONNECTION C/W DISCONNECT SWITCH
	ELECTRICAL PANEL, RECESSED OR SURFACE MOUNTED
	FIRE ALARM SMOKE DETECTOR, CEILING OR WALL MOUNTED
	FIRE ALARM HEAT DETECTOR, COMBINATION OF FIXED TEMPERATURE 57°C (135°F) AND RATE-OF-RISE 8°C/MIN TYPE, CEILING OR WALL MOUNTED
	FIRE ALARM DOOR HOLDER
	FIRE ALARM HORN
	FIRE ALARM CONTROL PANEL OR ANNUNCIATOR PANEL, RECESSED OR SURFACE MOUNTED
	EMERGENCY LIGHTING REMOTE HEADS, CEILING OR WALL MOUNTED, WITH DOUBLE OR SINGLE HEADS RESPECTIVELY
	EMERGENCY LIGHTING BATTERY UNIT C/W INTEGRAL HEADS
	CEILING OR WALL RECESSED MOUNTED SINGLE GANG BOX FOR P.A. SPEAKER. "S" DENOTES SURFACE BOX FOR PENDENT SPEAKER.
	POWER DOOR OPERATOR
	HAND DRYER
	JUNCTION BOX
	ABOVE FINISHED FLOOR
	GROUND FAULT INTERRUPTER
	AS APPLIED TO CIRCUITING, DENOTES "PANEL 'LP-1', CIRCUIT # 1"
	LIGHTING PANEL
	POWER PANEL
	DENOTES TAMPER-RESISTANT TYPE RECEPTACLE
	DENOTES EXISTING DEVICE(S) TO REMAIN
	DENOTES EXISTING DEVICE(S) TO BE RELOCATED
	DENOTES EXISTING DEVICE(S) TO BE REMOVED
	DENOTES EXISTING DEVICE(S) TO BE REMOVED AND REPLACED WITH NEW
	DENOTES EXISTING DEVICE(S) TO BE REMOVED AND RE-INSTALLED IN SAME LOCATION
	DENOTES EXISTING DEVICE(S) IN RELOCATED/REINSTALLED POSITION
	DENOTES PROVIDE NEW DEVICE(S)
	DENOTES DRAWING REFERENCE NOTES # 2
	DENOTES REFER TO DETAIL #1 ON DRAWING #E-02.



77 MAIN ST EAST HUNTSVILLE ONTARIO P1H2B9

Trillium Lakelands  
District School Board  
Leslie Frost PS  
Washroom  
Renovation

WO# 041702

51 Angeline St S,  
Lindsay, ON K9V 3L1

Seal



**HL ENGINEERING LTD**  
14721 WOODBINE AVE. STOUFFVILLE, ON  
L4A 2G7 905-713-0003 www.hlengineering.ca

DATE: 2021-04  
PROJECT NO: 20065-B4  
DRAWN: HZ  
CHECKED: ML

Revisions  
1. ISSUED FOR REVIEW 2021-03-05  
1. ISSUED FOR PERMIT&TENDER 2021-04-19

Title

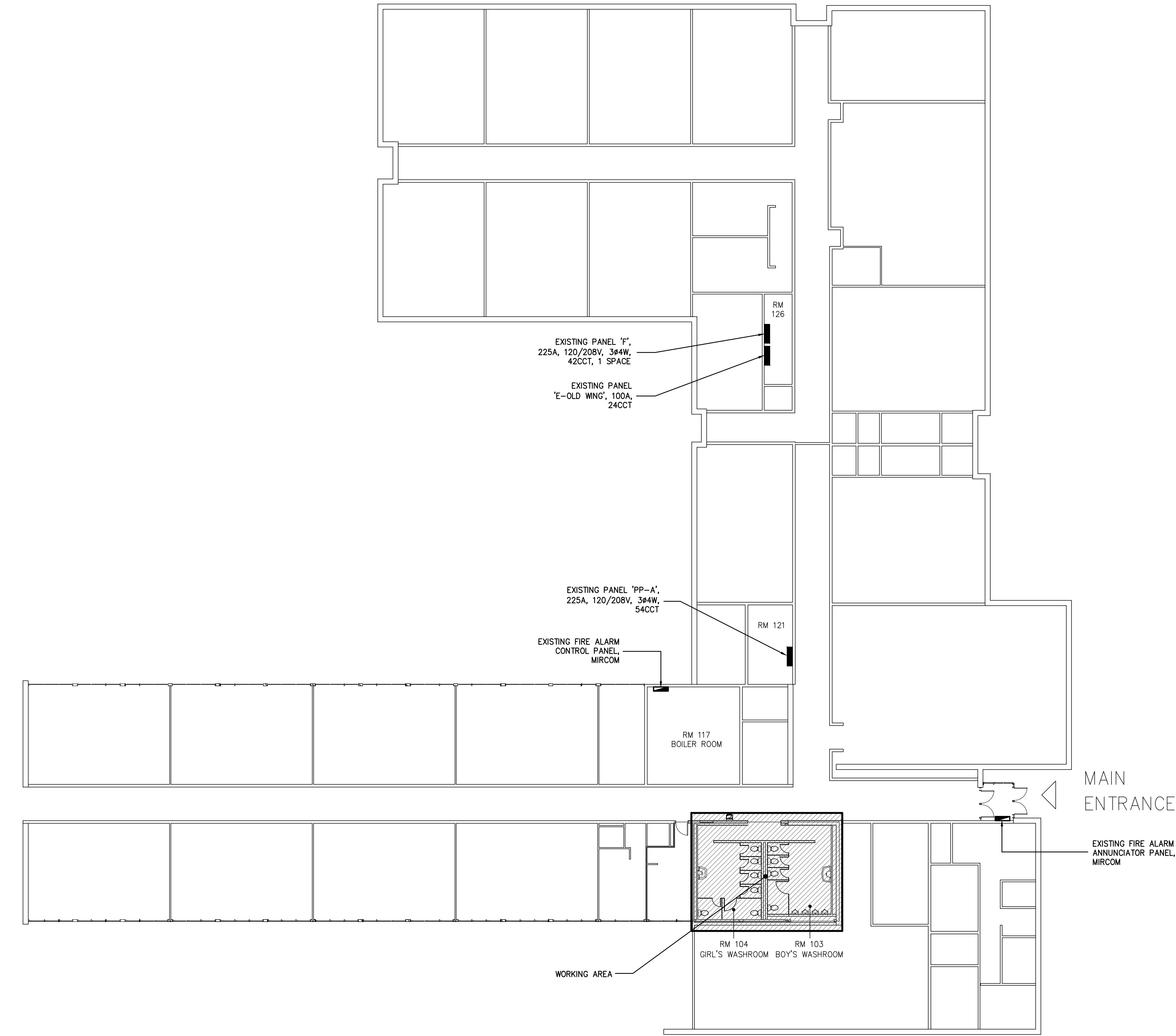
KEY PLAN, DRAWING  
LIST, LEGEND &  
DETAILS - ELECTRICAL

AS SHOWN

Scale

Sheet

E01

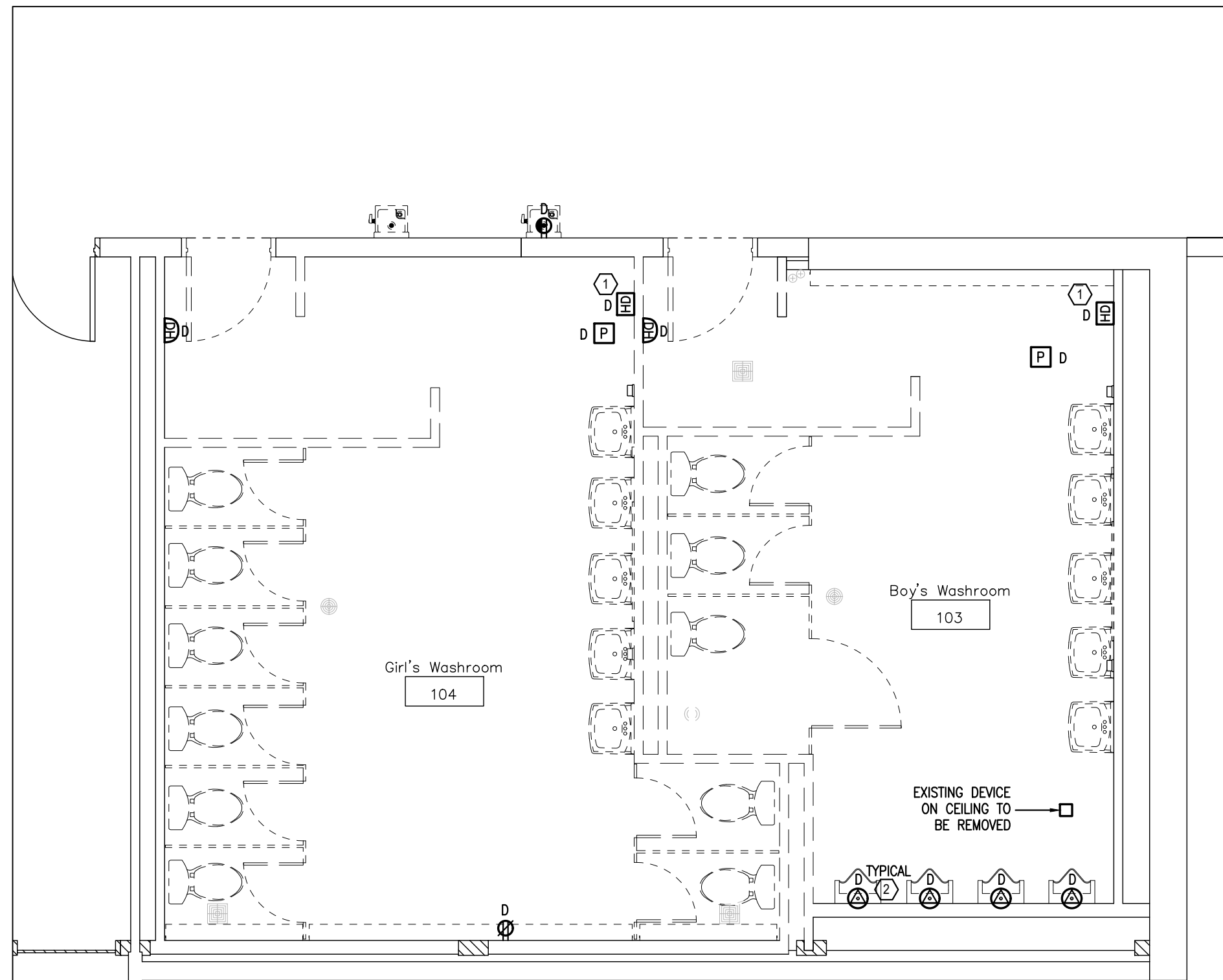


03  
E01

KEY PLAN - ELECTRICAL

SCALE: 1:200

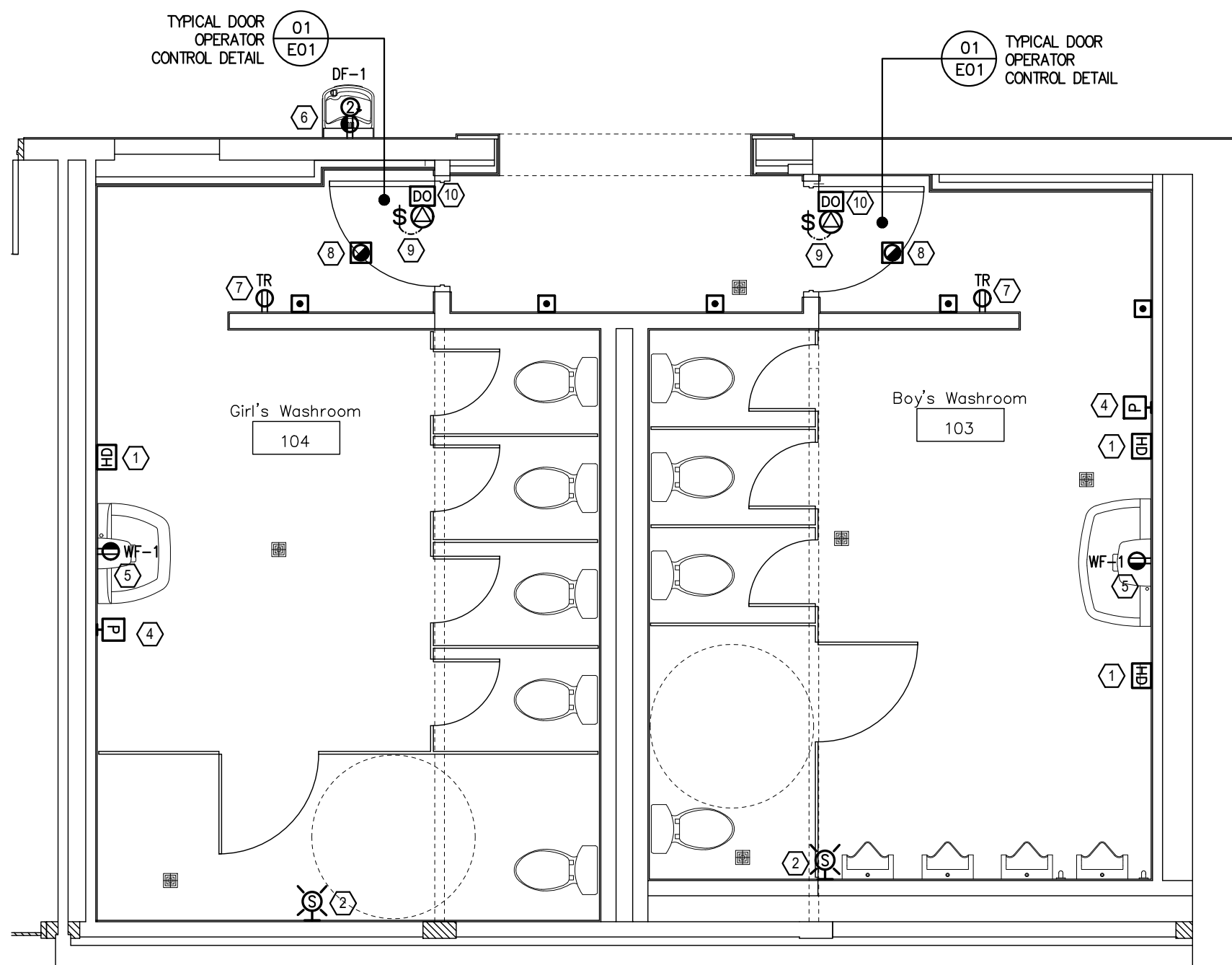




01  
E02  
EXISTING POWER & SYSTEMS LAYOUT – ROOM 103 & 104  
SCALE: 1:50

- GENERAL NOTES:
1. UNLESS NOTED OTHERWISE, ALL ELECTRICAL DEVICES/EQUIPMENT SHOWN ARE EXISTING TO REMAIN.
  2. REGARDLESS SHOWN OR NOT, REMOVE (OR RELOCATE AS REQUIRED) ALL EXISTING ELECTRICAL DEVICES/EQUIPMENT C/W WIRES/CONDUITS AND BOXES AFFECTED BY DEMOLITION OF EXISTING PARTITIONS.
  3. REMOVAL SCOPE SHALL INCLUDE REMOVAL OF ALL UNUSED CIRCUITS BACK TO POWER PANEL, INCLUDING WIRES, CONDUITS AND JUNCTION BOXES, MODIFY PANEL DIRECTORY.

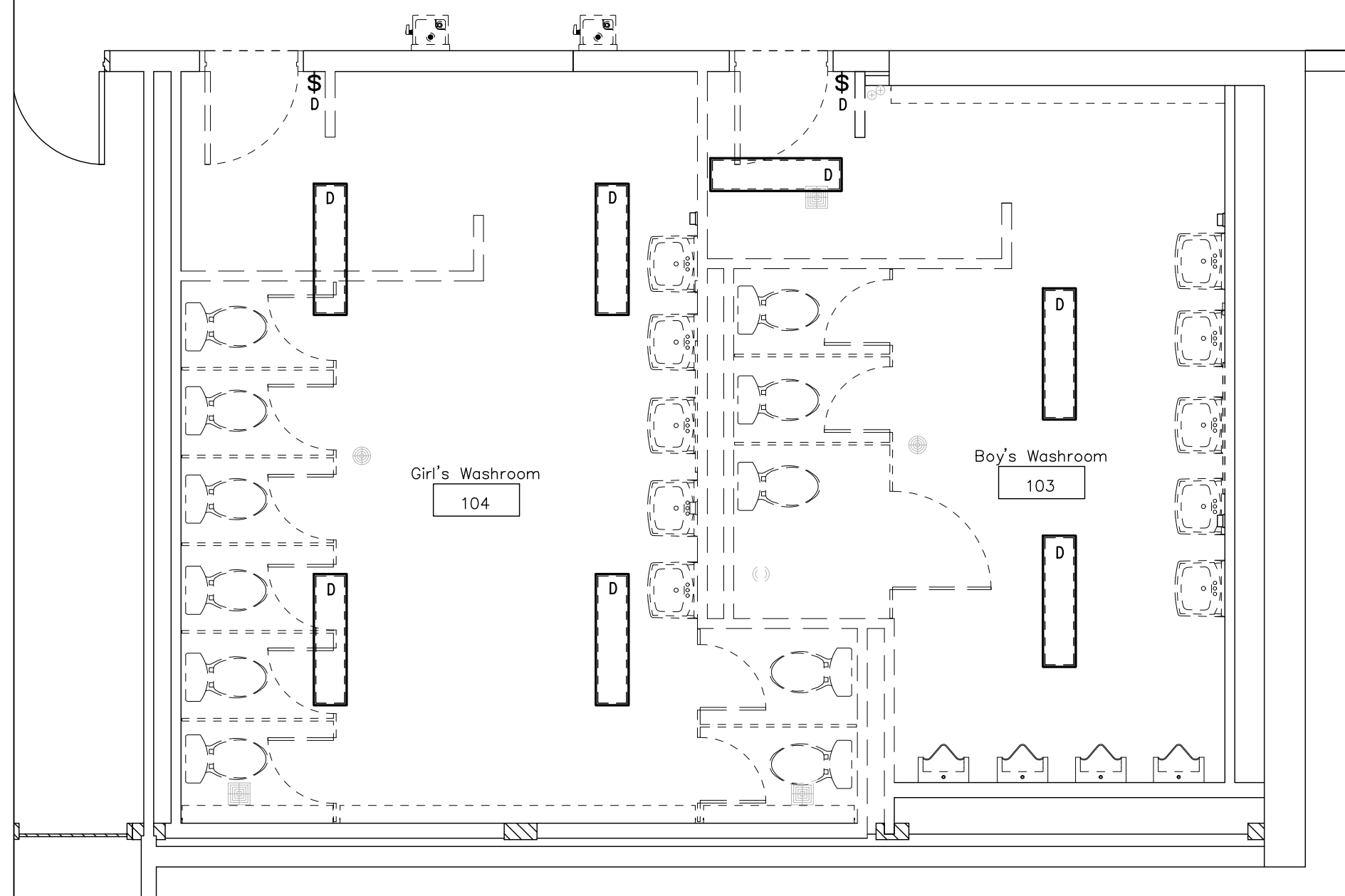
- NOTES:
- ① REMOVE EXISTING WASHROOM HAND DRYER CIRCUITS BACK TO POWER PANEL, INCLUDING HAND DRYERS, WIRES, JUNCTION BOX AND CIRCUIT BREAKERS.
  - ② EXISTING POWER SUPPLIES FOR URINAL SENSORS TO BE REMOVED.



03  
E02  
PROPOSED POWER & SYSTEMS LAYOUT– ROOM 103 & 104  
SCALE: 1:50

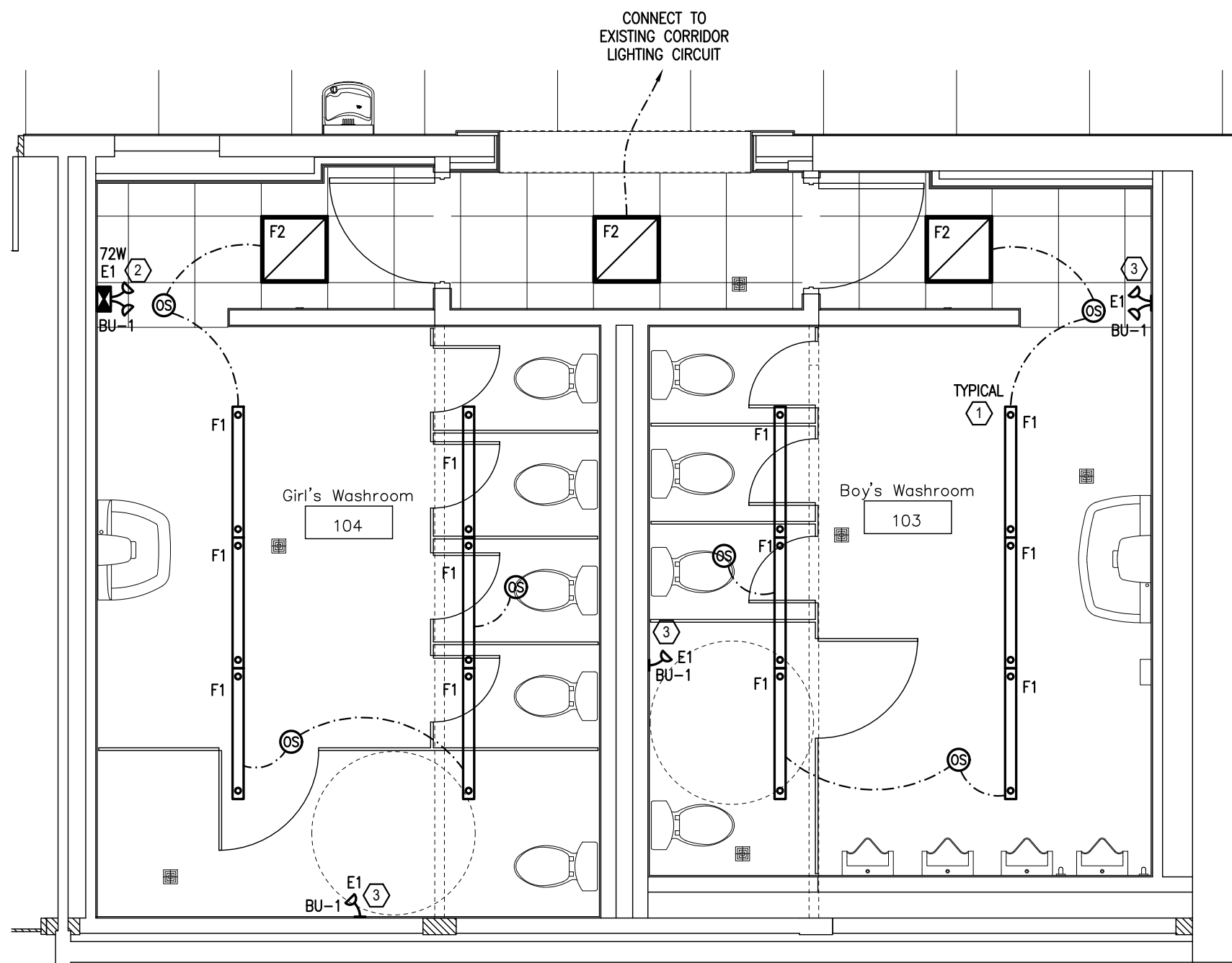
- GENERAL NOTES:
1. UNLESS NOTED OTHERWISE, ALL ELECTRICAL DEVICES/EQUIPMENT SHOWN ARE NEW.
  2. ALL NEW WIRES/CONDUITS SHALL BE INSTALLED CONCEALED IN CEILING SPACE OR PARTITIONS, SURFACE INSTALLATION IS NOT ACCEPTABLE.
  3. ALL WIRING DEVICES TO BE INSTALLED IN RECESSED GANG BOX, SURFACE INSTALLATION IS NOT ACCEPTABLE.
  4. CONFIRM ALL EXACT MECHANICAL EQUIPMENTS LOCATION ON MECHANICAL DRAWINGS PRIOR TO ROUGH-IN.

- NOTES:
- ① PROVIDE THREE(3) NEW HAND DRYERS, MOUNTED AT 1100mm AFF TO HAND DRYER TOP. ADD THREE(3) NEW 15A/1P GFI BREAKERS TO MATCH EXISTING IN EXISTING PANEL 'F', PROVIDE DEDICATED FEEDER: 2#12+GRD-21mmC FOR EACH HAND DRYER CIRCUIT.
  - ② PROVIDE NEW FIRE ALARM STROBES, CONNECT TO EXISTING FIRE ALARM SIGNALING CIRCUIT IN THIS AREA.
  - ③ RESERVED.
  - ④ PROVIDE NEW WALL MOUNTED PA SPEAKS, CONNECT TO EXISTING PA SPEAKER CIRCUIT IN THIS AREA.
  - ⑤ PROVIDE NEW GFI RECEPTACLES FOR WASH FOUNTAIN SENSORS, CONNECT TO EXISTING 15A/1P SPARE BREAKER IN EXISTING PANEL 'PP-A', PROVIDE FEEDER: 2#12+GRD-21mmC FOR NEW WASH FOUNTAIN SENSOR CIRCUIT. CONFIRM EXACT RECEPTACLE LOCATION AND MOUNTING HEIGHT ON SITE. CONTRACTOR TO MAKE SURE THE RECEPTACLE TO BE CONCEALED BEHIND WASH FOUNTAIN 'WF-1'.
  - ⑥ PROVIDE ONE(1) NEW 20A GFI RECEPTACLE FOR DRINKING FOUNTAIN 'DF-1', CONNECT TO EXISTING 20A/1P SPARE BREAKER IN EXISTING PANEL 'PP-A', PROVIDE DEDICATED FEEDER: 2#12+GRD-21mmC TO NEW GFI RECEPTACLE. CONFIRM EXACT RECEPTACLE LOCATION AND MOUNTING HEIGHT ON SITE. CONTRACTOR TO MAKE SURE THE RECEPTACLE TO BE CONCEALED BEHIND DRINK FOUNTAIN 'DF-1'.
  - ⑦ PROVIDE NEW TAMPER-RESISTANT CONVENIENCE RECEPTACLES, CONNECT TO EXISTING 15A/1P SPARE BREAKER IN EXISTING PANEL 'PP-A', PROVIDE FEEDER: 2#12+GRD-21mmC FOR NEW CONVENIENCE RECEPTACLE CIRCUIT.
  - ⑧ PROVIDE NEW FIRE ALARM SMOKE DETECTORS C/W EXTRA RELAY CONNECTED TO WASHROOM DOOR OPERATOR CONTROL CIRCUIT. CONNECT SMOKE DETECTORS TO EXISTING FIRE ALARM INITIATING CIRCUIT IN THIS AREA.
  - ⑨ PROVIDE NEW POWER CONNECTIONS C/W SWITCH FOR NEW WASHROOM DOOR OPERATORS, CONFIRM EXACT POWER CONNECTION LOCATIONS ON SITE. CONNECT TO EXISTING 15A/1P SPARE BREAKER IN EXISTING PANEL 'PP-A', PROVIDE FEEDER: 2#12+GRD-21mmC FROM BREAKER TO NEW DOOR OPERATORS.
  - ⑩ PROVIDE FIRE ALARM DOOR RELEASE FROM EXISTING FIRE ALARM CONTROL PANEL TO NEW WASHROOM DOOR OPERATORS. MODIFY EXISTING FIRE ALARM CONTROL PANEL TO ADD DOOR RELEASE CIRCUIT/MODULE. WASHROOM DOORS SHALL BE AUTOMATICALLY CLOSED UPON ACTIVATION OF FIRE ALARM SIGNAL FROM FIRE ALARM CONTROL PANEL OR LOCAL SMOKE DETECTOR.



02  
E02  
EXISTING LIGHTING LAYOUT – ROOM 103 & 104  
SCALE: 1:50

- GENERAL NOTES:
1. UNLESS NOTED OTHERWISE, ALL ELECTRICAL DEVICES/EQUIPMENT SHOWN ARE EXISTING TO REMAIN.
  2. REGARDLESS SHOWN OR NOT, REMOVE (OR RELOCATE AS REQUIRED) ALL EXISTING ELECTRICAL DEVICES/EQUIPMENT C/W WIRES/CONDUITS AND BOXES AFFECTED BY DEMOLITION OF EXISTING PARTITIONS.
  3. REMOVAL SCOPE SHALL INCLUDE REMOVAL OF ALL UNUSED CIRCUITS BACK TO POWER PANEL, INCLUDING WIRES, CONDUITS AND JUNCTION BOXES, MODIFY PANEL DIRECTORY.



04  
E02  
PROPOSED LIGHTING LAYOUT – ROOM 103 & 104  
SCALE: 1:50

- GENERAL NOTES:
1. UNLESS NOTED OTHERWISE, ALL ELECTRICAL DEVICES/EQUIPMENT SHOWN ARE NEW.
  2. ALL NEW WIRES/CONDUITS SHALL BE INSTALLED CONCEALED IN CEILING SPACE OR PARTITIONS, SURFACE INSTALLATION IS NOT ACCEPTABLE.
  3. ALL WIRING DEVICES TO BE INSTALLED IN RECESSED GANG BOX, SURFACE INSTALLATION IS NOT ACCEPTABLE.

- NOTES:
- ① ALL NEW LIGHTS 'F1'. UNLESS OTHERWISE NOTED, ALL 'F1' SHALL BE CONNECTED TO EXISTING NORMAL LIGHT CIRCUIT IN EACH WASHROOM AND CONTROLLED BY NEW CEILING OCCUPANCY SENSORS.
  - ② PROVIDE ONE(1) NEW EMERGENCY LIGHTING BATTERY UNIT 'E2' C/W TWO(2) REMOTE HEADS. PROVIDE UNSWITCHED HOT CONDUCTOR FROM EXISTING WASHROOM NORMAL LIGHT CIRCUIT TO 'E2'.
  - ③ PROVIDE NEW WALL MOUNTED EMERGENCY REMOTE HEADS 'E1', CONNECT TO NEW EMERGENCY LIGHTING CIRCUIT 'BU-1', ALL NEW REMOTE HEADS SHALL BE FED FROM BATTERY UNIT 'E1'.

